

AGENDA
CITY OF DAYTON, MINNESOTA
12260 S. Diamond Lake Road, Dayton, MN 55327
Tuesday, April 8, 2025
Local Board of Appeals - 5:30 P.M.

REGULAR MEETING OF THE CITY COUNCIL - 6:30 P.M.

The invite for Zoom for this meeting can be found on the City's website community calendar

- 6:30 **CALL TO ORDER**
- 6:30 **PLEDGE OF ALLEGIANCE**
- 6:35 **APPROVAL OF AGENDA**
- 6:35 **CONSENT AGENDA** *These routine or previously discussed items are enacted with one motion. Any questions on items should have those items removed from consent agenda and approved separately.*
- A. Approval of Work Session and Council Meeting Minutes of March 25, 2025
- B. Approval of Payment of Claims for April 8, 2025
- C. Approval of Purchase of Stump Grinder
- D. Approval of Pay Request 8 for Wellhouse 5
- E. Approval of Change Order 5 for Wellhouse 5
- F. Approval of Pay Request 30 Final Payment for Dayton Interchange Project
- G. Approval of Resolution 19-2025; Audit Transfer
- H. Approval of Temp Liquor License for Dayton Lions April 12 at Fisher Farms
- 6:40 **OPEN FORUM** *Is limited to Three minutes for non-agenda items; state your name and address; No Council Action will be taken and items will be referred back to staff*
- 6:50 **STAFF, CONSULTANT AND COUNCIL UPDATES**
- COUNCIL BUSINESS**
- New Business**
- 7:05 I. Review Three Rivers Park District Engagement Plan
- Action Items**
- 7:25 J. Award Park Improvements Project Contract to Custom Builders
- 7:40 K. Ordinance 2025-09; Zoning Amendment and Resolution 20-2025; Preliminary Plat and Planned Unit Development of DCM Farms
- 8:25 L. Authorize Preliminary Design for the 113th Avenue Trunk Sewer Extension
- 8:40 M. Approve Water Trails Project for Bidding
- Closed Session**
- 9:00 N. The City Council is closing the meeting to the public pursuant to Minnesota Statutes Section 13D.05, subdivision 3(a), which allows a public meeting to be closed for the City Council to evaluate the performance of an individual with is subject to our authority. During this closed meeting, the Council will be evaluating the performance of City Administrator, Zach Doud. A summary of our conclusions regarding this evaluation will be given at our next open meeting.
- 9:30 **ADJOURNMENT**

The City of Dayton's mission is to promote a thriving community and to provide residents with a safe and pleasant place to live while preserving our rural character, creating connections to our natural resources, and providing customer service that is efficient, fiscally responsible, and responsive.

DAYTON
SALES BOOK
(2025 ASSESSMENT)

HENNEPIN COUNTY

MINNESOTA

Memo

To: City of Dayton, Mayor, and Council

From: Mitchell King, AMA, Residential Appraiser

Date: 4/1/2025

2025 Assessment and Appeals

In preparation for the upcoming Local Board of Appeal and Equalization meeting, please find the enclosed information:

- Annual Assessment
- Summary of property growth
- The Local Board of Appeal and Equalization process
- Representative sales of residential properties with photos and property highlights
- Additional information on the 2025 assessment is available at <https://www.hennepin.us/assessment>.

Annual Assessment

The county assessor is required to value property as of January 2nd of each year. All market indicators are used to establish the assessment. The main source of data is the Department of Revenue's sales ratio. Sales from this study period of October 1, 2023, through September 30, 2024, are reviewed by the assessor and trended forward to the January 2, 2025, assessment date to ensure all market conditions are considered. Sales occurring after the study period, pending sales, and property listings are also analyzed to ensure an appropriate assessment level for all property types.

In addition to reviewing sales, appraisers view one fifth of the properties in the city. This is referred to as the quintile. The geographic area for the 2025 residential quintile was the east part of the city as well as central/southern ag neighborhoods and French lake. All building permit data is reviewed annually to determine if any new construction will impact the market value of the property. If the completed work improves the value of the property, an improvement amount is added.

Hennepin County Assessor's Office

A-2103 Government Center, Minneapolis, MN 55487

612-348-3046 | [hennepin.us](https://www.hennepin.us)



Summary of the 2025 Assessment

Growth statistics for each submarket in the City of Dayton are listed below. The growth statistics are net figures that consider only market related changes. These figures do not include new construction.

Single Family	3.1%	Apartments	0.0%
Commercial	-3.7%	Townhomes	0.0%
Industrial	1.6%	Duplex/Triplex	50.5%

City of Dayton 2025 Assessment

Total market value:	\$2,547,363,600
New construction:	\$143,855,100
Net percent increase:	2.0%
Gross percent increase:	8.1%

The Local Board of Appeal and Equalization Process

The 2025 Local Board of Appeal and Equalization will be held at the Dayton City Hall at 12260 S Diamond Lake Rd, Dayton at 5:30PM on April 8th, 2025.

Value notices will be mailed on February 28th, 2025. Taxpayers with value or classification concerns should contact the assessor's office by calling the number listed on their value notice. Concerns are typically addressed after a conversation with an appraiser. If additional attention is necessary, the appraiser will review the property.

If the owner and the appraiser disagree on the valuation, the owner has the right to appeal to The Local Board of Appeal and Equalization (LBAE) on April 8th, 2025.

- The Board has the authority to increase, decrease, or take no action on individual valuations.
- The Board must not reduce the cities aggregate assessment by more than one percent or none of the adjustments will be allowed.
- The Board cannot increase or decrease by a percentage all the assessments in the district by class.
- If the Board chooses to reconvene, it must do so within 20 days (from the meeting call to order.)

If the owner is not satisfied with the result from the Local Board of Appeal, they can appeal to the County Board. For the taxpayer to appeal to the County Board they must first appeal to the Local Board either in person or in writing.

The County Board of Appeal and Equalization will begin meeting on June 16, 2025. All requests for appointments at the County Board must be received by May 21, 2025.

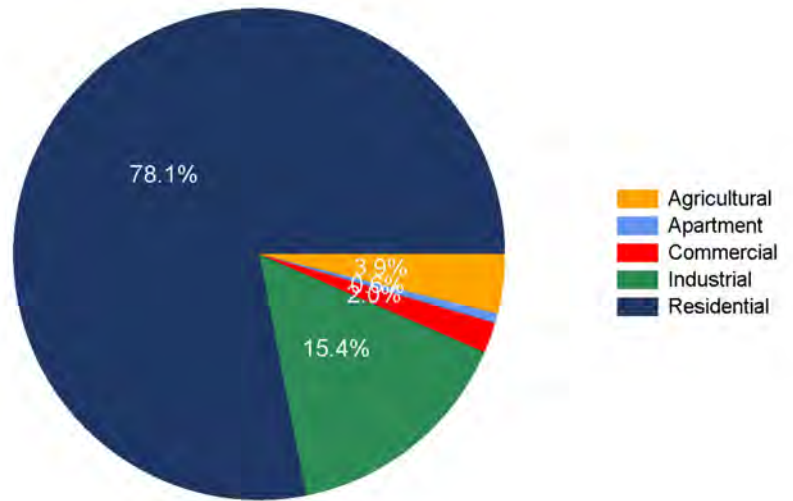
To make an appointment at the County Board of Appeals and Equalization, taxpayers should call 612-348-7050 or email countyvalueappeal@hennepin.us.

Contact

Residential Appraiser
Mitchell King
612-596-1318
mitchell.king@hennepin.us

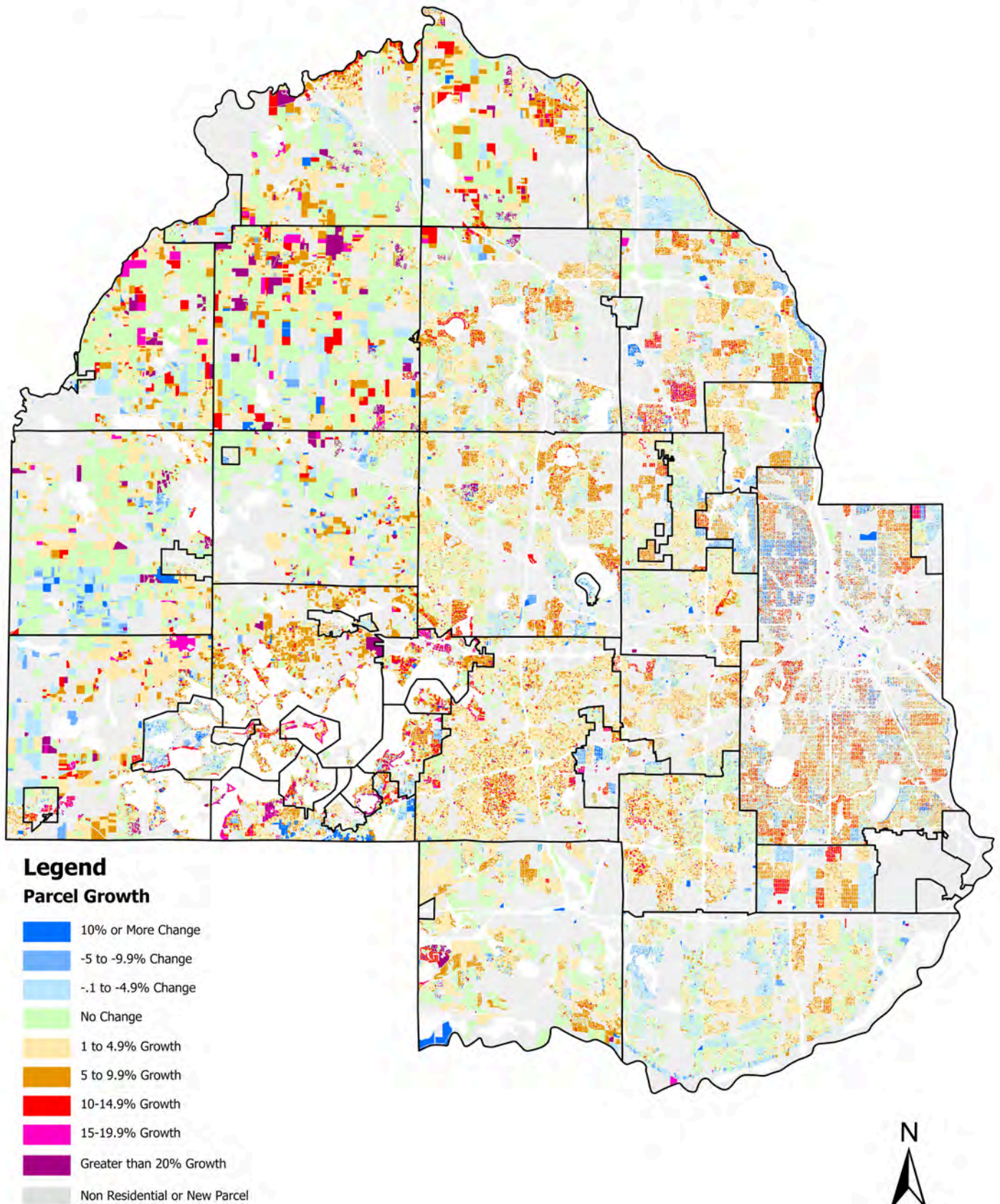
Dayton Totals

Estimated Market Value	8.1%
Taxable Market Value	8.4%
Net Tax Capacity	9.0%



Property Type	2024		2025			New Construction		Net Growth
	Parcels	Est Market Value	Parcels	Est Market Value	Gross Growth	Parcels	Improvement Value	
Agricultural	124	93,540,500	120	99,013,800	5.9%	0	0	5.9%
Farm	116	90,087,300	112	95,239,800	5.7%	0	0	5.7%
Rural Vacant Land	8	3,453,200	8	3,774,000	9.3%	0	0	9.3%
Apartment	5	16,009,000	5	16,009,000	0.0%	0	0	0.0%
Apartments	3	15,580,000	3	15,580,000	0.0%	0	0	0.0%
Vacant Apartment Land	2	429,000	2	429,000	0.0%	0	0	0.0%
Commercial	39	53,199,200	39	51,253,700	-3.7%	0	0	-3.7%
Other	13	27,944,500	13	27,361,700	-2.1%	0	0	-2.1%
Vacant Commercial Land	8	5,913,000	8	4,550,000	-23.1%	0	0	-23.1%
Automotive	6	14,797,700	6	14,798,000	0.0%	0	0	0.0%
Retail	5	1,920,000	5	1,920,000	0.0%	0	0	0.0%
Office	4	1,767,000	4	1,767,000	0.0%	0	0	0.0%
Food / Entertainment	2	514,000	2	514,000	0.0%	0	0	0.0%
Medical	1	343,000	1	343,000	0.0%	0	0	0.0%
Industrial	77	351,663,000	82	392,188,000	11.5%	10	35,053,000	1.6%
Industrial	52	321,918,000	54	367,382,000	14.1%	10	35,053,000	3.2%
Vacant Industrial Land	25	29,745,000	28	24,806,000	-16.6%	0	0	-16.6%
Residential	4,296	1,842,683,500	4,344	1,988,899,100	7.9%	519	108,802,100	2.0%
Single Family	3,428	1,703,196,000	3,634	1,850,399,600	8.6%	447	94,899,400	3.1%
Vacant Res Land	547	36,968,500	371	21,159,100	-42.8%	0	0	-42.8%
Townhome	267	80,846,200	284	94,131,400	16.4%	68	13,320,500	0.0%
Other Residential	53	21,407,800	52	22,365,900	4.5%	2	138,000	3.8%
Duplex/Triplex	1	265,000	3	843,100	218.2%	2	444,200	50.5%
Total Real Property	4,541	2,357,095,200	4,590	2,547,363,600	8.1%	529	143,855,100	2.0%

Hennepin County Property Growth, 2025 Assessment



Median Prices – Counties

	2020	2021	2022	2023	2024	Change From 2023	Change From 2020
Anoka County	\$287,000	\$327,500	\$350,000	\$354,000	\$365,000	+ 3.1%	+ 27.2%
Carver County	\$363,715	\$415,750	\$460,000	\$450,000	\$474,990	+ 5.6%	+ 30.6%
Chisago County	\$280,000	\$325,000	\$355,125	\$352,000	\$365,000	+ 3.7%	+ 30.4%
Dakota County	\$312,000	\$348,950	\$375,000	\$380,000	\$390,000	+ 2.6%	+ 25.0%
Goodhue County	\$228,900	\$264,900	\$288,500	\$270,500	\$302,000	+ 11.6%	+ 31.9%
Hennepin County	\$325,000	\$350,000	\$368,000	\$373,000	\$381,000	+ 2.1%	+ 17.2%
Isanti County	\$249,900	\$288,753	\$316,000	\$322,450	\$324,900	+ 0.8%	+ 30.0%
Kanabec County	\$195,000	\$230,000	\$250,000	\$249,900	\$267,400	+ 7.0%	+ 37.1%
Le Sueur County	\$229,900	\$255,000	\$299,900	\$300,000	\$310,000	+ 3.3%	+ 34.8%
Mille Lacs County	\$210,000	\$245,000	\$260,000	\$279,450	\$281,550	+ 0.8%	+ 34.1%
Ramsey County	\$261,000	\$290,000	\$305,000	\$310,000	\$325,000	+ 4.8%	+ 24.5%
Rice County	\$261,000	\$296,950	\$305,000	\$322,000	\$334,900	+ 4.0%	+ 28.3%
Scott County	\$340,388	\$380,000	\$420,464	\$420,000	\$429,900	+ 2.4%	+ 26.3%
Sherburne County	\$285,000	\$330,000	\$355,000	\$350,000	\$369,900	+ 5.7%	+ 29.8%
Sibley County	\$168,000	\$200,000	\$220,000	\$220,000	\$247,450	+ 12.5%	+ 47.3%
St. Croix County	\$292,900	\$332,900	\$370,000	\$378,450	\$395,500	+ 4.5%	+ 35.0%
Washington County	\$349,900	\$385,350	\$420,000	\$410,000	\$426,000	+ 3.9%	+ 21.7%
Wright County	\$295,000	\$348,000	\$379,900	\$381,000	\$385,000	+ 1.0%	+ 30.5%

Median Prices – Around the Metro

	2020	2021	2022	2023	2024	Change From 2023	Change From 2020
16-County Twin Cities Region	\$305,000	\$340,000	\$363,000	\$368,000	\$380,000	+ 3.3%	+ 24.6%
13-County Twin Cities Region	\$307,498	\$340,000	\$365,000	\$370,000	\$380,000	+ 2.7%	+ 23.6%
Afton	\$540,000	\$680,000	\$635,500	\$755,000	\$680,000	- 9.9%	+ 25.9%
Albertville	\$315,623	\$320,000	\$355,000	\$350,000	\$375,000	+ 7.1%	+ 18.8%
Andover	\$364,900	\$416,821	\$437,454	\$425,000	\$439,000	+ 3.3%	+ 20.3%
Annandale	\$282,000	\$335,700	\$354,900	\$352,000	\$377,900	+ 7.4%	+ 34.0%
Anoka	\$256,103	\$300,000	\$315,000	\$332,250	\$325,000	- 2.2%	+ 26.9%
Apple Valley	\$290,000	\$325,000	\$350,000	\$360,000	\$375,000	+ 4.2%	+ 29.3%
Arden Hills	\$364,000	\$375,000	\$408,350	\$400,000	\$426,000	+ 6.5%	+ 17.0%
Arlington	\$183,000	\$207,000	\$212,000	\$202,000	\$250,000	+ 23.8%	+ 36.6%
Bayport	\$425,113	\$421,000	\$349,000	\$386,500	\$517,500	+ 33.9%	+ 21.7%
Becker	\$260,000	\$310,000	\$336,500	\$347,450	\$338,700	- 2.5%	+ 30.3%
Belle Plaine	\$277,000	\$307,750	\$335,000	\$330,000	\$350,000	+ 6.1%	+ 26.4%
Bethel	\$230,000	\$250,000	\$320,000	\$442,000	\$329,000	- 25.6%	+ 43.0%
Big Lake	\$276,500	\$320,000	\$351,000	\$339,500	\$345,000	+ 1.6%	+ 24.8%
Birchwood Village	\$347,500	\$459,000	\$450,000	\$485,000	\$525,000	+ 8.2%	+ 51.1%
Blaine	\$304,750	\$340,050	\$370,000	\$379,653	\$383,868	+ 1.1%	+ 26.0%
Bloomington	\$299,900	\$325,000	\$350,000	\$360,000	\$361,750	+ 0.5%	+ 20.6%
Bloomington – East	\$277,500	\$309,500	\$320,000	\$330,000	\$343,500	+ 4.1%	+ 23.8%
Bloomington – West	\$315,500	\$340,000	\$373,450	\$375,000	\$385,000	+ 2.7%	+ 22.0%
Brainerd MSA	\$250,000	\$282,500	\$325,000	\$339,000	\$350,000	+ 3.2%	+ 40.0%
Brooklyn Center	\$240,000	\$265,000	\$280,000	\$290,000	\$290,000	0.0%	+ 20.8%
Brooklyn Park	\$283,500	\$315,000	\$328,200	\$335,000	\$340,000	+ 1.5%	+ 19.9%
Buffalo	\$274,000	\$326,450	\$345,000	\$355,000	\$355,000	0.0%	+ 29.6%
Burnsville	\$298,799	\$335,000	\$355,000	\$356,000	\$375,000	+ 5.3%	+ 25.5%
Cambridge	\$245,000	\$285,000	\$305,000	\$306,950	\$315,000	+ 2.6%	+ 28.6%
Cannon Falls	\$274,500	\$327,000	\$340,000	\$347,000	\$340,500	- 1.9%	+ 24.0%
Carver	\$393,070	\$455,105	\$512,513	\$469,995	\$499,945	+ 6.4%	+ 27.2%
Centerville	\$212,500	\$180,000	\$323,750	\$410,000	\$367,400	- 10.4%	+ 72.9%
Champlin	\$288,000	\$335,075	\$366,000	\$368,750	\$365,000	- 1.0%	+ 26.7%
Chanhassen	\$410,000	\$504,111	\$525,000	\$510,000	\$538,500	+ 5.6%	+ 31.3%
Chaska	\$350,000	\$375,000	\$419,990	\$415,000	\$465,500	+ 12.2%	+ 33.0%
Chisago	\$333,500	\$394,950	\$452,000	\$400,000	\$399,900	- 0.0%	+ 19.9%
Circle Pines	\$237,750	\$279,500	\$286,000	\$290,000	\$330,000	+ 13.8%	+ 38.8%
Clear Lake	\$250,000	\$270,000	\$330,000	\$350,000	\$339,950	- 2.9%	+ 36.0%
Clearwater	\$248,485	\$284,900	\$302,750	\$315,000	\$325,000	+ 3.2%	+ 30.8%
Cleveland	\$208,906	\$240,000	\$242,960	\$239,900	\$254,500	+ 6.1%	- 21.8%
Coates	\$223,800	\$0	\$0	\$295,000	\$350,000	+ 18.6%	+ 56.4%
Cokato	\$182,500	\$198,050	\$239,500	\$275,000	\$295,000	+ 7.3%	+ 61.6%
Cologne	\$325,365	\$350,000	\$403,852	\$406,051	\$401,725	- 1.1%	+ 23.5%
Columbia Heights	\$241,000	\$265,000	\$290,000	\$288,080	\$294,750	+ 2.3%	+ 22.3%
Columbus	\$401,250	\$473,600	\$540,000	\$527,500	\$465,390	- 11.8%	+ 16.0%
Coon Rapids	\$256,000	\$289,000	\$309,900	\$325,000	\$325,000	0.0%	+ 27.0%
Corcoran	\$491,990	\$569,477	\$597,789	\$624,990	\$620,438	- 0.7%	+ 26.1%
Cottage Grove	\$315,000	\$355,245	\$397,995	\$392,500	\$395,000	+ 0.6%	+ 25.4%
Crystal	\$255,000	\$282,000	\$305,000	\$298,049	\$315,500	+ 5.9%	+ 23.7%

Median Prices – Around the Metro

	2020	2021	2022	2023	2024	Change From 2023	Change From 2020
Dayton	\$450,490	\$490,490	\$514,990	\$449,990	\$527,000	+ 17.1%	+ 17.0%
Deephaven	\$760,000	\$867,530	\$1,087,500	\$965,000	\$1,000,000	+ 3.6%	+ 31.6%
Delano	\$349,900	\$375,000	\$443,910	\$425,000	\$447,940	+ 5.4%	+ 28.0%
Dellwood	\$731,700	\$1,000,000	\$875,000	\$935,000	\$850,000	- 9.1%	+ 16.2%
Eagan	\$320,000	\$350,000	\$375,000	\$375,000	\$380,500	+ 1.5%	+ 18.9%
East Bethel	\$336,000	\$370,000	\$388,877	\$384,250	\$415,000	+ 8.0%	+ 23.5%
Eden Prairie	\$380,000	\$425,000	\$452,500	\$462,000	\$465,000	+ 0.6%	+ 22.4%
Edina	\$520,000	\$577,000	\$585,000	\$600,500	\$618,000	+ 2.9%	+ 18.8%
Elk River	\$314,900	\$350,000	\$377,750	\$375,000	\$386,500	+ 3.1%	+ 22.7%
Elko New Market	\$355,000	\$410,950	\$437,500	\$472,500	\$448,667	- 5.0%	+ 26.4%
Excelsior	\$794,597	\$669,500	\$700,000	\$820,000	\$840,000	+ 2.4%	+ 5.7%
Falcon Heights	\$356,000	\$366,000	\$400,000	\$404,000	\$400,000	- 1.0%	+ 12.4%
Faribault	\$215,000	\$240,000	\$260,000	\$270,000	\$296,950	+ 10.0%	+ 38.1%
Farmington	\$300,000	\$340,000	\$380,000	\$367,000	\$407,000	+ 10.9%	+ 35.7%
Forest Lake	\$305,000	\$340,000	\$365,000	\$367,500	\$384,400	+ 4.6%	+ 26.0%
Fridley	\$260,000	\$290,000	\$307,750	\$315,000	\$315,000	0.0%	+ 21.2%
Gaylord	\$140,000	\$190,000	\$210,000	\$216,500	\$222,500	+ 2.8%	+ 58.9%
Gem Lake	\$565,000	\$540,000	\$475,000	\$655,000	\$450,000	- 31.3%	- 20.4%
Golden Valley	\$369,950	\$390,000	\$425,000	\$424,000	\$424,000	0.0%	+ 14.6%
Grant	\$642,000	\$610,006	\$700,000	\$709,900	\$677,750	- 4.5%	+ 5.6%
Greenfield	\$525,575	\$475,000	\$675,000	\$620,000	\$772,500	+ 24.6%	+ 47.0%
Greenwood	\$1,002,500	\$1,325,000	\$1,095,000	\$2,061,500	\$2,972,500	+ 44.2%	+ 196.5%
Ham Lake	\$418,500	\$437,000	\$506,000	\$489,950	\$555,000	+ 13.3%	+ 32.6%
Hamburg	\$215,000	\$250,600	\$237,500	\$305,000	\$303,850	- 0.4%	+ 41.3%
Hammond	\$255,000	\$306,761	\$334,950	\$357,500	\$376,540	+ 5.3%	+ 47.7%
Hampton	\$130,000	\$130,950	\$164,222	\$400,000	\$355,000	- 11.3%	+ 173.1%
Hanover	\$358,450	\$405,923	\$429,900	\$421,411	\$451,500	+ 7.1%	+ 26.0%
Hastings	\$260,000	\$295,000	\$311,150	\$325,000	\$339,900	+ 4.6%	+ 30.7%
Hilltop	\$0	\$0	\$0	\$0	\$0	--	--
Hopkins	\$282,500	\$287,000	\$315,000	\$325,000	\$371,000	+ 14.2%	+ 31.3%
Hudson	\$360,000	\$400,500	\$440,000	\$440,000	\$474,500	+ 7.8%	+ 31.8%
Hugo	\$322,500	\$385,000	\$450,000	\$399,900	\$415,000	+ 3.8%	+ 28.7%
Hutchinson	\$200,000	\$236,250	\$262,900	\$261,750	\$268,900	+ 2.7%	+ 34.5%
Independence	\$680,000	\$775,000	\$735,000	\$950,000	\$890,000	- 6.3%	+ 30.9%
Inver Grove Heights	\$275,500	\$305,000	\$325,000	\$350,000	\$360,500	+ 3.0%	+ 30.9%
Isanti	\$250,485	\$292,000	\$330,000	\$328,200	\$329,950	+ 0.5%	+ 31.7%
Jordan	\$335,000	\$368,550	\$465,000	\$410,975	\$407,495	- 0.8%	+ 21.6%
Lake Elmo	\$498,400	\$555,108	\$635,000	\$651,887	\$670,000	+ 2.8%	+ 34.4%
Lake Minnetonka Area	\$520,000	\$630,000	\$635,000	\$652,273	\$656,678	+ 0.7%	+ 26.3%
Lake St. Croix Beach	\$250,000	\$289,950	\$320,000	\$342,500	\$325,000	- 5.1%	+ 30.0%
Lakeland	\$319,000	\$319,900	\$361,500	\$383,500	\$450,000	+ 17.3%	+ 41.1%
Lakeland Shores	\$360,000	\$1,447,500	\$589,000	\$414,250	\$0	- 100.0%	- 100.0%
Lakeville	\$398,808	\$440,000	\$485,000	\$485,000	\$494,117	+ 1.9%	+ 23.9%
Lauderdale	\$225,000	\$252,500	\$257,500	\$265,000	\$235,000	- 11.3%	+ 4.4%
Le Center	\$177,450	\$210,000	\$273,200	\$299,900	\$229,900	- 23.3%	+ 29.6%
Lexington	\$240,000	\$265,300	\$299,950	\$308,000	\$275,000	- 10.7%	+ 14.6%

Median Prices – Around the Metro

	2020	2021	2022	2023	2024	Change From 2023	Change From 2020
Lilydale	\$394,900	\$336,850	\$450,000	\$390,000	\$407,500	+ 4.5%	+ 3.2%
Lindstrom	\$294,000	\$339,000	\$365,000	\$373,000	\$372,500	- 0.1%	+ 26.7%
Lino Lakes	\$354,900	\$401,500	\$440,000	\$425,000	\$451,000	+ 6.1%	+ 27.1%
Little Canada	\$273,750	\$326,000	\$290,000	\$325,000	\$365,500	+ 12.5%	+ 33.5%
Long Lake	\$337,500	\$405,000	\$460,000	\$520,000	\$527,000	+ 1.3%	+ 56.1%
Lonsdale	\$293,291	\$317,900	\$354,900	\$352,500	\$342,500	- 2.8%	+ 16.8%
Loretto	\$376,750	\$388,750	\$355,000	\$365,900	\$410,450	+ 12.2%	+ 8.9%
Mahtomedi	\$400,000	\$427,500	\$411,000	\$480,000	\$490,000	+ 2.1%	+ 22.5%
Maple Grove	\$337,400	\$371,000	\$400,000	\$389,600	\$403,700	+ 3.6%	+ 19.7%
Maple Lake	\$255,000	\$270,500	\$297,500	\$302,500	\$309,700	+ 2.4%	+ 21.5%
Maple Plain	\$329,900	\$350,500	\$351,000	\$360,000	\$380,000	+ 5.6%	+ 15.2%
Maplewood	\$266,500	\$300,000	\$310,000	\$325,000	\$330,000	+ 1.5%	+ 23.8%
Marine on St. Croix	\$482,500	\$528,246	\$650,000	\$647,500	\$650,000	+ 0.4%	+ 34.7%
Mayer	\$289,400	\$320,000	\$352,764	\$351,500	\$376,000	+ 7.0%	+ 29.9%
Medicine Lake	\$762,500	\$762,500	\$1,514,000	\$1,387,000	\$824,950	- 40.5%	+ 8.2%
Medina	\$670,845	\$812,000	\$785,000	\$750,000	\$925,000	+ 23.3%	+ 37.9%
Mendota	\$960,000	\$1,175,000	\$299,995	\$250,000	\$1,680,000	+ 572.0%	+ 75.0%
Mendota Heights	\$410,250	\$499,450	\$488,150	\$500,000	\$521,500	+ 4.3%	+ 27.1%
Miesville	\$296,000	\$0	\$412,500	\$382,500	\$327,450	- 14.4%	+ 10.6%
Milaca	\$205,000	\$252,500	\$262,455	\$250,000	\$290,000	+ 16.0%	+ 41.5%
Minneapolis - (Citywide)	\$300,000	\$315,000	\$320,000	\$315,000	\$329,702	+ 4.7%	+ 9.9%
Minneapolis - Calhoun-Isle	\$375,000	\$420,000	\$447,500	\$360,000	\$451,000	+ 25.3%	+ 20.3%
Minneapolis - Camden	\$209,000	\$230,000	\$225,000	\$225,000	\$230,000	+ 2.2%	+ 10.0%
Minneapolis - Central	\$342,250	\$335,000	\$322,500	\$319,750	\$355,000	+ 11.0%	+ 3.7%
Minneapolis - Longfellow	\$310,000	\$325,000	\$348,350	\$330,000	\$340,000	+ 3.0%	+ 9.7%
Minneapolis - Near North	\$214,900	\$230,000	\$240,000	\$225,000	\$235,000	+ 4.4%	+ 9.4%
Minneapolis - Nokomis	\$324,900	\$340,000	\$350,000	\$350,000	\$363,000	+ 3.7%	+ 11.7%
Minneapolis - Northeast	\$291,000	\$305,000	\$330,000	\$335,000	\$340,000	+ 1.5%	+ 16.8%
Minneapolis - Phillips	\$224,750	\$233,500	\$230,000	\$220,000	\$225,000	+ 2.3%	+ 0.1%
Minneapolis - Powderhorn	\$267,500	\$283,500	\$295,000	\$288,500	\$298,500	+ 3.5%	+ 11.6%
Minneapolis - Southwest	\$432,000	\$480,000	\$500,000	\$480,000	\$500,000	+ 4.2%	+ 15.7%
Minneapolis - University	\$298,800	\$310,000	\$338,000	\$304,500	\$330,297	+ 8.5%	+ 10.5%
Minnetonka	\$399,900	\$432,000	\$462,000	\$465,000	\$492,000	+ 5.8%	+ 23.0%
Minnetonka Beach	\$1,548,797	\$1,795,000	\$3,150,000	\$2,100,000	\$2,293,872	+ 9.2%	+ 48.1%
Minnetrista	\$487,380	\$610,169	\$625,000	\$638,500	\$650,000	+ 1.8%	+ 33.4%
Montgomery	\$231,800	\$255,000	\$280,000	\$292,500	\$268,000	- 8.4%	+ 15.6%
Monticello	\$263,000	\$307,000	\$319,000	\$339,000	\$342,500	+ 1.0%	+ 30.2%
Montrose	\$245,000	\$273,000	\$298,900	\$290,000	\$315,000	+ 8.6%	+ 28.6%
Mora	\$191,250	\$230,000	\$247,450	\$230,000	\$266,400	+ 15.8%	+ 39.3%
Mound	\$300,000	\$342,500	\$349,950	\$354,000	\$378,000	+ 6.8%	+ 26.0%
Mounds View	\$268,650	\$300,000	\$328,950	\$307,000	\$339,450	+ 10.6%	+ 26.4%
New Brighton	\$306,000	\$335,000	\$356,000	\$365,000	\$380,000	+ 4.1%	+ 24.2%
New Germany	\$233,950	\$293,000	\$265,000	\$300,000	\$304,000	+ 1.3%	+ 29.9%
New Hope	\$292,250	\$320,000	\$335,000	\$330,000	\$350,000	+ 6.1%	+ 19.8%
New Prague	\$298,691	\$342,950	\$375,500	\$347,450	\$370,550	+ 6.6%	+ 24.1%
New Richmond	\$265,000	\$300,000	\$325,000	\$349,900	\$371,245	+ 6.1%	+ 40.1%

Median Prices – Around the Metro

	2020	2021	2022	2023	2024	Change From 2023	Change From 2020
New Trier	\$135,000	\$290,000	\$0	\$330,000	\$370,000	+ 12.1%	+ 174.1%
Newport	\$320,950	\$432,245	\$397,500	\$335,000	\$336,000	+ 0.3%	+ 4.7%
North Branch	\$264,400	\$298,000	\$329,900	\$331,910	\$348,375	+ 5.0%	+ 31.8%
North Oaks	\$778,500	\$840,000	\$960,000	\$844,950	\$966,688	+ 14.4%	+ 24.2%
North Saint Paul	\$257,000	\$295,000	\$322,000	\$323,500	\$317,500	- 1.9%	+ 23.5%
Northfield	\$284,000	\$324,900	\$335,000	\$350,000	\$365,000	+ 4.3%	+ 28.5%
Norwood Young America	\$230,000	\$270,000	\$270,000	\$306,000	\$295,000	- 3.6%	+ 28.3%
Nowthen	\$391,500	\$433,000	\$475,000	\$559,000	\$600,000	+ 7.3%	+ 53.3%
Oak Grove	\$373,000	\$453,000	\$490,000	\$451,500	\$489,450	+ 8.4%	+ 31.2%
Oak Park Heights	\$275,550	\$310,000	\$353,124	\$358,000	\$339,900	- 5.1%	+ 23.4%
Oakdale	\$255,000	\$295,500	\$320,000	\$344,000	\$338,000	- 1.7%	+ 32.5%
Onamia	\$191,500	\$210,000	\$240,000	\$172,750	\$299,950	+ 73.6%	+ 56.6%
Orono	\$755,000	\$950,000	\$1,112,500	\$1,015,000	\$1,139,138	+ 12.2%	+ 50.9%
Osseo	\$257,900	\$299,000	\$295,000	\$311,000	\$324,900	+ 4.5%	+ 26.0%
Otsego	\$346,550	\$388,430	\$440,000	\$421,260	\$408,255	- 3.1%	+ 17.8%
Pine City	\$206,500	\$221,000	\$275,000	\$283,500	\$276,450	- 2.5%	+ 33.9%
Pine Springs	\$465,000	\$627,500	\$670,000	\$629,900	\$0	- 100.0%	- 100.0%
Plymouth	\$392,000	\$440,000	\$466,500	\$483,750	\$500,500	+ 3.5%	+ 27.7%
Princeton	\$259,900	\$309,950	\$324,900	\$325,000	\$337,500	+ 3.8%	+ 29.9%
Prior Lake	\$400,000	\$450,000	\$494,900	\$475,000	\$495,000	+ 4.2%	+ 23.8%
Ramsey	\$301,496	\$343,000	\$370,950	\$368,950	\$392,425	+ 6.4%	+ 30.2%
Randolph	\$325,000	\$360,000	\$475,000	\$438,700	\$388,000	- 11.6%	+ 19.4%
Red Wing	\$215,000	\$250,000	\$268,488	\$250,000	\$290,000	+ 16.0%	+ 34.9%
Richfield	\$290,000	\$325,000	\$335,000	\$336,200	\$353,950	+ 5.3%	+ 22.1%
River Falls	\$290,000	\$325,000	\$335,000	\$372,565	\$400,000	+ 7.4%	+ 37.9%
Robbinsdale	\$264,200	\$280,000	\$307,500	\$317,000	\$310,000	- 2.2%	+ 17.3%
Rockford	\$272,950	\$325,321	\$359,950	\$370,000	\$347,500	- 6.1%	+ 27.3%
Rogers	\$364,500	\$430,000	\$459,948	\$430,440	\$426,495	- 0.9%	+ 17.0%
Rosemount	\$340,000	\$375,300	\$433,950	\$412,000	\$425,750	+ 3.3%	+ 25.2%
Roseville	\$290,000	\$331,500	\$330,000	\$340,000	\$350,000	+ 2.9%	+ 20.7%
Rush City	\$229,000	\$272,685	\$287,500	\$300,000	\$309,900	+ 3.3%	+ 35.3%
Saint Anthony	\$330,000	\$361,089	\$370,000	\$380,000	\$335,000	- 11.8%	+ 1.5%
Saint Bonifacius	\$299,450	\$335,000	\$351,500	\$336,500	\$369,900	+ 9.9%	+ 23.5%
Saint Cloud MSA	\$214,500	\$238,000	\$264,000	\$270,000	\$285,000	+ 5.6%	+ 32.9%
Saint Francis	\$255,000	\$301,000	\$330,000	\$340,000	\$357,950	+ 5.3%	+ 40.4%
Saint Louis Park	\$327,750	\$340,000	\$360,000	\$375,000	\$375,000	0.0%	+ 14.4%
Saint Mary's Point	\$502,000	\$380,000	\$600,000	\$380,000	\$829,125	+ 118.2%	+ 65.2%
Saint Michael	\$348,200	\$408,500	\$434,620	\$433,652	\$449,900	+ 3.7%	+ 29.2%
Saint Paul	\$240,000	\$264,000	\$275,000	\$280,000	\$292,000	+ 4.3%	+ 21.7%
Saint Paul - Battle Creek / Highwood	\$232,000	\$255,000	\$280,000	\$285,000	\$289,900	+ 1.7%	+ 25.0%
Saint Paul - Como Park	\$274,900	\$290,000	\$317,000	\$321,250	\$321,750	+ 0.2%	+ 17.0%
Saint Paul - Dayton's Bluff	\$200,000	\$220,000	\$235,000	\$249,746	\$234,000	- 6.3%	+ 17.0%
Saint Paul - Downtown	\$210,000	\$191,500	\$188,500	\$200,000	\$179,500	- 10.3%	- 14.5%
Saint Paul - Greater East Side	\$215,000	\$240,000	\$250,000	\$255,000	\$263,000	+ 3.1%	+ 22.3%
Saint Paul - Hamline-Midway	\$250,000	\$275,000	\$285,000	\$277,500	\$280,000	+ 0.9%	+ 12.0%
Saint Paul - Highland Park	\$371,500	\$398,000	\$407,500	\$465,000	\$452,500	- 2.7%	+ 21.8%

Median Prices – Around the Metro

	2020	2021	2022	2023	2024	Change From 2023	Change From 2020
Saint Paul - Merriam Park / Lexington-Hamline	\$350,000	\$368,200	\$399,900	\$390,000	\$400,500	+ 2.7%	+ 14.4%
Saint Paul - Macalester-Groveland	\$362,950	\$401,000	\$422,000	\$407,500	\$431,000	+ 5.8%	+ 18.7%
Saint Paul - North End	\$190,000	\$212,250	\$219,188	\$206,000	\$237,500	+ 15.3%	+ 25.0%
Saint Paul - Payne-Phalen	\$211,007	\$230,000	\$230,500	\$240,000	\$240,000	0.0%	+ 13.7%
Saint Paul - St. Anthony Park	\$320,000	\$325,000	\$368,000	\$290,000	\$328,500	+ 13.3%	+ 2.7%
Saint Paul - Summit Hill	\$418,750	\$432,000	\$455,000	\$518,250	\$516,250	- 0.4%	+ 23.3%
Saint Paul - Summit-University	\$290,000	\$280,000	\$300,500	\$280,000	\$300,000	+ 7.1%	+ 3.4%
Saint Paul - Thomas-Dale (Frogtown)	\$196,908	\$217,000	\$215,000	\$240,000	\$226,000	- 5.8%	+ 14.8%
Saint Paul - West Seventh	\$249,850	\$285,000	\$285,000	\$280,000	\$304,999	+ 8.9%	+ 22.1%
Saint Paul - West Side	\$224,500	\$250,000	\$257,000	\$250,000	\$265,700	+ 6.3%	+ 18.4%
Saint Paul Park	\$250,000	\$278,000	\$296,000	\$318,000	\$294,000	- 7.5%	+ 17.6%
Savage	\$349,900	\$390,000	\$421,000	\$415,000	\$425,000	+ 2.4%	+ 21.5%
Scandia	\$398,000	\$550,000	\$550,000	\$575,500	\$515,000	- 10.5%	+ 29.4%
Shakopee	\$305,000	\$340,257	\$400,000	\$385,000	\$400,000	+ 3.9%	+ 31.1%
Shoreview	\$306,000	\$349,775	\$360,000	\$360,000	\$405,000	+ 12.5%	+ 32.4%
Shorewood	\$560,000	\$779,750	\$762,500	\$830,000	\$725,000	- 12.7%	+ 29.5%
Somerset	\$260,000	\$300,000	\$372,925	\$385,500	\$385,000	- 0.1%	+ 48.1%
South Haven	\$270,000	\$299,950	\$319,938	\$369,900	\$495,000	+ 33.8%	+ 83.3%
South Saint Paul	\$241,900	\$268,000	\$278,000	\$285,000	\$290,750	+ 2.0%	+ 20.2%
Spring Lake Park	\$252,000	\$280,000	\$296,125	\$304,900	\$310,000	+ 1.7%	+ 23.0%
Spring Park	\$377,500	\$635,000	\$775,000	\$450,000	\$692,500	+ 53.9%	+ 83.4%
Stacy	\$310,000	\$360,000	\$400,000	\$389,000	\$400,000	+ 2.8%	+ 29.0%
Stillwater	\$380,000	\$456,000	\$505,000	\$416,000	\$462,500	+ 11.2%	+ 21.7%
Sunfish Lake	\$1,212,500	\$1,700,000	\$1,603,750	\$1,565,000	\$1,420,000	- 9.3%	+ 17.1%
Tonka Bay	\$910,350	\$1,050,000	\$926,000	\$1,841,311	\$1,900,000	+ 3.2%	+ 108.7%
Vadnais Heights	\$299,900	\$300,000	\$360,000	\$350,000	\$350,750	+ 0.2%	+ 17.0%
Vermillion	\$245,100	\$0	\$306,000	\$350,000	\$355,000	+ 1.4%	+ 44.8%
Victoria	\$481,280	\$527,500	\$619,950	\$600,000	\$600,400	+ 0.1%	+ 24.8%
Waconia	\$330,000	\$415,000	\$465,000	\$459,990	\$464,990	+ 1.1%	+ 40.9%
Watertown	\$290,632	\$315,000	\$366,450	\$331,000	\$367,500	+ 11.0%	+ 26.4%
Waterville	\$201,500	\$220,000	\$232,500	\$259,500	\$285,000	+ 9.8%	+ 41.4%
Wayzata	\$887,500	\$900,000	\$1,175,000	\$1,175,000	\$1,092,500	- 7.0%	+ 23.1%
West Saint Paul	\$247,250	\$280,000	\$297,500	\$307,000	\$325,000	+ 5.9%	+ 31.4%
White Bear Lake	\$282,400	\$315,000	\$331,250	\$340,000	\$350,000	+ 2.9%	+ 23.9%
Willernie	\$255,000	\$244,967	\$290,000	\$280,000	\$358,000	+ 27.9%	+ 40.4%
Winthrop	\$140,250	\$158,950	\$162,240	\$169,000	\$190,500	+ 12.7%	+ 35.8%
Woodbury	\$378,878	\$410,000	\$450,000	\$455,000	\$470,000	+ 3.3%	+ 24.1%
Woodland	\$1,052,500	\$1,301,250	\$850,000	\$1,550,000	\$1,010,000	- 34.8%	- 4.0%
Wyoming	\$311,000	\$354,500	\$404,000	\$401,000	\$390,500	- 2.6%	+ 25.6%
Zimmerman	\$286,000	\$324,840	\$360,000	\$350,000	\$350,000	0.0%	+ 22.4%
Zumbrota	\$238,500	\$273,000	\$300,000	\$275,500	\$312,950	+ 13.6%	+ 31.2%

How the Assessor Estimates Your Market Value

2

Property Tax Fact Sheet 2

Fact Sheet

Estimated market value is one of the factors used to determine your property taxes. This fact sheet explains how that value is calculated and used.

How does the assessor estimate the market value of my property?

Assessors value properties using a mass appraisal process to review sales of similar properties in the area over a set time period.

This “estimated market value” represents what your property would sell for in an “arms-length” sale on the open market (where buyer and seller are not related and both are educated about the property).

Assessors review sales from October 1 to September 30. They adjust the prices for market trends to estimate the market value of your property on the next assessment date (January 2).

An example of this timeline is:

- To estimate a property’s 2018 market value, the assessor reviews property sales from October 1, 2016, to September 30, 2017.
- Property owners may appeal their estimated market value and classification. This process occurs from April 1, 2018 to June 30, 2018.
- Property values and classifications become final on July 1, 2018. These values are used to determine taxes for 2019.

Assessors also review other data such as supply and demand, marketing times, and vacancy rates. This helps them determine if the real estate market in your area is increasing, stable, or decreasing.

What is the difference between ‘Estimated Market Value’ and ‘Taxable Market Value’?

While estimated market value (EMV) shows what your property would likely sell for on the open market, “taxable market value” (TMV) is used to determine your taxes.

A property’s TMV is its estimated market value minus any tax exemptions, deferrals, and value exclusions that apply. For example, many homeowners have a Homestead Market Value Exclusion, which reduces the amount of home value that is subject to tax.

How does my property value affect my property taxes?

Property value does not directly affect your property tax bill. It is used to calculate your share of the local property tax levy for the year.

This levy is the total property tax revenue needed to fund the budgets set by your county, city or town, and school district.

Your property’s taxable market value is multiplied by its classification rate to determine its share of the levy.

Increasing or decreasing your property’s market value does not change the overall amount of property tax revenue that is collected.

For more information, see Fact Sheet 1, *Understanding Property Taxes*.

How do assessors verify their estimated values are in line with the market?

The Department of Revenue and assessors do a “sales ratio study” each year to see how assessors’ values compare to actual sales prices.

A sales ratio is the assessor’s EMV of a property divided by its actual sales price:

$$\text{Sales Ratio} = \frac{\text{Assessor EMV}}{\text{Actual Sales Price}}$$

For example, assume a home was valued at by the assessor at \$200,000 and sold for \$210,000. The sales ratio is calculated like this:

$$\text{Sales Ratio} = \frac{\$200,000}{\$210,000} = 0.952 = 95\%$$

The overall EMVs should be within 90 to 105 percent of actual sales prices. Otherwise the Department of Revenue may order the assessor to adjust property values.

Where do assessors get sales information?

This information comes from sales of real estate. A Certificate of Real Estate Value (CRV) is filed whenever real estate sells for more than \$1,000.

CRVs have important details about each transaction. Assessors use this information to help estimate market values and for the sales ratio study.

Before using a CRV in the sales ratio study, the assessor must verify the sale was an open-market, arms-length sale. Otherwise it cannot be used in the study.

How do I know if my assessor has the right information for my property?

Assessors are required to inspect properties in person at least once every 5 years. They also inspect property if new construction or demolition takes place.

You may contact the assessor to verify information about your property such as dimensions, age, and condition of any structures.

If your property has new improvements or other changes the assessor may not know about, you can ask the assessor to review and adjust your property records.

If you disagree with the assessor’s value for your property, you may appeal. For more information, see Fact Sheet 3, *How to Appeal Your Value and Classification*.

Can the values of some properties decrease while others increase?

Yes. Sales prices for different types of property can vary widely depending on market conditions and other factors.

In recent years, for example, sales of farmland were generally stronger than residential or commercial sales in most areas of the state.

No two properties are exactly alike. A property’s market value or sales price is also affected by its unique characteristics – such as location, square footage, number of rooms, etc.

Do property values in all areas increase or decline at the same rate?

No. Local real estate markets can be affected by a wide range of factors, such as new construction, changing demand for property, or economic trends.

Each area or neighborhood is different; its values can change at a faster (or slower) rate than others.

Where can I get more information?

If you have questions or need more information:

- Refer to:
 - Fact Sheet 1, *Understanding Property Taxes*; and
 - Fact Sheet 3, *How to Appeal Your Value and Classification*.
- Go to www.revenue.state.mn.us and type **property tax fact sheets** into the Search box.
- Contact your County Assessor.

Flow Chart of the Appeal Process

What do I do if I think my property is valued or classified incorrectly?

After you receive your value notice (mailed February – April)

Examine your notice; if you have a question OR if you think your property assessment for this year is incorrect, follow these steps:

Step 1

Talk to your assessor

- Call the number listed on the notice
- Discuss your concerns with the assessor/appraiser
- Review sales information

Step 2

Attend the Local Board of Appeal and Equalization or Open Book Meeting**

- The local board of appeal and equalization meets at the city level
- Meets in April or May
- Appeal in person, by letter or by designated representative
- Call your assessor – an appointment may be requested

** “Open Book” meeting: If your notice refers to an open book meeting, this is held in lieu of the local board of appeal and equalization. It’s an informal review between the property owners and the assessor/appraiser to resolve assessment questions prior to the county board of appeal and equalization.

Step 3

Attend County Board of Appeal and Equalization

- You must first appeal to the local board of appeal and equalization if your city holds this meeting.
- If your city has an open book meeting, you may appeal directly to the county board of appeal and equalization. Although it is strongly recommended, you are not required to appear at the open book meeting.
- Meets in June
- Appeal in person, by letter or by designated representative

Appeal to the Minnesota Tax Court

Appeals must be filed by April 30 of the year following the assessment. There are two divisions in which you may file an appeal as described below:

www.taxcourt.state.mn.us

Regular Division

Non-homestead property valued over \$300,000
Appeal can be used for all property
Attorney is recommended
Decisions can be appealed to MN Supreme Court

Small Claims Division

Estimated market value of the property is less than \$300,000, or
If residential (1a) or disabled (1b) homestead, then there must be only one dwelling unit per parcel per petition.
If ag homestead (2a), homestead must apply to entire property, or
Denial of current year application for homestead.
Attorney is not necessary; decisions are final.

How to Appeal Your Value and Classification

3

Property Tax Fact Sheet 3

Fact Sheet

Each spring your county sends you a **Notice of Valuation and Classification**. Three factors that affect your tax bill are:

1. The amount your local governments (town, city, county, etc.) spend to provide services
2. The **estimated market value** of your property
3. The **classification** of your property (how it is used)

The assessor determines the value and classification of your property; you may appeal if you disagree.

What if I disagree with how my property was assessed?

Most issues and concerns can be resolved by doing research and contacting the county assessor's office. You should:

- Verify information about your property, such as its dimensions, age, and condition of its structures.
- Review records to determine the market values of similar properties in your neighborhood.
- Review sales data to see what similar properties in your area are selling for.
- Ask the assessor to explain the criteria used to classify your property. You may review the classifications of other properties used in the same way as yours.

If your property has not been inspected recently (both interior and exterior), ask the assessor to review your property.

If you and the assessor are unable to agree on your property valuation or classification, you can make a formal appeal.

How does my property's classification affect my taxes?

Assessors classify all property according to its use on January 2. Each class of property (home, apartment, cabin, and farm business) is taxed at a different percentage of its value. This percentage, or "class rate," is determined by the Legislature.

The class rate plays a significant role in how much property tax you pay.

What can I appeal?

You can appeal your property's estimated market value, and/or classification if you feel your property is:

- Classified improperly
- Valued higher or lower than you could sell it for
- Valued differently from similar property in your area

Your assessor is not responsible for the dollar amount of property taxes that you pay. Tax rates are determined by your local taxing authorities (city, county, school districts, etc.). You may not appeal your taxes.

How do I appeal my assessment?

You may appeal to your Local and/or County Board of Appeal and Equalization, or you may choose to go directly to Minnesota Tax Court.

The date, times, and locations of the boards are on the Notice of Valuation and Classification. You should schedule your appearance with the board.

You must appeal to the Local Board of Appeal and Equalization before appealing to the County Board of Appeal and Equalization.

For both boards you may make your appeal in person, by letter, or have someone else appear for you. The assessor will be present to answer questions.

Note: By law, the Local and County Board of Appeal and Equalization cannot make a change favoring a taxpayer if the assessor is not allowed to inspect the property.

What should I bring to my appeal?

Bring evidence and supporting documentation about your property's value and classification such as:

- A recent appraisal of your property
- Real estate listings for similar properties in your area
- Photos of your property that may help support your claim

What is the Local Board of Appeal and Equalization?

The Local Board of Appeal and Equalization is usually the same people as your city council or town board. The board of appeal meets in April or May.

Cities and towns may choose to transfer their board powers to the County Board of Appeal and Equalization.

If your city or town board has done this, your Notice of Valuation and Classification will direct you to begin your appeal at the county level.

What is the County Board of Appeal and Equalization?

The County Board of Appeal and Equalization is usually the same people as your county board of commissioners or their appointees. This board meets in June.

You may appeal to the county board if you are not satisfied with the decision of the Local Board of Appeal and Equalization, or if your city or town has transferred its powers to the county.

If you are not satisfied with the decision of the County Board of Appeal and Equalization, you may appeal to the Minnesota Tax Court

How do I appeal to Minnesota Tax Court?

To appeal your property's value or classification, you complete and file Minnesota Tax Court Form 7, *Real Property Tax Petition*.

You must file your appeal by April 30 of the year the tax becomes payable. For example, you must appeal your 2018 assessment by April 30, 2019.

You can get more information, forms, and instructions at:

- mn.gov/tax-court or
- Call 651-539-3260

Where can I get more information?

If you have questions or need more information about the appeal process, contact your County Assessor's Office.

For more information on how market value and classification are determined:

- Refer to:
 - Fact Sheet 1, *Understanding Property Taxes* and
 - Fact Sheet 2, *How the Assessor Estimates Your Market Value*.
- Go to www.revenue.state.mn.us and type **property tax fact sheets** into the Search box.

Preparing an Appeal to Your Local and County Boards of Appeal and Equalization

10

Property Tax Fact Sheet 10

Fact Sheet

You have decided to appeal the valuation and/or classification of your property to your Local or County Boards of Appeal and Equalization. **You must appeal to the Local Board of Appeal and Equalization before appealing to your County Board of Appeal and Equalization.**

If you haven't done so already, you should contact your assessor's office before making a formal appeal to discuss changing your assessment. Often issues and concerns can be resolved at this level.



If you and the assessor were unable to agree on your valuation or classification you may decide to appeal to your Local and/or County Boards of Appeal and Equalization.

The general information contained in this fact sheet is applicable to preparing for appeals to both the Local and County Boards of Appeal and Equalization.

Successfully appealing your assessment

Minnesota law assumes that the County Assessor has correctly valued and classified your property. You must present factual evidence to convince the Board otherwise in order to win your appeal. Make sure all facts are presented, and the board understands the information presented, so a decision can be made based on facts.



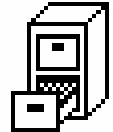
Successfully appealing your value or classification at your Local or County Board of Appeal and Equalization can mean a number of things.

It does not necessarily mean that the board ruled in your favor and lowered your value or changed your classification.

Whether or not the local board decides to make a change in your estimated market value or classification, you can still be successful in appealing to your local board. The ultimate result you want to achieve is to make sure your value is warranted and the classification of your property is correct based on its use.

Preparing for your appeal

The first step is to do some research to collect information to show why you believe your estimated market value or classification is incorrect. Begin by contacting the assessor's office.



- Verify information about your property, such as its dimensions, age and condition of its structures.
- Review records to determine the market value of similar property in your neighborhood.
- Review sales data to find out what similar property in your area is selling for.
- Check real estate ads in your newspaper to get an idea of the asking price of local properties.
- Ask the assessor to explain the criteria used for classifying your property. You may also review the classification of other property used in the same manner as yours.

Gathering supporting evidence

You must have documentation to support your appeal. Items you may wish to bring to the meeting include:



- A recent appraisal of your property.
- Recent sales of similar property.
- Documentation supporting the use of your property (if you are appealing the classification).
- Copies of other property owners' field cards/property information.
- Photos of your property.
- Photos or exhibits comparing neighboring properties to yours.

If you should have questions, please don't hesitate to contact your assessor's office. Staff members are always willing to answer questions and give you information that will help you understand your assessment.

See page 2 for helpful hints →

Presenting your case

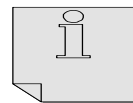
Remember, how you present your case may affect the outcome of your appeal – you want to be sure you get your point across as effectively as possible.

- Make a list of key points you may wish to present.
- The board has never seen your property. Describe your property so they will understand your arguments more fully. Photos can be helpful to support your argument.
- Keep your presentation brief and factual.
- Be prepared to discuss your case with the board or answer any questions that the board may have.



Other helpful information

Please keep in mind that taxes are not the issue. To strengthen your appeal, you should present evidence about your property's value or classification, not how much you are paying in taxes.



This fact sheet is not meant to give you legal advice. It is intended to be a helpful tool with general information for presenting your property tax appeal at your Local and County Boards of Appeal and Equalization.

Written appeals

You may also appeal your value or classification by submitting a letter of appeal to the board instead of appearing in person.

You will want to do your research and explain your appeal in writing. Your letter should state the facts and include supporting documentation. You may want to include your daytime phone number so you can be reached in case the board has any questions.





16260 DAYTON AVE

31-121-22-32-0060

2025 ESTIMATED MARKET VALUE:

\$253,300

SALE DATE : June 7, 2024

SALE DATE:

NET SALE PRICE : \$255,000

SALE PRICE:

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$258,000

BUILDING CHARACTERISTICS

STORIES : 1 Story

CENTRAL AC : Yes

AGE : 1966

FIREPLACES : 0

GROUND FL SF : 1,240

DELUXE BATHS : 0

TOTAL ABOVE GRADE SF : 1,240

FULL BATHS : 2

BASEMENT SF : 1,240

3/4 BATHS : 0

BASEMENT % FIN : 30%

HALF BATHS : 0

WALKOUT : No

BEDROOMS : 3

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 0

DECK SF : 240

GARAGES

GARAGE 1 SF : 360

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 6,098

LAKE :

LOT ACRES : 0.14

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



12220 NOON DR

14-120-22-21-0016

2025 ESTIMATED MARKET VALUE:

\$256,500

SALE DATE : August 20, 2024

SALE DATE:

NET SALE PRICE : \$267,000

SALE PRICE:

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$269,300

BUILDING CHARACTERISTICS

STORIES : 1 Story

CENTRAL AC : Yes

AGE : 1961

FIREPLACES : 0

GROUND FL SF : 1,083

DELUXE BATHS : 0

TOTAL ABOVE GRADE SF : 1,083

FULL BATHS : 1

BASEMENT SF : 1,056

3/4 BATHS : 0

BASEMENT % FIN : 50%

HALF BATHS : 0

WALKOUT : No

BEDROOMS : 3

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 0

DECK SF : 0

GARAGES

GARAGE 1 SF : 528

GARAGE 1 TYPE : Detached Garage

GARAGE 2 SF : 320

GARAGE 2 TYPE : Detached Garage

LOT CHARACTERISTICS

LOT SF : 15,682

LAKE :

LOT ACRES : 0.36

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



12800 STONERIDGE RD

10-120-22-41-0027

2025 ESTIMATED MARKET VALUE:

\$299,500

SALE DATE : December 8, 2023

SALE DATE: October 16, 2023

NET SALE PRICE : \$285,000

SALE PRICE: \$215,000

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$291,300

BUILDING CHARACTERISTICS

STORIES : 1 Story

CENTRAL AC : Yes

AGE : 1974

FIREPLACES : 0

GROUND FL SF : 1,185

DELUXE BATHS : 0

TOTAL ABOVE GRADE SF : 1,185

FULL BATHS : 1

BASEMENT SF : 1,050

3/4 BATHS : 1

BASEMENT % FIN : 80%

HALF BATHS : 0

WALKOUT : No

BEDROOMS : 5

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 81

DECK SF : 0

GARAGES

GARAGE 1 SF : 528

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 20,473

LAKE :

LOT ACRES : 0.47

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



12121 NOON DR

14-120-22-24-0011

2025 ESTIMATED MARKET VALUE:

\$289,000

SALE DATE : July 31, 2024

SALE DATE:

NET SALE PRICE : \$291,000

SALE PRICE:

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$294,000

BUILDING CHARACTERISTICS

STORIES : 1 Story

CENTRAL AC : Yes

AGE : 1960

FIREPLACES : 0

GROUND FL SF : 1,232

DELUXE BATHS : 0

TOTAL ABOVE GRADE SF : 1,232

FULL BATHS : 1

BASEMENT SF : 1,232

3/4 BATHS : 1

BASEMENT % FIN : 80%

HALF BATHS : 0

WALKOUT : No

BEDROOMS : 4

PORCHES / DECKS

ENCLOSED PORCH SF : 320

GARAGES

GARAGE 1 SF : 1,200

SCREENED PORCH SF : 0

GARAGE 1 TYPE : Detached Garage

OPEN PORCH SF : 0

GARAGE 2 SF : 0

DECK SF : 761

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 14,810

LAKE :

LOT ACRES : 0.34

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



11121 130TH AVE N

23-120-22-14-0059

2025 ESTIMATED MARKET VALUE:

\$360,500

SALE DATE : October 13, 2023

NET SALE PRICE : \$332,000

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$340,500

SALE DATE: July 20, 2018

SALE PRICE: \$259,500

BUILDING CHARACTERISTICS

STORIES : 1 Story

AGE : 1973

GROUND FL SF : 1,050

TOTAL ABOVE GRADE SF : 1,050

BASEMENT SF : 1,050

BASEMENT % FIN : 80%

WALKOUT : No

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 0

FULL BATHS : 1

3/4 BATHS : 1

HALF BATHS : 0

BEDROOMS : 3

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 0

DECK SF : 399

GARAGES

GARAGE 1 SF : 500

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 23,522

LOT ACRES : 0.54

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



19021 DIAMOND LAKE RD N

18-120-22-22-0001

2025 ESTIMATED MARKET VALUE:

\$367,900

SALE DATE : August 9, 2024

SALE DATE:

NET SALE PRICE : \$399,000

SALE PRICE:

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$402,400

BUILDING CHARACTERISTICS

STORIES : 1 Story

CENTRAL AC : No

AGE : 1973

FIREPLACES : 0

GROUND FL SF : 1,152

DELUXE BATHS : 0

TOTAL ABOVE GRADE SF : 1,152

FULL BATHS : 1

BASEMENT SF : 1,128

3/4 BATHS : 1

BASEMENT % FIN : 80%

HALF BATHS : 0

WALKOUT : No

BEDROOMS : 4

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 80

OPEN PORCH SF : 0

DECK SF : 0

GARAGES

GARAGE 1 SF : 768

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 864

GARAGE 2 TYPE : Detached Garage

LOT CHARACTERISTICS

LOT SF : 100,624

LAKE :

LOT ACRES : 2.31

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



ADDRESS PENDING

30-120-22-44-0010

2025 ESTIMATED MARKET VALUE:

\$429,400

SALE DATE : August 15, 2024

SALE DATE:

NET SALE PRICE : \$412,250

SALE PRICE:

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$415,700

BUILDING CHARACTERISTICS

STORIES : 1 Story

CENTRAL AC : Yes

AGE : 1969

FIREPLACES : 1

GROUND FL SF : 1,936

DELUXE BATHS : 0

TOTAL ABOVE GRADE SF : 1,936

FULL BATHS : 1

BASEMENT SF : 1,890

3/4 BATHS : 1

BASEMENT % FIN : 60%

HALF BATHS : 1

WALKOUT : Yes

BEDROOMS : 3

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 99

OPEN PORCH SF : 0

DECK SF : 0

GARAGES

GARAGE 1 SF : 648

GARAGE 1 TYPE : Tuck Under Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 63,162

LAKE :

LOT ACRES : 1.45

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



13180 ZACHARY LA N

23-120-22-11-0038

2025 ESTIMATED MARKET VALUE:

\$434,800

SALE DATE : June 28, 2024

NET SALE PRICE : \$435,000

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$440,200

SALE DATE: October 22, 2021

SALE PRICE: \$420,000

BUILDING CHARACTERISTICS

STORIES : 1 Story

AGE : 2019

GROUND FL SF : 1,860

TOTAL ABOVE GRADE SF : 1,860

BASEMENT SF : 0

BASEMENT % FIN : 0%

WALKOUT : No

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 0

FULL BATHS : 1

3/4 BATHS : 1

HALF BATHS : 0

BEDROOMS : 2

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 162

DECK SF : 160

GARAGES

GARAGE 1 SF : 473

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 11,761

LOT ACRES : 0.27

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



13469 ZACHARY LA N

14-120-22-44-0086

2025 ESTIMATED MARKET VALUE:

\$453,600

SALE DATE : October 20, 2023

NET SALE PRICE : \$465,000

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$476,900

SALE DATE: February 7, 2022

SALE PRICE: \$458,097

BUILDING CHARACTERISTICS

STORIES : 1 Story

AGE : 2021

GROUND FL SF : 1,776

TOTAL ABOVE GRADE SF : 1,776

BASEMENT SF : 0

BASEMENT % FIN : 0%

WALKOUT : No

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 0

FULL BATHS : 1

3/4 BATHS : 1

HALF BATHS : 0

BEDROOMS : 2

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 132

DECK SF : 0

GARAGES

GARAGE 1 SF : 768

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 14,810

LOT ACRES : 0.34

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



14639 CHESHIRE WAY

10-120-22-23-0057

2025 ESTIMATED MARKET VALUE:

\$453,800

SALE DATE : March 27, 2024

SALE DATE: February 10, 2022

NET SALE PRICE : \$480,000

SALE PRICE: \$520,288

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$488,200

BUILDING CHARACTERISTICS

STORIES : 1 Story

CENTRAL AC : Yes

AGE : 2021

FIREPLACES : 0

GROUND FL SF : 1,922

DELUXE BATHS : 0

TOTAL ABOVE GRADE SF : 1,922

FULL BATHS : 1

BASEMENT SF : 0

3/4 BATHS : 1

BASEMENT % FIN : 0%

HALF BATHS : 0

WALKOUT : No

BEDROOMS : 3

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 0

DECK SF : 0

GARAGES

GARAGE 1 SF : 714

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 10,019

LAKE :

LOT ACRES : 0.23

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



14641 CLOQUET ST

10-120-22-23-0012

2025 ESTIMATED MARKET VALUE:

\$457,600

SALE DATE : June 14, 2024

NET SALE PRICE : \$489,900

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$495,700

SALE DATE: September 24, 2020

SALE PRICE: \$366,695

BUILDING CHARACTERISTICS

STORIES : 1 Story

AGE : 2020

GROUND FL SF : 1,943

TOTAL ABOVE GRADE SF : 1,943

BASEMENT SF : 0

BASEMENT % FIN : 0%

WALKOUT : No

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 0

FULL BATHS : 1

3/4 BATHS : 1

HALF BATHS : 0

BEDROOMS : 3

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 132

DECK SF : 0

GARAGES

GARAGE 1 SF : 679

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 8,712

LOT ACRES : 0.20

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



14561 109TH AVE N

33-120-22-44-0025

2025 ESTIMATED MARKET VALUE:

\$499,600

SALE DATE : November 29, 2023

NET SALE PRICE : \$490,000

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$501,700

SALE DATE: May 21, 2021

SALE PRICE: \$476,500

BUILDING CHARACTERISTICS

STORIES : 1 Story

AGE : 2020

GROUND FL SF : 1,582

TOTAL ABOVE GRADE SF : 1,582

BASEMENT SF : 1,582

BASEMENT % FIN : 80%

WALKOUT : No

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 1

FULL BATHS : 2

3/4 BATHS : 0

HALF BATHS : 0

BEDROOMS : 3

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 66

DECK SF : 168

GARAGES

GARAGE 1 SF : 561

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 9,148

LOT ACRES : 0.21

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



16630 TERRITORIAL TR

32-120-22-42-0038

2025 ESTIMATED MARKET VALUE:

\$513,700

SALE DATE : April 18, 2024
NET SALE PRICE : \$510,800
ANNUAL MCAP ADJ : 2.042
MCAP SALE PRICE : \$518,600

SALE DATE: July 20, 2021
SALE PRICE: \$442,210

BUILDING CHARACTERISTICS

STORIES : 1 Story
AGE : 2021
GROUND FL SF : 2,065
TOTAL ABOVE GRADE SF : 2,065
BASEMENT SF : 2,065
BASEMENT % FIN : 0%
WALKOUT : No

CENTRAL AC : Yes
FIREPLACES : 0
DELUXE BATHS : 0
FULL BATHS : 1
3/4 BATHS : 1
HALF BATHS : 0
BEDROOMS : 3

PORCHES / DECKS

ENCLOSED PORCH SF : 0
SCREENED PORCH SF : 0
OPEN PORCH SF : 112
DECK SF : 0

GARAGES

GARAGE 1 SF : 422
GARAGE 1 TYPE : Attached Garage
GARAGE 2 SF : 0
GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 7,405
LOT ACRES : 0.17

LAKE :
EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



14748 CLOQUET ST

09-120-22-41-0046

2025 ESTIMATED MARKET VALUE:

\$460,800

SALE DATE : September 20, 2024

NET SALE PRICE : \$530,000

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$533,600

SALE DATE: August 29, 2016

SALE PRICE: \$421,943

BUILDING CHARACTERISTICS

STORIES : 1 Story

AGE : 2016

GROUND FL SF : 1,872

TOTAL ABOVE GRADE SF : 1,872

BASEMENT SF : 0

BASEMENT % FIN : 0%

WALKOUT : No

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 0

FULL BATHS : 1

3/4 BATHS : 1

HALF BATHS : 0

BEDROOMS : 2

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 0

DECK SF : 0

GARAGES

GARAGE 1 SF : 795

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 8,712

LOT ACRES : 0.20

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



13931 TEAKWOOD LA N

15-120-22-13-0034

2025 ESTIMATED MARKET VALUE:

\$609,200

SALE DATE : May 10, 2024

NET SALE PRICE : \$633,000

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$641,600

SALE DATE: February 2, 2021

SALE PRICE: \$113,425

BUILDING CHARACTERISTICS

STORIES : 1 Story

AGE : 2020

GROUND FL SF : 1,710

TOTAL ABOVE GRADE SF : 1,710

BASEMENT SF : 1,710

BASEMENT % FIN : 80%

WALKOUT : No

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 1

FULL BATHS : 1

3/4 BATHS : 1

HALF BATHS : 0

BEDROOMS : 5

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 224

OPEN PORCH SF : 0

DECK SF : 168

GARAGES

GARAGE 1 SF : 644

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 10,019

LOT ACRES : 0.23

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



14305 KINGSVIEW LA N

09-120-22-43-0030

2025 ESTIMATED MARKET VALUE:

\$633,700

SALE DATE : December 1, 2023

NET SALE PRICE : \$630,500

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$644,500

SALE DATE: August 27, 2020

SALE PRICE: \$554,900

BUILDING CHARACTERISTICS

STORIES : 1 Story

AGE : 2020

GROUND FL SF : 1,693

TOTAL ABOVE GRADE SF : 1,693

BASEMENT SF : 1,693

BASEMENT % FIN : 80%

WALKOUT : Yes

CENTRAL AC : Yes

FIREPLACES : 1

DELUXE BATHS : 0

FULL BATHS : 2

3/4 BATHS : 1

HALF BATHS : 0

BEDROOMS : 4

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 210

DECK SF : 224

GARAGES

GARAGE 1 SF : 623

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 13,068

LOT ACRES : 0.30

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



14190 KINGSVIEW LA N

09-120-22-43-0029

2025 ESTIMATED MARKET VALUE:

\$648,800

SALE DATE : October 6, 2023

NET SALE PRICE : \$630,000

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$646,100

SALE DATE: September 9, 2022

SALE PRICE: \$640,000

BUILDING CHARACTERISTICS

STORIES : 1 Story

AGE : 2019

GROUND FL SF : 1,742

TOTAL ABOVE GRADE SF : 1,742

BASEMENT SF : 1,728

BASEMENT % FIN : 70%

WALKOUT : Yes

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 1

FULL BATHS : 1

3/4 BATHS : 1

HALF BATHS : 0

BEDROOMS : 4

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 144

OPEN PORCH SF : 156

DECK SF : 0

GARAGES

GARAGE 1 SF : 940

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 24,829

LOT ACRES : 0.57

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



11500 ARROWOOD LA N

35-120-22-11-0037

2025 ESTIMATED MARKET VALUE:

\$662,100

SALE DATE : June 26, 2024

NET SALE PRICE : \$650,000

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$657,700

SALE DATE: August 29, 2014

SALE PRICE: \$487,575

BUILDING CHARACTERISTICS

STORIES : 1 Story

AGE : 2007

GROUND FL SF : 2,066

TOTAL ABOVE GRADE SF : 2,066

BASEMENT SF : 2,066

BASEMENT % FIN : 80%

WALKOUT : No

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 1

FULL BATHS : 2

3/4 BATHS : 0

HALF BATHS : 0

BEDROOMS : 4

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 122

DECK SF : 0

GARAGES

GARAGE 1 SF : 960

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 12,197

LOT ACRES : 0.28

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



13460 PINEVIEW CT N

14-120-22-33-0031

2025 ESTIMATED MARKET VALUE:

\$636,200

SALE DATE : November 13, 2023

SALE DATE:

NET SALE PRICE : \$652,000

SALE PRICE:

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$667,600

BUILDING CHARACTERISTICS

STORIES : 1 Story

CENTRAL AC : Yes

AGE : 2002

FIREPLACES : 1

GROUND FL SF : 2,067

DELUXE BATHS : 1

TOTAL ABOVE GRADE SF : 2,067

FULL BATHS : 1

BASEMENT SF : 2,193

3/4 BATHS : 0

BASEMENT % FIN : 80%

HALF BATHS : 1

WALKOUT : Yes

BEDROOMS : 4

PORCHES / DECKS

ENCLOSED PORCH SF : 0

GARAGES

GARAGE 1 SF : 1,002

SCREENED PORCH SF : 0

GARAGE 1 TYPE : Attached Garage

OPEN PORCH SF : 250

GARAGE 2 SF : 0

DECK SF : 56

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 16,988

LAKE :

LOT ACRES : 0.39

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



14950 143RD AVE N

09-120-22-43-0075

2025 ESTIMATED MARKET VALUE:

\$713,100

SALE DATE : February 9, 2024

NET SALE PRICE : \$750,000

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$764,000

SALE DATE: October 14, 2022

SALE PRICE: \$710,000

BUILDING CHARACTERISTICS

STORIES : 1 Story

AGE : 2020

GROUND FL SF : 2,014

TOTAL ABOVE GRADE SF : 2,014

BASEMENT SF : 2,014

BASEMENT % FIN : 80%

WALKOUT : Yes

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 0

FULL BATHS : 1

3/4 BATHS : 2

HALF BATHS : 0

BEDROOMS : 4

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 118

DECK SF : 360

GARAGES

GARAGE 1 SF : 972

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 91,476

LOT ACRES : 2.10

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



11660 134TH AVE N

14-120-22-43-0046

2025 ESTIMATED MARKET VALUE:

\$436,000

SALE DATE : December 20, 2024

NET SALE PRICE : \$457,000

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$459,203

SALE DATE: November 3, 2023

SALE PRICE: \$448,500

BUILDING CHARACTERISTICS

STORIES : Split Entry

AGE : 2010

GROUND FL SF : 1,383

TOTAL ABOVE GRADE SF : 1,383

BASEMENT SF : 1,198

BASEMENT % FIN : 80%

WALKOUT : No

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 0

FULL BATHS : 1

3/4 BATHS : 2

HALF BATHS : 0

BEDROOMS : 5

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 0

DECK SF : 191

GARAGES

GARAGE 1 SF : 668

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 15,682

LOT ACRES : 0.36

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



13461 BALSAM LA N

14-120-22-44-0038

2025 ESTIMATED MARKET VALUE:

\$329,000

SALE DATE : December 11, 2023

NET SALE PRICE : \$315,250

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$322,200

SALE DATE: December 31, 2019

SALE PRICE: \$252,200

BUILDING CHARACTERISTICS

STORIES : Split Entry

AGE : 1974

GROUND FL SF : 1,227

TOTAL ABOVE GRADE SF : 1,227

BASEMENT SF : 1,053

BASEMENT % FIN : 80%

WALKOUT : Yes

CENTRAL AC : Yes

FIREPLACES : 1

DELUXE BATHS : 0

FULL BATHS : 1

3/4 BATHS : 1

HALF BATHS : 0

BEDROOMS : 3

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 0

DECK SF : 0

GARAGES

GARAGE 1 SF : 484

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 24,829

LOT ACRES : 0.57

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



12711 STONERIDGE RD

10-120-22-44-0014

2025 ESTIMATED MARKET VALUE:

\$316,800

SALE DATE : October 3, 2023

SALE DATE:

NET SALE PRICE : \$322,000

SALE PRICE:

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$330,200

BUILDING CHARACTERISTICS

STORIES : Split Entry

CENTRAL AC : Yes

AGE : 1973

FIREPLACES : 1

GROUND FL SF : 1,028

DELUXE BATHS : 0

TOTAL ABOVE GRADE SF : 1,028

FULL BATHS : 1

BASEMENT SF : 1,104

3/4 BATHS : 1

BASEMENT % FIN : 80%

HALF BATHS : 0

WALKOUT : No

BEDROOMS : 4

PORCHES / DECKS

ENCLOSED PORCH SF : 160

SCREENED PORCH SF : 144

OPEN PORCH SF : 0

DECK SF : 0

GARAGES

GARAGE 1 SF : 576

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 16,553

LAKE :

LOT ACRES : 0.38

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



13140 139TH AVE N

15-120-22-12-0019

2025 ESTIMATED MARKET VALUE:

\$301,300

SALE DATE : September 18, 2024

SALE DATE:

NET SALE PRICE : \$332,500

SALE PRICE:

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$334,700

BUILDING CHARACTERISTICS

STORIES : Split Entry

CENTRAL AC : No

AGE : 1971

FIREPLACES : 0

GROUND FL SF : 1,025

DELUXE BATHS : 0

TOTAL ABOVE GRADE SF : 1,025

FULL BATHS : 1

BASEMENT SF : 912

3/4 BATHS : 1

BASEMENT % FIN : 80%

HALF BATHS : 0

WALKOUT : No

BEDROOMS : 4

PORCHES / DECKS

ENCLOSED PORCH SF : 0

GARAGES

GARAGE 1 SF : 624

SCREENED PORCH SF : 0

GARAGE 1 TYPE : Attached Garage

OPEN PORCH SF : 0

GARAGE 2 SF : 0

DECK SF : 230

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 27,007

LAKE :

LOT ACRES : 0.62

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



13060 DAYTON RIVER RD

15-120-22-11-0005

2025 ESTIMATED MARKET VALUE:

\$336,000

SALE DATE : January 22, 2024

NET SALE PRICE : \$355,000

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$362,200

SALE DATE: January 23, 2020

SALE PRICE: \$263,840

BUILDING CHARACTERISTICS

STORIES : Split Entry

AGE : 1967

GROUND FL SF : 1,040

TOTAL ABOVE GRADE SF : 1,040

BASEMENT SF : 1,040

BASEMENT % FIN : 80%

WALKOUT : No

CENTRAL AC : No

FIREPLACES : 0

DELUXE BATHS : 0

FULL BATHS : 1

3/4 BATHS : 1

HALF BATHS : 0

BEDROOMS : 4

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 0

DECK SF : 192

GARAGES

GARAGE 1 SF : 572

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 33,541

LOT ACRES : 0.77

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



13021 141ST AVE N

10-120-22-44-0057

2025 ESTIMATED MARKET VALUE:

\$330,100

SALE DATE : July 30, 2024

SALE DATE:

NET SALE PRICE : \$360,000

SALE PRICE:

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$363,700

BUILDING CHARACTERISTICS

STORIES : Split Entry

CENTRAL AC : Yes

AGE : 1978

FIREPLACES : 1

GROUND FL SF : 1,048

DELUXE BATHS : 0

TOTAL ABOVE GRADE SF : 1,048

FULL BATHS : 1

BASEMENT SF : 962

3/4 BATHS : 0

BASEMENT % FIN : 60%

HALF BATHS : 1

WALKOUT : No

BEDROOMS : 4

PORCHES / DECKS

ENCLOSED PORCH SF : 192

GARAGES

GARAGE 1 SF : 710

SCREENED PORCH SF : 0

GARAGE 1 TYPE : Attached Garage

OPEN PORCH SF : 0

GARAGE 2 SF : 0

DECK SF : 40

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 15,682

LAKE :

LOT ACRES : 0.36

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



14200 117TH AVE N

27-120-22-33-0008

2025 ESTIMATED MARKET VALUE:

\$643,200

SALE DATE : January 29, 2024

SALE DATE:

NET SALE PRICE : \$677,500

SALE PRICE:

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$691,300

BUILDING CHARACTERISTICS

STORIES : Split Entry

CENTRAL AC : Yes

AGE : 1978

FIREPLACES : 1

GROUND FL SF : 1,613

DELUXE BATHS : 0

TOTAL ABOVE GRADE SF : 2,705

FULL BATHS : 1

BASEMENT SF : 1,234

3/4 BATHS : 1

BASEMENT % FIN : 80%

HALF BATHS : 0

WALKOUT : Yes

BEDROOMS : 4

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 73

OPEN PORCH SF : 0

DECK SF : 1,225

GARAGES

GARAGE 1 SF : 808

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 1,120

GARAGE 2 TYPE : Detached Garage

LOT CHARACTERISTICS

LOT SF : 320,602

LAKE :

LOT ACRES : 7.36

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



11881 132ND AVE N

23-120-22-12-0046

2025 ESTIMATED MARKET VALUE:

\$424,900

SALE DATE : August 23, 2024

NET SALE PRICE : \$443,290

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$447,000

SALE DATE: March 16, 2020

SALE PRICE: \$354,990

BUILDING CHARACTERISTICS

STORIES : Split Level

AGE : 2019

GROUND FL SF : 1,564

TOTAL ABOVE GRADE SF : 1,564

BASEMENT SF : 799

BASEMENT % FIN : 70%

WALKOUT : Yes

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 0

FULL BATHS : 1

3/4 BATHS : 1

HALF BATHS : 0

BEDROOMS : 3

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 80

DECK SF : 0

GARAGES

GARAGE 1 SF : 618

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 9,148

LOT ACRES : 0.21

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



12111 BLUE SPRUCE CT N

14-120-22-34-0039

2025 ESTIMATED MARKET VALUE:

\$435,600

SALE DATE : June 26, 2024

SALE DATE:

NET SALE PRICE : \$450,000

SALE PRICE:

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$455,300

BUILDING CHARACTERISTICS

STORIES : Split Level

CENTRAL AC : Yes

AGE : 2017

FIREPLACES : 0

GROUND FL SF : 1,446

DELUXE BATHS : 0

TOTAL ABOVE GRADE SF : 1,446

FULL BATHS : 2

BASEMENT SF : 737

3/4 BATHS : 1

BASEMENT % FIN : 80%

HALF BATHS : 0

WALKOUT : Yes

BEDROOMS : 4

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 0

DECK SF : 304

GARAGES

GARAGE 1 SF : 594

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 10,019

LAKE :

LOT ACRES : 0.23

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



11880 132ND AVE N

23-120-22-12-0049

2025 ESTIMATED MARKET VALUE:

\$421,900

SALE DATE : September 6, 2024

NET SALE PRICE : \$460,000

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$463,100

SALE DATE: May 12, 2020

SALE PRICE: \$375,795

BUILDING CHARACTERISTICS

STORIES : Split Level

AGE : 2019

GROUND FL SF : 1,458

TOTAL ABOVE GRADE SF : 1,458

BASEMENT SF : 772

BASEMENT % FIN : 70%

WALKOUT : Yes

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 0

FULL BATHS : 2

3/4 BATHS : 1

HALF BATHS : 0

BEDROOMS : 4

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 102

DECK SF : 0

GARAGES

GARAGE 1 SF : 618

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 9,583

LOT ACRES : 0.22

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



12540 PINERIDGE WAY N

14-120-22-33-0026

2025 ESTIMATED MARKET VALUE:

\$500,700

SALE DATE : June 18, 2024

NET SALE PRICE : \$490,000

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$495,800

SALE DATE: January 10, 2020

SALE PRICE: \$373,945

BUILDING CHARACTERISTICS

STORIES : Split Level

AGE : 2019

GROUND FL SF : 1,726

TOTAL ABOVE GRADE SF : 1,726

BASEMENT SF : 1,093

BASEMENT % FIN : 80%

WALKOUT : Yes

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 0

FULL BATHS : 2

3/4 BATHS : 1

HALF BATHS : 1

BEDROOMS : 4

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 90

DECK SF : 144

GARAGES

GARAGE 1 SF : 680

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 10,454

LOT ACRES : 0.24

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



11649 PINERIDGE WAY N

23-120-22-21-0042

2025 ESTIMATED MARKET VALUE:

\$486,600

SALE DATE : September 25, 2024

NET SALE PRICE : \$499,650

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$503,000

SALE DATE: February 11, 2021

SALE PRICE: \$426,200

BUILDING CHARACTERISTICS

STORIES : Split Level

AGE : 2020

GROUND FL SF : 1,799

TOTAL ABOVE GRADE SF : 1,799

BASEMENT SF : 796

BASEMENT % FIN : 80%

WALKOUT : Yes

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 0

FULL BATHS : 2

3/4 BATHS : 1

HALF BATHS : 1

BEDROOMS : 4

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 114

DECK SF : 216

GARAGES

GARAGE 1 SF : 668

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 21,780

LOT ACRES : 0.50

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



15120 DIAMOND LAKE RD S

16-120-22-31-0003

2025 ESTIMATED MARKET VALUE:

\$596,100

SALE DATE : August 29, 2024

NET SALE PRICE : \$624,100

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$629,400

SALE DATE: June 25, 2020

SALE PRICE: \$410,000

BUILDING CHARACTERISTICS

STORIES : Split Level

AGE : 1987

GROUND FL SF : 1,140

TOTAL ABOVE GRADE SF : 1,140

BASEMENT SF : 1,140

BASEMENT % FIN : 70%

WALKOUT : Yes

CENTRAL AC : Yes

FIREPLACES : 1

DELUXE BATHS : 0

FULL BATHS : 1

3/4 BATHS : 1

HALF BATHS : 0

BEDROOMS : 3

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 0

DECK SF : 256

GARAGES

GARAGE 1 SF : 529

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 418,612

LOT ACRES : 9.61

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



11210 132ND CIR N

23-120-22-11-0094

2025 ESTIMATED MARKET VALUE:

\$412,200

SALE DATE : April 1, 2024

NET SALE PRICE : \$405,000

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$411,200

SALE DATE: May 11, 2021

SALE PRICE: \$375,533

BUILDING CHARACTERISTICS

STORIES : 2 Story

AGE : 2020

GROUND FL SF : 774

TOTAL ABOVE GRADE SF : 2,011

BASEMENT SF : 0

BASEMENT % FIN : 0%

WALKOUT : No

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 0

FULL BATHS : 1

3/4 BATHS : 1

HALF BATHS : 1

BEDROOMS : 4

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 80

DECK SF : 0

GARAGES

GARAGE 1 SF : 683

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 6,970

LOT ACRES : 0.16

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



11221 132ND CIR N

23-120-22-11-0085

2025 ESTIMATED MARKET VALUE:

\$418,200

SALE DATE : March 6, 2024

NET SALE PRICE : \$424,000

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$431,200

SALE DATE: July 5, 2022

SALE PRICE: \$440,000

BUILDING CHARACTERISTICS

STORIES : 2 Story

AGE : 2021

GROUND FL SF : 774

TOTAL ABOVE GRADE SF : 2,011

BASEMENT SF : 0

BASEMENT % FIN : 0%

WALKOUT : No

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 0

FULL BATHS : 1

3/4 BATHS : 1

HALF BATHS : 1

BEDROOMS : 4

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 56

DECK SF : 0

GARAGES

GARAGE 1 SF : 683

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 7,841

LOT ACRES : 0.18

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



11201 132ND CIR N

23-120-22-11-0083

2025 ESTIMATED MARKET VALUE:

\$413,800

SALE DATE : August 8, 2024

NET SALE PRICE : \$430,000

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$433,600

SALE DATE: September 30, 2021

SALE PRICE: \$379,929

BUILDING CHARACTERISTICS

STORIES : 2 Story

AGE : 2020

GROUND FL SF : 1,491

TOTAL ABOVE GRADE SF : 2,016

BASEMENT SF : 0

BASEMENT % FIN : 0%

WALKOUT : No

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 0

FULL BATHS : 1

3/4 BATHS : 2

HALF BATHS : 0

BEDROOMS : 3

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 0

DECK SF : 0

GARAGES

GARAGE 1 SF : 549

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 9,148

LOT ACRES : 0.21

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



11352 131ST CIR

23-120-22-11-0128

2025 ESTIMATED MARKET VALUE:

\$435,800

SALE DATE : August 28, 2024

NET SALE PRICE : \$435,000

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$438,700

SALE DATE: May 27, 2022

SALE PRICE: \$450,340

BUILDING CHARACTERISTICS

STORIES : 2 Story

AGE : 2021

GROUND FL SF : 842

TOTAL ABOVE GRADE SF : 2,146

BASEMENT SF : 0

BASEMENT % FIN : 0%

WALKOUT : No

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 0

FULL BATHS : 1

3/4 BATHS : 1

HALF BATHS : 1

BEDROOMS : 4

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 96

DECK SF : 0

GARAGES

GARAGE 1 SF : 682

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 10,890

LOT ACRES : 0.25

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



14708 CHESHIRE CT

10-120-22-23-0031

2025 ESTIMATED MARKET VALUE:

\$469,100

SALE DATE : July 29, 2024

NET SALE PRICE : \$474,900

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$479,700

SALE DATE: May 12, 2023

SALE PRICE: \$458,200

BUILDING CHARACTERISTICS

STORIES : 2 Story

AGE : 2022

GROUND FL SF : 826

TOTAL ABOVE GRADE SF : 2,056

BASEMENT SF : 806

BASEMENT % FIN : 0%

WALKOUT : No

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 0

FULL BATHS : 1

3/4 BATHS : 1

HALF BATHS : 1

BEDROOMS : 4

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 81

DECK SF : 0

GARAGES

GARAGE 1 SF : 690

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 7,405

LOT ACRES : 0.17

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



14461 OXBOW

09-120-22-41-0085

2025 ESTIMATED MARKET VALUE:

\$493,400

SALE DATE : February 23, 2024

NET SALE PRICE : \$472,500

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$481,300

SALE DATE: August 7, 2017

SALE PRICE: \$421,797

BUILDING CHARACTERISTICS

STORIES : 2 Story

AGE : 2017

GROUND FL SF : 1,736

TOTAL ABOVE GRADE SF : 2,646

BASEMENT SF : 0

BASEMENT % FIN : 0%

WALKOUT : No

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 0

FULL BATHS : 1

3/4 BATHS : 1

HALF BATHS : 1

BEDROOMS : 3

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 0

DECK SF : 0

GARAGES

GARAGE 1 SF : 470

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 17,424

LOT ACRES : 0.40

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



14406 OXBOW

09-120-22-41-0093

2025 ESTIMATED MARKET VALUE:

\$450,700

SALE DATE : March 15, 2024

NET SALE PRICE : \$478,000

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$486,100

SALE DATE: July 19, 2019

SALE PRICE: \$416,804

BUILDING CHARACTERISTICS

STORIES : 2 Story

AGE : 2019

GROUND FL SF : 1,926

TOTAL ABOVE GRADE SF : 2,347

BASEMENT SF : 0

BASEMENT % FIN : 0%

WALKOUT : No

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 0

FULL BATHS : 1

3/4 BATHS : 1

HALF BATHS : 0

BEDROOMS : 3

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 0

DECK SF : 0

GARAGES

GARAGE 1 SF : 440

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 6,970

LOT ACRES : 0.16

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



13401 PINEVIEW CT N

14-120-22-33-0008

2025 ESTIMATED MARKET VALUE:

\$498,400

SALE DATE : June 14, 2024

NET SALE PRICE : \$487,060

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$492,800

SALE DATE: July 14, 2022

SALE PRICE: \$490,000

BUILDING CHARACTERISTICS

STORIES : 2 Story

AGE : 2002

GROUND FL SF : 1,120

TOTAL ABOVE GRADE SF : 2,248

BASEMENT SF : 1,120

BASEMENT % FIN : 80%

WALKOUT : No

CENTRAL AC : Yes

FIREPLACES : 1

DELUXE BATHS : 1

FULL BATHS : 2

3/4 BATHS : 0

HALF BATHS : 1

BEDROOMS : 4

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 152

DECK SF : 0

GARAGES

GARAGE 1 SF : 864

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 17,860

LOT ACRES : 0.41

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



14465 OXBOW LA

09-120-22-41-0086

2025 ESTIMATED MARKET VALUE:

\$491,600

SALE DATE : May 9, 2024

NET SALE PRICE : \$493,500

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$500,200

SALE DATE: March 21, 2018

SALE PRICE: \$380,393

BUILDING CHARACTERISTICS

STORIES : 2 Story

AGE : 2017

GROUND FL SF : 1,736

TOTAL ABOVE GRADE SF : 2,646

BASEMENT SF : 0

BASEMENT % FIN : 0%

WALKOUT : No

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 0

FULL BATHS : 1

3/4 BATHS : 1

HALF BATHS : 1

BEDROOMS : 3

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 0

DECK SF : 0

GARAGES

GARAGE 1 SF : 470

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 8,276

LOT ACRES : 0.19

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



11040 TERRITORIAL TR

32-120-22-42-0029

2025 ESTIMATED MARKET VALUE:

\$495,300

SALE DATE : January 23, 2024

NET SALE PRICE : \$493,000

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$503,100

SALE DATE: March 30, 2018

SALE PRICE: \$401,955

BUILDING CHARACTERISTICS

STORIES : 2 Story

AGE : 2017

GROUND FL SF : 1,105

TOTAL ABOVE GRADE SF : 2,471

BASEMENT SF : 1,105

BASEMENT % FIN : 0%

WALKOUT : No

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 1

FULL BATHS : 1

3/4 BATHS : 0

HALF BATHS : 1

BEDROOMS : 4

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 56

DECK SF : 0

GARAGES

GARAGE 1 SF : 611

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 8,712

LOT ACRES : 0.20

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



14498 RIVER HILLS PKWY

09-120-22-41-0110

2025 ESTIMATED MARKET VALUE:

\$491,300

SALE DATE : April 29, 2024

NET SALE PRICE : \$500,000

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$507,600

SALE DATE: August 17, 2017

SALE PRICE: \$357,056

BUILDING CHARACTERISTICS

STORIES : 2 Story

AGE : 2017

GROUND FL SF : 984

TOTAL ABOVE GRADE SF : 2,214

BASEMENT SF : 984

BASEMENT % FIN : 0%

WALKOUT : No

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 0

FULL BATHS : 1

3/4 BATHS : 1

HALF BATHS : 1

BEDROOMS : 4

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 96

DECK SF : 192

GARAGES

GARAGE 1 SF : 640

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 12,197

LOT ACRES : 0.28

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



14457 OXBOW LN

09-120-22-41-0084

2025 ESTIMATED MARKET VALUE:

\$493,000

SALE DATE : July 31, 2024

NET SALE PRICE : \$509,990

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$515,200

SALE DATE: May 9, 2018

SALE PRICE: \$399,900

BUILDING CHARACTERISTICS

STORIES : 2 Story

AGE : 2016

GROUND FL SF : 1,736

TOTAL ABOVE GRADE SF : 2,597

BASEMENT SF : 0

BASEMENT % FIN : 0%

WALKOUT : No

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 0

FULL BATHS : 1

3/4 BATHS : 1

HALF BATHS : 1

BEDROOMS : 3

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 0

DECK SF : 0

GARAGES

GARAGE 1 SF : 670

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 18,731

LOT ACRES : 0.43

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



14661 109TH AVE N

33-120-22-44-0013

2025 ESTIMATED MARKET VALUE:

\$495,600

SALE DATE : March 14, 2024

NET SALE PRICE : \$520,000

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$528,800

SALE DATE: March 18, 2021

SALE PRICE: \$417,535

BUILDING CHARACTERISTICS

STORIES : 2 Story

AGE : 2020

GROUND FL SF : 890

TOTAL ABOVE GRADE SF : 1,940

BASEMENT SF : 890

BASEMENT % FIN : 80%

WALKOUT : No

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 0

FULL BATHS : 2

3/4 BATHS : 1

HALF BATHS : 1

BEDROOMS : 4

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 54

DECK SF : 294

GARAGES

GARAGE 1 SF : 538

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 9,148

LOT ACRES : 0.21

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



14388 ITASCA BAY

09-120-22-41-0029

2025 ESTIMATED MARKET VALUE:

\$486,200

SALE DATE : August 9, 2024

NET SALE PRICE : \$529,900

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$534,400

SALE DATE: July 14, 2016

SALE PRICE: \$374,285

BUILDING CHARACTERISTICS

STORIES : 2 Story

AGE : 2016

GROUND FL SF : 1,848

TOTAL ABOVE GRADE SF : 2,598

BASEMENT SF : 0

BASEMENT % FIN : 0%

WALKOUT : No

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 0

FULL BATHS : 1

3/4 BATHS : 1

HALF BATHS : 1

BEDROOMS : 3

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 0

DECK SF : 0

GARAGES

GARAGE 1 SF : 450

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 7,841

LOT ACRES : 0.18

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



14771 126TH AVE N

21-120-22-43-0013

2025 ESTIMATED MARKET VALUE:

\$576,000

SALE DATE : June 7, 2024

NET SALE PRICE : \$550,000

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$556,500

SALE DATE: December 18, 2019

SALE PRICE: \$382,000

BUILDING CHARACTERISTICS

STORIES : 2 Story

AGE : 2001

GROUND FL SF : 1,113

TOTAL ABOVE GRADE SF : 2,133

BASEMENT SF : 1,083

BASEMENT % FIN : 80%

WALKOUT : Yes

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 1

FULL BATHS : 1

3/4 BATHS : 1

HALF BATHS : 1

BEDROOMS : 4

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 97

DECK SF : 256

GARAGES

GARAGE 1 SF : 680

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 18,731

LOT ACRES : 0.43

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



15730 CREEKSIDE LA

33-120-22-33-0018

2025 ESTIMATED MARKET VALUE:

\$573,100

SALE DATE : June 20, 2024

NET SALE PRICE : \$587,000

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$594,000

SALE DATE: December 15, 2016

SALE PRICE: \$437,501

BUILDING CHARACTERISTICS

STORIES : 2 Story

AGE : 2016

GROUND FL SF : 1,096

TOTAL ABOVE GRADE SF : 2,486

BASEMENT SF : 1,096

BASEMENT % FIN : 50%

WALKOUT : No

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 1

FULL BATHS : 1

3/4 BATHS : 1

HALF BATHS : 1

BEDROOMS : 4

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 108

DECK SF : 0

GARAGES

GARAGE 1 SF : 684

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 10,019

LOT ACRES : 0.23

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



11041 SUNDANCE RIDGE

33-120-22-33-0100

2025 ESTIMATED MARKET VALUE:

\$569,100

SALE DATE : June 28, 2024

NET SALE PRICE : \$589,900

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$596,900

SALE DATE: March 31, 2021

SALE PRICE: \$502,875

BUILDING CHARACTERISTICS

STORIES : 2 Story

AGE : 2020

GROUND FL SF : 1,096

TOTAL ABOVE GRADE SF : 2,500

BASEMENT SF : 1,096

BASEMENT % FIN : 0%

WALKOUT : Yes

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 1

FULL BATHS : 1

3/4 BATHS : 0

HALF BATHS : 1

BEDROOMS : 4

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 140

DECK SF : 0

GARAGES

GARAGE 1 SF : 680

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 11,761

LOT ACRES : 0.27

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



14306 FERNBROOK LA N

10-120-22-33-0077

2025 ESTIMATED MARKET VALUE:

\$581,400

SALE DATE : May 31, 2024

NET SALE PRICE : \$601,000

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$609,200

SALE DATE: March 27, 2023

SALE PRICE: \$569,990

BUILDING CHARACTERISTICS

STORIES : 2 Story

AGE : 2022

GROUND FL SF : 1,418

TOTAL ABOVE GRADE SF : 3,050

BASEMENT SF : 1,418

BASEMENT % FIN : 0%

WALKOUT : Yes

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 1

FULL BATHS : 1

3/4 BATHS : 1

HALF BATHS : 0

BEDROOMS : 5

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 114

DECK SF : 0

GARAGES

GARAGE 1 SF : 722

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 10,454

LOT ACRES : 0.24

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



13055 FORESTVIEW CIR N

23-120-22-13-0009

2025 ESTIMATED MARKET VALUE:

\$580,400

SALE DATE : November 1, 2023

SALE DATE:

NET SALE PRICE : \$598,000

SALE PRICE:

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$612,300

BUILDING CHARACTERISTICS

STORIES : 2 Story

CENTRAL AC : Yes

AGE : 1991

FIREPLACES : 1

GROUND FL SF : 1,447

DELUXE BATHS : 1

TOTAL ABOVE GRADE SF : 2,427

FULL BATHS : 1

BASEMENT SF : 1,260

3/4 BATHS : 1

BASEMENT % FIN : 50%

HALF BATHS : 1

WALKOUT : Yes

BEDROOMS : 3

PORCHES / DECKS

ENCLOSED PORCH SF : 168

SCREENED PORCH SF : 0

OPEN PORCH SF : 112

DECK SF : 356

GARAGES

GARAGE 1 SF : 944

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 95,396

LAKE :

LOT ACRES : 2.19

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



15590 CREEKSIDE LA

33-120-22-33-0025

2025 ESTIMATED MARKET VALUE:

\$594,600

SALE DATE : October 5, 2023

NET SALE PRICE : \$605,000

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$620,500

SALE DATE: February 24, 2017

SALE PRICE: \$460,170

BUILDING CHARACTERISTICS

STORIES : 2 Story

AGE : 2016

GROUND FL SF : 1,220

TOTAL ABOVE GRADE SF : 2,678

BASEMENT SF : 1,196

BASEMENT % FIN : 70%

WALKOUT : No

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 0

FULL BATHS : 1

3/4 BATHS : 2

HALF BATHS : 1

BEDROOMS : 5

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 0

DECK SF : 0

GARAGES

GARAGE 1 SF : 682

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 9,583

LOT ACRES : 0.22

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



11317 BASSWOOD LN

35-120-22-11-0059

2025 ESTIMATED MARKET VALUE:

\$619,200

SALE DATE : June 19, 2024

NET SALE PRICE : \$615,600

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$622,900

SALE DATE: March 29, 2021

SALE PRICE: \$510,000

BUILDING CHARACTERISTICS

STORIES : 2 Story

AGE : 2011

GROUND FL SF : 1,210

TOTAL ABOVE GRADE SF : 2,862

BASEMENT SF : 1,210

BASEMENT % FIN : 80%

WALKOUT : Yes

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 1

FULL BATHS : 2

3/4 BATHS : 0

HALF BATHS : 1

BEDROOMS : 5

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 128

DECK SF : 234

GARAGES

GARAGE 1 SF : 864

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 15,246

LOT ACRES : 0.35

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



13240 140TH AVE N

15-120-22-12-0028

2025 ESTIMATED MARKET VALUE:

\$661,900

SALE DATE : September 24, 2024

NET SALE PRICE : \$639,000

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$643,300

SALE DATE: June 10, 2020

SALE PRICE: \$536,406

BUILDING CHARACTERISTICS

STORIES : 2 Story

AGE : 2020

GROUND FL SF : 1,506

TOTAL ABOVE GRADE SF : 3,261

BASEMENT SF : 1,506

BASEMENT % FIN : 0%

WALKOUT : No

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 1

FULL BATHS : 1

3/4 BATHS : 1

HALF BATHS : 0

BEDROOMS : 4

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 108

DECK SF : 0

GARAGES

GARAGE 1 SF : 1,006

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 13,068

LOT ACRES : 0.30

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



11051 SUNDANCE WOODS BLVD

33-120-22-34-0093

2025 ESTIMATED MARKET VALUE:

\$628,200

SALE DATE : March 20, 2024

NET SALE PRICE : \$644,700

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$655,700

SALE DATE: February 21, 2020

SALE PRICE: \$489,990

BUILDING CHARACTERISTICS

STORIES : 2 Story

AGE : 2019

GROUND FL SF : 1,096

TOTAL ABOVE GRADE SF : 2,500

BASEMENT SF : 1,096

BASEMENT % FIN : 80%

WALKOUT : Yes

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 0

FULL BATHS : 1

3/4 BATHS : 2

HALF BATHS : 1

BEDROOMS : 5

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 144

DECK SF : 368

GARAGES

GARAGE 1 SF : 680

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 10,454

LOT ACRES : 0.24

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



11609 YUMA LA N

32-120-22-11-0043

2025 ESTIMATED MARKET VALUE:

\$646,400

SALE DATE : September 30, 2024

SALE DATE: January 10, 2022

NET SALE PRICE : \$651,500

SALE PRICE: \$680,000

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$655,900

BUILDING CHARACTERISTICS

STORIES : 2 Story

CENTRAL AC : Yes

AGE : 2021

FIREPLACES : 0

GROUND FL SF : 1,523

DELUXE BATHS : 0

TOTAL ABOVE GRADE SF : 2,828

FULL BATHS : 1

BASEMENT SF : 1,523

3/4 BATHS : 2

BASEMENT % FIN : 70%

HALF BATHS : 1

WALKOUT : No

BEDROOMS : 4

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 115

DECK SF : 0

GARAGES

GARAGE 1 SF : 742

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 8,276

LAKE :

LOT ACRES : 0.19

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



11527 BRAYBURN TRAIL

33-120-22-22-0066

2025 ESTIMATED MARKET VALUE:

\$649,700

SALE DATE : June 26, 2024

NET SALE PRICE : \$650,000

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$657,700

SALE DATE: January 26, 2021

SALE PRICE: \$543,905

BUILDING CHARACTERISTICS

STORIES : 2 Story

AGE : 2020

GROUND FL SF : 1,534

TOTAL ABOVE GRADE SF : 2,839

BASEMENT SF : 1,534

BASEMENT % FIN : 70%

WALKOUT : No

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 0

FULL BATHS : 2

3/4 BATHS : 1

HALF BATHS : 1

BEDROOMS : 4

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 0

DECK SF : 0

GARAGES

GARAGE 1 SF : 731

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 10,454

LOT ACRES : 0.24

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



14701 RIVER HILLS PKWY

09-120-22-14-0045

2025 ESTIMATED MARKET VALUE:

\$637,000

SALE DATE : April 15, 2024

NET SALE PRICE : \$658,750

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$668,800

SALE DATE: November 15, 2018

SALE PRICE: \$543,932

BUILDING CHARACTERISTICS

STORIES : 2 Story

AGE : 2018

GROUND FL SF : 1,312

TOTAL ABOVE GRADE SF : 2,624

BASEMENT SF : 1,312

BASEMENT % FIN : 80%

WALKOUT : Yes

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 1

FULL BATHS : 1

3/4 BATHS : 1

HALF BATHS : 1

BEDROOMS : 4

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 120

DECK SF : 180

GARAGES

GARAGE 1 SF : 740

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 10,454

LOT ACRES : 0.24

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



10960 SUNDANCE WOODS BLVD

33-120-22-34-0010

2025 ESTIMATED MARKET VALUE:

\$627,700

SALE DATE : October 20, 2023

NET SALE PRICE : \$660,000

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$676,900

SALE DATE: February 27, 2015

SALE PRICE: \$457,955

BUILDING CHARACTERISTICS

STORIES : 2 Story

AGE : 2014

GROUND FL SF : 1,222

TOTAL ABOVE GRADE SF : 2,696

BASEMENT SF : 1,196

BASEMENT % FIN : 80%

WALKOUT : No

CENTRAL AC : Yes

FIREPLACES : 1

DELUXE BATHS : 0

FULL BATHS : 1

3/4 BATHS : 2

HALF BATHS : 1

BEDROOMS : 5

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 133

DECK SF : 0

GARAGES

GARAGE 1 SF : 682

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 16,553

LOT ACRES : 0.38

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



11397 PARKSIDE TR N

35-120-22-11-0072

2025 ESTIMATED MARKET VALUE:

\$647,100

SALE DATE : September 20, 2024

NET SALE PRICE : \$675,000

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$679,600

SALE DATE: November 26, 2019

SALE PRICE: \$489,000

BUILDING CHARACTERISTICS

STORIES : 2 Story

AGE : 2013

GROUND FL SF : 1,380

TOTAL ABOVE GRADE SF : 2,728

BASEMENT SF : 1,380

BASEMENT % FIN : 80%

WALKOUT : No

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 1

FULL BATHS : 1

3/4 BATHS : 1

HALF BATHS : 1

BEDROOMS : 5

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 100

DECK SF : 252

GARAGES

GARAGE 1 SF : 682

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 16,553

LOT ACRES : 0.38

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



11616 N UPLAND LN

33-120-22-22-0099

2025 ESTIMATED MARKET VALUE:

\$683,500

SALE DATE : January 4, 2024

NET SALE PRICE : \$683,365

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$697,300

SALE DATE: January 19, 2023

SALE PRICE: \$680,000

BUILDING CHARACTERISTICS

STORIES : 2 Story

AGE : 2022

GROUND FL SF : 1,501

TOTAL ABOVE GRADE SF : 3,020

BASEMENT SF : 1,501

BASEMENT % FIN : 80%

WALKOUT : No

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 1

FULL BATHS : 2

3/4 BATHS : 0

HALF BATHS : 1

BEDROOMS : 4

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 122

DECK SF : 224

GARAGES

GARAGE 1 SF : 773

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 9,148

LOT ACRES : 0.21

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



15730 FAIR MEADOWS LANE

33-120-22-33-0077

2025 ESTIMATED MARKET VALUE:

\$683,900

SALE DATE : January 5, 2024

NET SALE PRICE : \$699,000

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$713,300

SALE DATE: October 30, 2020

SALE PRICE: \$597,575

BUILDING CHARACTERISTICS

STORIES : 2 Story

AGE : 2020

GROUND FL SF : 1,492

TOTAL ABOVE GRADE SF : 3,396

BASEMENT SF : 1,492

BASEMENT % FIN : 50%

WALKOUT : Yes

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 0

FULL BATHS : 1

3/4 BATHS : 3

HALF BATHS : 0

BEDROOMS : 4

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 180

DECK SF : 0

GARAGES

GARAGE 1 SF : 660

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 10,890

LOT ACRES : 0.25

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



12911 137TH AVE N

15-120-22-14-0027

2025 ESTIMATED MARKET VALUE:

\$760,300

SALE DATE : February 28, 2024

NET SALE PRICE : \$797,865

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$812,800

SALE DATE: November 26, 2019

SALE PRICE: \$619,000

BUILDING CHARACTERISTICS

STORIES : 2 Story

AGE : 2019

GROUND FL SF : 1,329

TOTAL ABOVE GRADE SF : 2,863

BASEMENT SF : 1,272

BASEMENT % FIN : 80%

WALKOUT : Yes

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 1

FULL BATHS : 1

3/4 BATHS : 2

HALF BATHS : 1

BEDROOMS : 5

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 110

DECK SF : 252

GARAGES

GARAGE 1 SF : 764

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 13,504

LOT ACRES : 0.31

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



13080 JONQUIL LA N

23-120-22-24-0011

2025 ESTIMATED MARKET VALUE:

\$815,600

SALE DATE : September 3, 2024

NET SALE PRICE : \$915,000

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$921,200

SALE DATE: June 29, 2001

SALE PRICE: \$347,000

BUILDING CHARACTERISTICS

STORIES : 2 Story

AGE : 1989

GROUND FL SF : 1,618

TOTAL ABOVE GRADE SF : 3,104

BASEMENT SF : 1,600

BASEMENT % FIN : 80%

WALKOUT : Yes

CENTRAL AC : Yes

FIREPLACES : 1

DELUXE BATHS : 1

FULL BATHS : 1

3/4 BATHS : 1

HALF BATHS : 1

BEDROOMS : 5

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 32

DECK SF : 152

GARAGES

GARAGE 1 SF : 770

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 215,186

LOT ACRES : 4.94

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



12830 OVERLOOK RD

10-120-22-41-0032

2025 ESTIMATED MARKET VALUE:

\$475,800

SALE DATE : September 12, 2024

SALE DATE:

NET SALE PRICE : \$450,000

SALE PRICE:

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$453,000

BUILDING CHARACTERISTICS

STORIES : 2 Story Split Level

CENTRAL AC : Yes

AGE : 1980

FIREPLACES : 0

GROUND FL SF : 1,020

DELUXE BATHS : 0

TOTAL ABOVE GRADE SF : 1,740

FULL BATHS : 1

BASEMENT SF : 1,020

3/4 BATHS : 1

BASEMENT % FIN : 30%

HALF BATHS : 1

WALKOUT : Yes

BEDROOMS : 3

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 0

DECK SF : 168

GARAGES

GARAGE 1 SF : 803

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 20,473

LAKE : Mississippi

LOT ACRES : 0.47

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS

Mississippi River



17851 DIAMOND LAKE RD

18-120-22-11-0008

2025 ESTIMATED MARKET VALUE: \$1,079,900

SALE DATE : May 29, 2024
NET SALE PRICE : \$1,160,000
ANNUAL MCAP ADJ : 2.047
MCAP SALE PRICE : \$1,175,800

SALE DATE: March 17, 2016
SALE PRICE: \$518,950

BUILDING CHARACTERISTICS

STORIES : 2 Story
AGE : 1971
GROUND FL SF : 1,937
TOTAL ABOVE GRADE SF : 3,103
BASEMENT SF : 1,937
BASEMENT % FIN : 80%
WALKOUT : No

CENTRAL AC : Yes
FIREPLACES : 1
DELUXE BATHS : 1
FULL BATHS : 0
3/4 BATHS : 2
HALF BATHS : 1
BEDROOMS : 3

PORCHES / DECKS

ENCLOSED PORCH SF : 312
SCREENED PORCH SF : 0
OPEN PORCH SF : 255
DECK SF : 552

GARAGES

GARAGE 1 SF : 672
GARAGE 1 TYPE : Attached Garage
GARAGE 2 SF : 1,248
GARAGE 2 TYPE : Detached Garage

LOT CHARACTERISTICS

LOT SF : 150,718
LOT ACRES : 3.46

LAKE : Diamond (Dayton)
EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS

Diamond Lake



10887 DUNKIRK

32-120-22-34-0018

2025 ESTIMATED MARKET VALUE:

\$320,200

SALE DATE : May 29, 2024

NET SALE PRICE : \$328,000

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$332,500

SALE DATE: March 10, 2023

SALE PRICE: \$350,790

BUILDING CHARACTERISTICS

STORIES : 2 Story

AGE : 2022

GROUND FL SF : 673

TOTAL ABOVE GRADE SF : 1,797

BASEMENT SF : 0

BASEMENT % FIN : 0%

WALKOUT : No

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 0

FULL BATHS : 1

3/4 BATHS : 1

HALF BATHS : 1

BEDROOMS : 3

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 0

DECK SF : 0

GARAGES

GARAGE 1 SF : 415

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 2,178

LOT ACRES : 0.05

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



10902 FOUNTAIN PL

32-120-22-34-0059

2025 ESTIMATED MARKET VALUE:

\$318,700

SALE DATE : June 20, 2024

NET SALE PRICE : \$335,000

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$339,000

SALE DATE: June 26, 2023

SALE PRICE: \$325,990

BUILDING CHARACTERISTICS

STORIES : 2 Story

AGE : 2022

GROUND FL SF : 675

TOTAL ABOVE GRADE SF : 1,777

BASEMENT SF : 0

BASEMENT % FIN : 0%

WALKOUT : No

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 0

FULL BATHS : 1

3/4 BATHS : 1

HALF BATHS : 1

BEDROOMS : 3

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 104

DECK SF : 0

GARAGES

GARAGE 1 SF : 413

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 1,307

LOT ACRES : 0.03

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS



10892 GLACIER LA N

33-120-22-44-0051

2025 ESTIMATED MARKET VALUE:

\$325,400

SALE DATE : May 28, 2024

NET SALE PRICE : \$340,000

ANNUAL MCAP ADJ : 2.042

MCAP SALE PRICE : \$344,600

SALE DATE: June 12, 2020

SALE PRICE: \$292,140

BUILDING CHARACTERISTICS

STORIES : 2 Story

AGE : 2019

GROUND FL SF : 675

TOTAL ABOVE GRADE SF : 1,801

BASEMENT SF : 0

BASEMENT % FIN : 0%

WALKOUT : No

CENTRAL AC : Yes

FIREPLACES : 0

DELUXE BATHS : 0

FULL BATHS : 1

3/4 BATHS : 1

HALF BATHS : 1

BEDROOMS : 3

PORCHES / DECKS

ENCLOSED PORCH SF : 0

SCREENED PORCH SF : 0

OPEN PORCH SF : 0

DECK SF : 0

GARAGES

GARAGE 1 SF : 414

GARAGE 1 TYPE : Attached Garage

GARAGE 2 SF : 0

GARAGE 2 TYPE :

LOT CHARACTERISTICS

LOT SF : 1,742

LOT ACRES : 0.04

LAKE :

EFFECTIVE LAKE FRONT FT : 0

APPRAISER COMMENTS

Mayor Fisher called the work session meeting to order at 5:30 p.m.

PRESENT: Mayor Dennis Fisher, David Fashant, Stephanie Henderson, Scott Salonek, Sara Van Asten, Brad Cole, Kaia Chambers, Dave Pikal, Keri Lingard, and John Knutson

ABSENT:

ALSO PRESENT: Assistant City Administrator/City Clerk, Amy Benting; City Administrator/Finance Director, Zach Doud; Community Development Director, Jon Sevald; Public Works Superintendent, Marty Farrell; City Engineer, Jason Quisberg; Police Chief, Paul Enga

TRAILS AND COMMUNITY PARK JOINT WORK SESSION WITH PARKS COMMISSION

Lingard shared the accomplishments of 2024: implemented the Adopt-A-Park Program and four parks have been adopted, five parks have irrigation, and four parks with bids in March.

Knutson shared about the process of Tree City USA and is something he would like the City to explore. Additional conversation ensued about management of the diseased trees in the City and Three Rivers Park District.

Conversation changed to landscape plans for new homes.

Pikal talked about the work going on at Elsie Stephens. Pikal expanded on additional plans for Elsie Stephens.

Pikal asked for the Arbor Day Proclamation to be signed by the Mayor.

Pikal shared excitement for MSA to work on plans.

Cole started the discussion on the Community Park. Land and park fees along with factors involved in continuing the process. Cole does not mind the idea but does not think it is realistic.

Fisher encouraged staff to keep their eyes open on opportunities. Fisher said anything above 40 acres would be difficult to find.

Additional conversation ensued about purchasing land and the buildout of the space.

Van Asten shared she has no desire to have a community park. There are other priorities for the City.

Sevald asked if there is an interest to increase the levy to fund a community park. The answer is no. Fashant added that a community park is a part of the Comprehensive Plan.

Overall consensus is to wait to be approached for land availability and refine the community park questions in the next survey.

ADJOURNMENT

Fisher declared the meeting adjourned at 6:19 p.m.

Approved: _____

Attest: Amy Benting

Mayor Fisher called the public meeting to order at 6:30 p.m.

PRESENT: Mayor Dennis Fisher, David Fashant, Stephanie Henderson, Scott Salonek, and Sara Van Asten

ABSENT: None

ALSO PRESENT: Public Works Superintendent, Marty Farrell; City Engineer, Jason Quisberg; Fire Chief, Gary Hendrickson; Police Chief, Paul Enga; City Administrator/Finance Director, Zach Doud; Assistant City Administrator/City Clerk, Amy Benting; Community Development Director, Jon Sevald; Planner II, Hayden Stensgard; City Attorney, Amy Schmidt

PLEDGE OF ALLEGIANCE

APPROVAL OF AGENDA

MOTION: Motion was made by Councilmember Fashant, seconded by Councilmember Salonek, to approve the agenda items, as presented. Motion carries unanimously.

CONSENT ITEMS:

- A. Approval of Council Meeting Minutes and Worksession Minutes of February 25, 2025
- B. Approval of Council Meeting Minutes and Worksession Minutes of March 11, 2025
- C. Approval of Payment of Claims for March 25, 2025
- D. Approval of Letter of Opposition to Missing Middle Housing Bills at State Legislature

MOTION: Motion was made by Councilmember Fashant, seconded by Councilmember Henderson, to approve the Consent Agenda as presented.

Further discussion: Van Asten referenced Item D, noting that she is in support of the letter. She asked if a similar letter with sample language could be shared with residents, encouraging them to contact their representative as well.

Fisher agreed that it would be helpful to share information with residents, encouraging them to contact local representatives.

Additional discussion ensued.

Doud agreed that these are important issues and confirmed that staff could draft something to place on the website. He also confirmed that once drafted, the sample letter could be shared by the Council on their personal social media accounts if desired.

Van Asten acknowledged that there is an issue with the missing middle housing, and until cities take steps to address the issue, this will continue to come up. She encouraged the City to think about the active steps they are taking to address the matter.

Fashant thanked staff for correcting the number of gallons on the Maple Grove water bill. He referenced a vehicle repair and asked how many of the Police vehicles are still owned versus leased. Enga provided more information, noting that additional vehicles are being shipped to auction to counter the lease payments. He stated that four Dodge Durangos will continue to be owned, and the remainder of the vehicles are leased, confirming that the owned vehicles will continue to cycle out.

The motion carries unanimously.

OPEN FORUM:

Marcia Grover of 11320 Fernbrook Lane came forward and expressed concerns related to the intersection of 113th and CR 121. She referenced a vehicle accident that recently took place involving a garbage truck and two vehicles. She provided information on traffic counts that she has completed during different times of the day and observations of people going around semis on the shoulder, damaging street signs, and her mailbox. She asked the Council to think of an alternate route for construction vehicles as 113th cannot handle the traffic that would result from the Dehn build-out.

John Williams of 13620 N. Diamond Lake Road came forward and stated that he and his wife purchased their home two years ago without the knowledge of the trail project planned for Vinewood Lane and N. Diamond Lake Road. He stated that they were informed two weeks ago through a letter in the mail and are concerned with the loss of yard and potential impacts to their access and to their property from lighting.

Keith Grover of 11320 Fernbrook Lane came forward and commented on the lack of street lighting at the intersection, which confuses people driving in the evening, and asked that additional lighting be added.

STAFF, CONSULTANT, AND COUNCIL UPDATES:

Doud stated that he received a request to discuss the Metropolitan Council projections and welcomed any input the Council may have prior to his meeting next week. He also provided an update on the Housing First case, which had a hearing today.

Benting provided an update on a recent MCFOA conference she attended last week.

Farrell provided an update on the well four rehab project and the wellhead treatment plant project. He advised of an issue with the DNR boat landing, which will be corrected prior to fishing opener. He noted that street sweeping is scheduled for the week of April 7th.

Hendrickson stated that the office has been licensed for emergency medical responder classes, refreshers, and EMT refreshers.

Enga stated that he will not be in attendance at the next two Council meetings but will have someone attend in his place.

Quisberg stated that he has received notice that the MnDOT State Aid dollars have been allocated to the City for use.

Schmidt stated that the Office of Cannabis Management has been issuing notices and anticipates that things will be up and running by the end of the first quarter.

Fisher stated that he would prefer to mail letters on the topic discussed during Open Forum in addition to posting information on the website, acknowledging the estimated cost of \$5,000.

The Council agreed.

Doud confirmed that he could draft and attempt to mail that letter by the end of the week.

COUNCIL BUSINESS

Public Hearing:

E. Parkway Neighborhood Tax Abatement - CANCELLED

This item was removed from the agenda.

New Business:

F. Oppidan Concept Plan Review – 17051 117th Avenue N

Stensgard presented the application of Oppidan, Inc. for a future 200,000 square-foot industrial building for warehousing and distribution near the intersection of Dayton Parkway and 117th Avenue N. He stated the subject property is currently three separate parcels totaling 32.24 acres. Two of the parcels have been historically vacant, and the third parcel has a single-family residential home on it, all owned by DDL Holdings.

Stensgard stated the applicant would plat the south 15 acres for the facility in the first phase and outlot the remaining area for future commercial development. Stensgard then reviewed the potential locations for connecting to the existing trunk sanitary sewer line.

Stensgard provided additional information related to setbacks, parking, site coverage, as well as additional considerations related to parking, access and circulation, outdoor storage, landscaping, and building orientation.

Stensgard stated the Planning Commission discussed this concept plan at its March 6, 2025, meeting and concluded that consideration should be given to re-

orienting the building so the truck area is on the south side of the property. The Planning Commission would like to meet with the City Council to discuss land use designations within this area to determine if they should be reevaluated and adjusted to reflect the current alignment of Dayton Parkway.

Fashant commented that he would agree with the zoning element. He acknowledged that the alignment of the Parkway keeps being brought up, and although it is not in the right place, they will need to make the best of it, as the alternative would be very expensive.

Fisher stated that the land use in the Comprehensive Plan was built around the originally designed route of the Parkway, acknowledging that they will need to change a lot of the zoning. He asked how they would get access if the land use is not residential. Stensgard stated that there is no proposed road with this proposed development, but stated that phase two shows a connection of 113th to East French Lake Road.

Stensgard explained that if the road is not built with this type of project, the Planning Commission supported medium density or some type of residential development along East French Lake to eliminate the concern of getting from East French Lake to the Parkway, to I-94.

Additional discussion ensued.

The conversation shifted to whether there should be a desire for industrial or residential development in this area, and that there should be a larger discussion related to the area planning.

Stensgard noted the desire of the Planning Commission to hold a joint meeting with the Council to discuss the larger picture for the development of this area. He commented that would include stakeholder involvement, and property owners would be engaged in that discussion.

Additional discussion ensued.

Quisberg confirmed that part of that discussion would be the feasibility and options of connecting 113th to East French Lake Road.

Fashant asked how the sewer and water utilities would be brought to the site and whether that would be part of this project. Quisberg replied that would be done as a separate project. Quisberg noted that water is readily available within the Parkway for connection and provided details on the sewer extension that would be needed to bring that service to this property and north of 117th.

Jay Moore with Oppidan Investment Company of 400 Water Street, Excelsior, Minnesota, came forward along with Mark Anderson, who is a civil engineer representing Oppidan. Moore provided additional details on their anticipated timeline for the project to potentially begin construction this fall if the project is supported.

Quisberg provided additional details on the anticipated timeline of the sewer extension project, noting that winter construction may be optimal for that type of project.

Van Asten referenced the comment of the Planning Commission to rotate the orientation of the building and asked the applicant for input on that suggestion.

Anderson replied that their preference would be to build the building and truck court as shown on the revised plan, with the truck court on the north side. He explained the benefit of this design with the natural slope of the site for stormwater management. Anderson explained that if the orientation were changed, they would need to elevate the building by three feet, which would require additional fill to be brought onto the site. He described the landscaping and buffering that they would propose, which is shown in the updated renderings. He stated that all Code requirements are met by the proposed design.

Fashant commented that the reasons of the applicant for this orientation make sense, and he could support that.

Anderson stated that the updated exhibit does show an alignment for 113th, which is an extension of the roadway that would go around the wetland. He noted that is a potential route to provide the access that was mentioned to go forward to the roundabout.

Madou, landowner, stated that he supports the plan as presented.

Moore asked if there is support from the Council for them to continue in the process, as the additional design work will require a significant investment.

Quisberg provided additional input on the discussion of the Planning Commission related to 113th. He explained how the road extension could provide access without impacting residential properties.

Doud commented that he believes it is important for the building orientation to be flipped, as there is a commercial business across the wetland that would not want to view the truck court. He recognized the additional investment that would be needed from the developer to make that change, but believed that they need to consider what is best for the City as a whole rather than the developer.

Anderson commented that the project would likely not be feasible with that additional cost. He stated that they would create berming along Dayton Parkway in addition to the screening that would be added.

Van Asten acknowledged that commercial can mean a lot of things, from retail and restaurant to business park. She noted that should be included in the bigger picture discussion for the planning of this area, as this area is unplanned, and if they do not have that larger discussion, the area will continue to plan itself.

Additional discussion ensued.

Following review of the Oppidan Concept Plan, the consensus of the Council was in support of the project moving forward to formal review with the current building orientation.

Stensgard noted that the desired type of commercial development for the area discussed tonight can be a part of the larger planning discussion to be conducted with the Planning Commission and City Council.

Marcia Grover of 11320 Fernbrook Lane made comments about a gas station that is shown on the plans and expressed concern with the location of the holding pond and proximity to homes with wells. She did not believe the City needed more gas stations.

Salonek clarified that there was a mention of a gas station, and there are no formal plans.

Action Items:

G. Approval of Resolution 18-2025; Final Plat Parkway Neighborhood Phase 1

Sevald stated the City Council is asked to consider a resolution approving the Parkway Neighborhood Phase 1 final plat. It was noted that this final plat is limited to Lot 1, Block 1 streets and outlots.

Doud provided additional details about the proposed Development Agreement.

Fisher asked if the City is confident in the \$3,000,000 number. Quisberg replied that the City used the numbers estimated by the developer, noting that while he does not have high confidence in that, it does seem like a reasonable estimate.

Fashant asked if the Shany Group property is listed in the Development Agreement. Doud confirmed that property is mentioned because it is clipped by the public roadway. Doud stated that the City has had conversations with that

property owner, and the property owner has stated that they would provide the right-of-way for the roadway.

Doud commented that there is no longer a need for tax abatement with the City constructing the roadway and provided details on the proposed bond funding and how the City would recoup those costs. He provided additional details on conversations with Ehlers to ensure that the bond payment would be covered by development.

Fashant asked if there is an anticipated timeline for project two. Doud replied that project is scheduled to go before the Planning Commission in April.

MOTION: Motion was made by Councilmember Salonek, seconded by Councilmember Van Asten, to approve Resolution 18-2025 Approval of the Final Plat of the Parkway Neighborhood and Development Agreement. The motion carries unanimously.

H. Consideration of Ordinance No. 2025-06; Amendment to Public Hearing Notification Requirements

Stensgard stated that both the City Council and Planning Commission discussed public hearing notifications, and staff was directed to draft an ordinance amendment to increase the area for notice to surrounding properties. The City's current ordinance requires notification to all property owners within 500 feet, and the draft ordinance would extend notification to all property owners within 1,320 feet (1/4 mile).

Van Asten commented that some communities post signs on the property in discussion and asked if that could be done. Doud confirmed that the City has the signs ready to go, and they will begin to install those on subject properties proposed for discussion.

Van Asten asked if there could be triggers for the larger notice area, explaining that a large, proposed development could trigger the large notice area while a small accessory structure would not have notification of the smaller required area. She suggested that perhaps that could be done by tying the notification to a percentage of property proposed for development.

Stensgard commented that the Planning Commission discussed that topic as well, and while he could not provide an answer tonight, he could research whether the large trigger could simply be for preliminary plat requests.

Sevald explained that it is difficult for staff to predict the topics residents will care about, noting that there were no residents in attendance for the large Parkway

Development public hearing, while the most highly attended recent Planning Commission public hearing was related to a single-family lot.

Fashant commented that the language seems inconsistent as to what would trigger the different types of notification. Stensgard explained that section was left as is because it is done through administrative review.

Doud provided additional details on the anticipated cost for the expanded notification.

Additional discussion ensued.

Sevald reiterated the desire of the Council to have a notification area of 500 feet for Conditional Use Permits, Interim Use Permits, and rezoning amendments. Everything else would trigger the larger quarter-mile notification area.

MOTION: Motion was made by Councilmember Salonek, seconded by Councilmember Van Asten, to approve Ordinance No. 2025-06 Amending Dayton City Code Relating to Sections 1001.10 Planned Unit Development, 1001.23 Conditional and Interim Use Permits, 1001.28 Administration and Enforcement, 1002.04 Application of Chapter, and 1002.05 Preliminary Plat Procedures Related to Public Hearing Notification Requirements with the amendment that Conditional Use Permits, Interim Use Permits, and rezoning amendments continue to follow the notification radius of 500 feet. The motion carries unanimously.

I. Comprehensive Plan Amendment; City Code Amendment, 1001 (Zoning), related to A-3 District

Sevald noted at the City Council and Planning Commission Work Session in February of 2024, a visual preference survey was completed with the intent to define 'rural character'. He reviewed the list of preferences, noting the takeaway from that Work Session was a desire for a variety of housing types, lot sizes, and preservation of open space vistas and agricultural structures; suburban in the south and rural in the north.

Sevald reviewed the supportive consideration given to the Shany Parcel concept, comprised of 14 unsewered lots near Lake Laura in June 2024. However, it was inconsistent with the Comprehensive Plan and Zoning Code. The Comprehensive Plan guides most of northwest Dayton as sewerred low-density residential at 2-5 units per acre. The Shany parcel is zoned A-1, Agriculture, intended for agricultural uses in areas that are not served by sewer and water. The A-1 minimum lot size is 40 acres.

Sevald stated that in August 2024, the City and Met Council representative met to discuss removing northwest Dayton from the Metropolitan Urban Service Area

(MUSA) and alternatives to 1:40 residential density. The Met Council will not remove any part of Dayton from MUSA, as that is inconsistent with the Met Council's Systems Plan. The Met Council will support unsewered 4:40 density as an interim use if it does not preclude future sewer development. In December 2024 and January 2025, the Commission discussed creating an A-3 district with unsewered 4:40 density. This was also discussed at a joint City Council and Planning Commission meeting on February 25, 2025.

Sevald stated that staff recommends expediting this Comprehensive Plan Amendment.

Fisher asked the purpose of the amendment. Sevald explained that an 80-acre parcel could be split into two 40-acre parcels, but smaller division is not allowed as the minimum lot size is 40 acres.

Van Asten asked if the minimum lot size could just be changed to ten acres. Sevald replied that would make the Code amendment much easier but would still require a Comprehensive Plan amendment.

Fisher asked why the Comprehensive Plan amendment would be necessary, as he does not want the Met Council in the business of the City. Sevald stated that the Met Council does support ten-acre lots, but allowing lots smaller than ten acres would be inconsistent.

Doud explained that the Met Council is already in the City's business and provided additional explanation. He explained that if the City were to approve a development of less than ten acres without sewer, there would be a response from the Met Council.

Additional discussion ensued.

Sevald provided additional details related to the proposed A-3 District and its related regulations. He noted that if the Comprehensive Plan amendment is not completed, then Items A–E would not be applicable. He explained that the intention of these items is to ensure that this is an interim use, and that the property could be developed for a sewer use in the future.

Sevald clarified that one or more of the conditions would need to be met, and that would be a decision of the City Council, similar to a Planned Use Development (PUD). It was confirmed that the statement should be made to clarify that a request must meet one or more of the items (A-E).

Fisher commented that he did not like the concept of allowing clustering of lots or the averaging of ten.

Van Asten stated that she would prefer a five-acre minimum but could support a three-acre lot size.

Additional discussion ensued.

Following discussion, it was the consensus of the Council to allow averaging of ten acres with a minimum lot size of 1.5 net acres, as written in the draft.

Zach Brown of 13311 Arrowwood Lane with BK Land Development came forward and stated they are the applicants for the Shany parcel. He referenced the A-E list and stated that while he understands the intention, not all parcels could accommodate that, and it would impact some property owners who want to sell. He stated that people would not want to see deed restrictions or clustered lots, as people buying larger lots want to be able to do what they want with the land.

Sevald commented that ghost platting would meet one of the items.

Van Asten asked why an applicant would need to meet any of those criteria. Fisher stated that the ghost platting would make sense.

Van Asten suggested adding an Item F for ghost platting. Fashant commented that having A-E would show that the City is still working to meet its future land use plan.

Sevald confirmed that he could add Item F, ghost platting for future sewer development.

Jack Bernens of 14770 Thicket Lane came forward and commented that he would eliminate A-E and simply require ghost platting as discussed. He noted that would show the intent of the City and make it flexible for applicants.

Doud commented that for Bernens, he could fall under Item A and would not need to ghost plat at all. Sevald noted that for the Bernens property, he would also fall under clustering as there would be a large tract of land left intact and smaller 1.5-acre lots for development.

Marcia Grover of 11320 Fernbrook Lane asked about the difference between A and E. Sevald provided clarification and confirmed that items A and E are similar.

Fisher asked if this is going to be a PUD and how they would ensure that the future line would not be blocked by development. Quisberg replied that these conditions ensure that a roadblock to the sewer is not built.

Quisberg explained that ghost platting would essentially meet all of these items as it would address how the sewer would go through when it becomes available. He stated that the Shany proposal shows a corridor throughout the site that could be used for the sewer to go through the site in the future.

Additional discussion ensued.

MOTION: Motion was made by Councilmember Van Asten, seconded by Councilmember Fashant, to approve Ordinance No. 2025-07 Amending City Code Chapter 1001 (Zoning) and Chapter 1002 (Subdivision), Creating the A-3 Zoning District, and Miscellaneous Corrections with the additions as discussed and no submission of a Comprehensive Plan Amendment. Motion carries unanimously.

J. Approval of 2025 Strategic Plan

Doud reviewed the City Council's 2025 Strategic Plan discussion at its February and March Work Sessions and presented it for approval.

MOTION: Motion was made by Councilmember Salonek, seconded by Councilmember Van Asten, to approve the Strategic Plan, as presented.

Further discussion: Van Asten commented she believes that maintaining a 90 percent approval rating for Fire and Police services is unrealistic as the City grows. It was noted that this will be reviewed in two years.

Motion carries unanimously.

ADJOURNMENT

Fisher declared the meeting adjourned at 9:17 p.m.

Respectfully Submitted,

Amanda Staple, Recording Secretary
TimeSaver Off Site Secretarial, Inc.

Approved: _____

Attest: Amy Benting

Payments to be approved at City Council Meeting April 8, 2025

	Totals
Claims Roster 04-08-2025	\$ 453,068.76
Prepaid 03-27-2025 EB	\$ 76,952.73
Prepaid 04-03-2025 FB	\$ 1,845.07

Total Payments:	\$ 531,866.56
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Payroll 03-27-2025 Bi-Weekly 07	\$ 103,233.83
Payroll 04-03-2025 FD 03.2025	\$ 10,149.84

Check # sequence to be approved by City Council from meeting date of 04/08/2025:

Checks # 078689-078759

04/03/2025

INVOICE REGISTER REPORT FOR CITY OF DAYTON MN
 EXP CHECK RUN DATES 04/08/2025 - 04/08/2025
 BOTH JOURNALIZED AND UNJOURNALIZED
 BOTH OPEN AND PAID

Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date Entered By	Due Date	Inv Amt	Amt Due	Status	Jrnized Post Date
	AMY BENTING	03/28/2025	04/08/2025	126.00	126.00	Open	N
	MILEAGE TO CLERK CONFERENCE	CHOYT					03/28/2025
101-41420-50331	MILEAGE TO CLERK CONFERENCE			126.00			
	AV DESIGN	04/02/2025	04/08/2025	640.00	640.00	Open	N
	MOVE TV AND CART FROM AC TO CHALL/SETUP II	CHOYT					03/18/2025
101-41820-50200	MOVE TV AND CART FROM AC TO CHALL			640.00			
	AVS SOLUTIONS INC	04/01/2025	04/08/2025	675.24	675.24	Open	N
	LUXOR FP4000 ADJ HEIGHT LCD TV STAND	CHOYT					03/03/2025
101-41910-50220	LUXOR FP4000 ADJ HEIGHT LCD TV STAND			675.24			
	BANK FEE-ADJ	02/24/2025	02/24/2025	50.00	0.00	Paid	Y
	BANK FEES; CASH MGMT/SCANNNER	DBRUNETTE					02/24/2025
101-41500-50309	BANK FEES; CASH MGMT			25.00			
101-41500-50309	BANK FEES; SCANNER			25.00			
	BEAUDRY	03/28/2025	04/08/2025	2,681.07	2,681.07	Open	N
	PW; UNLEADED 87 -970.70	CHOYT					03/24/2025
101-43100-50212	PW; UNLEADED 87 -970.70			2,681.07			
	BERITEC LTD	04/02/2025	04/08/2025	465.81	465.81	Open	N
	CONFERENCE ROOM CLICKSHARE	CHOYT					02/11/2025
101-41820-50200	CONFERENCE ROOM CLICKSHARE			465.81			
	BETHANY BENTING	03/24/2025	04/08/2025	130.90	130.90	Open	N
	MILEAGE; FEB-MAR 2025	CHOYT					03/24/2025
101-41500-50331	MILEAGE; FEB-MAR 2025			130.90			

BLACK & VEATCH	04/02/2025	04/08/2025	8,592.50	8,592.50	Open	N
WELL 4 & 5 FILTRATION DET DES; FEB 2025	CHOYT					03/07/2025
601-00000-16500	WELL 4 & 5 FILTRATION DET DES; FEB 2025		8,592.50			
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BRENTEC INC	04/02/2025	04/08/2025	437.39	437.39	Open	N
CONFERENCE ROOM CLICKSHARE RALLY CART	CHOYT					02/11/2025
101-41820-50200	CONFERENCE ROOM CLICKSHARE		437.39			
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BRIAN MURPHY	03/25/2025	04/08/2025	148.49	148.49	Open	N
PD; UNIFORM REIMBURSEMENT-MURPHY	CHOYT					03/25/2025
101-42120-50217	PD; UNIFORM-MURPHY		148.49			
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C. VISION PRODUCTION	03/28/2025	04/08/2025	3,000.00	3,000.00	Open	N
VIDEO TECH; MAR 2025	CHOYT					03/28/2025
226-41900-50430	VIDEO TECH; MAR 2025		3,000.00			
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CARISSA HOYT	03/26/2025	04/08/2025	66.48	66.48	Open	N
MILEAGE; DEC-MAR 2025	CHOYT					03/26/2025
101-41500-50331	MILEAGE; DEC 2024		16.08			
101-41500-50331	MILEAGE; JAN-MAR 2025		50.40			
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CARSON, CLELLAND & SCHREDER	03/24/2025	04/08/2025	2,000.00	2,000.00	Open	N
CRIMINAL PROSECUTION; FEB-MAR 2025	CHOYT					03/21/2025
101-41640-50305	CRIMINAL PROSECUTION; FEB-MAR 2025		2,000.00			
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CENTERPOINT ENERGY	03/31/2025	04/08/2025	2,469.40	0.00	Paid	Y
8000014132-7 GAS SVCS; FEB 2025	CHOYT					03/25/2025
101-43100-50383	PW; 5888628-4		635.03			
101-41810-50383	CH; 5895786-1		996.48			
101-41910-50383	AC; 5895789-5		710.91			
101-43100-50383	BROCKTON; 5914909-6		180.73			
101-43100-50383	5888628- MN INTERIM REFUND		(14.39)			
101-41810-50383	5895786-MN INTERIM REFUND		(17.94)			
101-41910-50383	5895789-MN INTERIM REFUND		(14.85)			
101-43100-50383	5914909-MN INTERIM REFUND		(6.57)			
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CENTURYLINK	03/24/2025	04/08/2025	218.01	0.00	Paid	Y
PW; WELLHOUSE 2/WATER SYSTEM SCADA-MAR	CHOYT					03/24/2025

601-49400-50321	PW; 763 323-0023 WATER SYSTEM SCADA			109.01				
602-49400-50321	PW; 763 323-0975 WELLHOUSE 2 LANDLINE			109.00				
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CENTURYLINK		03/31/2025	04/08/2025	47.41		0.00	Paid	Y
PW; 763 428-7345 /MAR-APR 2025	CHOYT							03/21/2025
101-43100-50321	PW; 763 428-7345 /MAR-APR 2025			47.41				
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CINTAS		03/21/2025	04/08/2025	121.14		121.14	Open	N
PW; UNIFORMS	CHOYT							03/20/2025
101-43100-50217	PW; UNIFORMS			121.14				
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CINTAS		03/28/2025	04/08/2025	121.14		121.14	Open	N
PW; UNIFORMS	CHOYT							03/27/2025
101-43100-50217	PW; UNIFORMS			121.14				
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CITY OF CHAMPLIN		03/21/2025	04/08/2025	5,297.99		5,297.99	Open	N
11321 ELM CREEK RD WTR METER & WAC	CHOYT							03/12/2025
601-49400-37190	WAC FEE- City			4,690.00				
601-00000-18050	WATER METER PREPAID SALES			607.99				
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CITY OF MONTICELLO		03/21/2025	04/08/2025	208.00		0.00	Paid	Y
PD; ANIMAL CONTROL JAN/FEB 2025	CHOYT							03/21/2025
101-42140-50308	PD; ANIMAL CONTROL JAN/FEB 2025			208.00				
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CMT JANITORIAL SERVICES		03/21/2025	04/08/2025	1,602.00		0.00	Paid	Y
CONTRACT SERVICES-OFC CLEANING APR 2025	CHOYT							03/20/2025
101-41910-50308	CONTRACT SERVICES-OFC CLEANING			602.00				
101-41810-50308	CONTRACT SERVICES-OFC CLEANING			1,000.00				
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COMCAST		03/26/2025	04/08/2025	3,000.00		3,000.00	Open	N
2024 ROW ESCROW RELEASE; 12655 W FRENCH	CHOYT							03/26/2025
421-00000-22100	2024 ROW ESCROW RELEASE; 12655 W FRENCH			3,000.00				
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COMPASS MINERALS AMERICA INC.		03/24/2025	04/08/2025	7,789.13		7,789.13	Open	N
PW; STREET MAINT-REPAIR	CHOYT							03/06/2025
101-43100-50224	PW; STREET MAINT-REPAIR			7,789.13				
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COMPASS MINERALS AMERICA INC.		03/24/2025	04/08/2025	12,679.10		12,679.10	Open	N

PW; STREET MAINT-REPAIR	CHOYT						03/04/2025
101-43100-50224	PW; STREET MAINT-REPAIR			12,679.10			
CONNEXUS ENERGY	03/26/2025	04/08/2025		5,026.96	0.00	Paid	Y
ELECTRIC SERVICES/ FEB-MAR 2025	CHOYT						03/20/2025
101-43100-50230	172514 ST LIGHTS; FEB-MAR 2025			39.88			
101-43100-50230	172516 ST LIGHTS; FEB-MAR 2025			2,353.37			
101-43100-50230	172802 ST LIGHTS; FEB-MAR 2025			63.78			
101-43100-50230	172803 ST LIGHTS; FEB-MAR 2025			249.51			
101-42130-50381	173098 SIREN; FEB-MAR 2025			21.40			
602-49400-50381	178838 141ST OUTBUILDING; FEB-MAR			35.01			
601-49400-50381	299049 WELL#2; FEB-MAR 2025			1,796.55			
602-49400-50381	299195 ROSEWOOD LIFT; FEB-MAR			62.25			
601-49400-50381	299380 WATER TOWER; FEB-MAR			172.09			
602-49400-50381	303882 PINEVIEW LIFT; FEB-MAR			54.04			
602-49400-50381	307062 HACKBERRY LIFT; FEB-MAR			107.49			
101-42130-50381	309045 E FRENCH SIREN; FEB-MAR			17.40			
101-43100-50230	317271 ST LIGHTS; FEB-MAR 2025			77.96			
101-43100-50230	325071; 13699 PINEVIEW LANE; FEB-MAR			27.50			
101-43100-50230	324905; 14503 KINGSVIEW; FEB-MAR 2025			9.87			
101-43100-50230	LIGHTING-POWER COST ADJUSTMENT			(61.14)			
COORDINATED BUSINESS SYSTEMS	03/31/2025	04/08/2025		135.84	135.84	Open	N
ENGINEER PRINTER-KYOCERA COPIER FEB-MAR	CHOYT						03/24/2025
101-41810-50308	ENGINEER PRINTER-KYOCERA COPIER			135.84			
CORE & MAIN	03/21/2025	04/08/2025		2,975.25	2,975.25	Open	N
PW; METERS	CHOYT						03/20/2025
601-49400-50259	PW; METERS			2,975.25			
CORNERSTONE	04/02/2025	04/08/2025		137.60	137.60	Open	N
PD; FLOOR MAT KIT	CHOYT						04/02/2025
101-42120-50220	PD; FLOOR MAT KIT			137.60			
CREATIVE HOME SOLUTIONS	03/24/2025	04/08/2025		1,650.00	1,650.00	Open	N
PW; BUILDINGS AND STRUCTURES-OFC TAPING	CHOYT						03/24/2025
101-43100-50520	PW; BUILDINGS AND STRUCTURES-OFC TAPING			1,650.00			

CROW RIVER FARM EQUIPMENT PW; SUPPLIES 101-43100-50210	PW; SUPPLIES	03/24/2025 CHOYT	04/08/2025	299.78	0.00	Paid	Y 02/06/2025
				299.78			
CROWN UNDERGROUND 2024 ROW ESCROW RELEASE; 2024 ROW ESCROW 421-00000-22100	2024 ROW ESCROW RELEASE; 2024 ROW ESCROW	03/26/2025 CHOYT	04/08/2025	10,000.00	10,000.00	Open	N 03/26/2025
				10,000.00			
CS MCCROSSAN DAYTON PKWY INTERCHANGE; DRAW 30 FINAL 480-00000-20600	DPI; RETAINAGE PAYABLE-FINAL	03/26/2025 CHOYT	04/08/2025	10,000.00	10,000.00	Open	N 03/26/2025
				10,000.00			
D&D SERVICE 2024 ROW ESCROW RELEASE; 11329 PARKSIDE 421-00000-22100	2024 ROW ESCROW RELEASE; 11329 PARKSIDE	03/26/2025 CHOYT	04/08/2025	3,000.00	3,000.00	Open	N 03/26/2025
				3,000.00			
D&D SERVICE 2024 ROW ESCROW RELEASE; 11380 PARKSIDE 421-00000-22100	2024 ROW ESCROW RELEASE; 11380 PARKSIDE	03/26/2025 CHOYT	04/08/2025	3,000.00	3,000.00	Open	N 03/26/2025
				3,000.00			
EBERT CONSTRUCTION DAYTON WELLHOUSE #5- PAY 8 601-00000-16500	DAYTON WELLHOUSE #5- PAY 8	04/02/2025 CHOYT	04/08/2025	89,971.45	89,971.45	Open	N 04/02/2025
601-00000-20600	RETAINAGE PAYABLE			94,706.80 (4,735.35)			
ECM PUBLISHERS, INC PHN; MILL & OVERLAY FOR S DIAMOND 414-41900-50352	PHN; MILL & OVERLAY FOR S DIAMOND	03/26/2025 CHOYT	04/08/2025	284.62	284.62	Open	N 03/20/2025
				284.62			
ECM PUBLISHERS, INC PHN; APR 8 BOARD OF EQUALIZATION 101-41110-50352	PHN; APR 8 BOARD OF EQUALIZATION	03/26/2025 CHOYT	04/08/2025	77.62	77.62	Open	N 03/26/2025
				77.62			
ECM PUBLISHERS, INC PHN; PARK IMPROVE PKG BID 405-45200-50352	PARK IMPROVE PKG BID	03/26/2025 CHOYT	04/08/2025	414.00	414.00	Open	N 03/26/2025
				414.00			
ELM CREEK WATERSHED		03/31/2025	04/08/2025	8,160.00	0.00	Paid	Y

ESCROW;ELSIE STEPHENS CANOE/KAYAK LAUNCH	CHOYT						03/31/2025
408-45300-50300-2006	ESCROW;ELSIE STEPHENS CANOE/KAYAK LAUNCH			8,160.00			
EMERGENCY APPARATUS	03/21/2025	04/08/2025		2,008.80	2,008.80	Open	N
FD; REPAIR/ENGINE 21	CHOYT						03/19/2025
101-42260-50220	FD; REPAIR/ENGINE 21			2,008.80			
EMERGENCY AUTOMOTIVE TECHNOLOGIES	03/24/2025	04/08/2025		800.00	800.00	Open	N
PD; OTHER EQUIPMENT-#719 STRIP	CHOYT						03/21/2025
401-42120-50580	PD; OTHER EQUIPMENT-#719 STRIP			800.00			
EMERGENCY TECHNICAL DECON	03/21/2025	04/08/2025		1,500.00	1,500.00	Open	N
FD; UNIFORM- PAST INVOICE 2024	CHOYT						02/28/2025
101-42260-50217	FD; UNIFORM- PAST INVOICE 2024			1,500.00			
FORCE AMERICA DISTRIBUTING LLC	03/28/2025	04/08/2025		320.00	320.00	Open	N
PW; 5MB FLAT DATA PLAN-FEB 2025	CHOYT						03/27/2025
101-43100-50210	PW; 5MB FLAT DATA PLAN-FEB 2025			320.00			
FULLY PROMOTED/EMBROIDME	03/24/2025	04/08/2025		129.84	129.84	Open	N
PD; UNIFORM-REICHSTADT	CHOYT						03/20/2025
101-42120-50217	PD; UNIFORM-REICHSTADT			79.84			
101-41310-50200	VOUCHER; REICHSTADT			50.00			
GALLS INC	03/24/2025	04/08/2025		81.95	81.95	Open	N
PD; UNIFORM-GRIMSBY	CHOYT						03/17/2025
101-42120-50217	PD; UNIFORM-GRIMSBY			81.95			
GAME TIME	03/24/2025	04/08/2025		4,072.90	4,072.90	Open	N
PW; REPAIR/MAINT-PLAYGROUND EQUIP.	CHOYT						03/05/2025
101-45200-50220	PW; REPAIR/MAINT-PLAYGROUND EQUIP.			4,072.90			
GUIDANCEPOINT TECHNOLOGIES	03/25/2025	04/08/2025		925.00	925.00	Open	N
IT; CONTRACT SERVICES-NEW DOMAIN CHANGE	CHOYT						03/24/2025
101-41810-50308	IT; CONTRACT SERVICES-NEW DOMAIN CHANGES			925.00			
GUIDANCEPOINT TECHNOLOGIES	03/25/2025	04/08/2025		1,962.18	1,962.18	Open	N
PD; SUBSCRIPTIONS/OFFICE 365 G3	CHOYT						03/24/2025

101-42120-50205	PD; SUBSCRIPTIONS/OFFICE 365 G3			1,962.18			
HASSAN SAND & GRAVEL, INC	03/28/2025	04/08/2025	1,223.09	1,223.09	Open	N	
IMPROVEMENTS GRANITE 2 1/2"	CHOYT						03/27/2025
101-43100-50224	IMPROVEMENTS GRANITE 2 1/2"		1,223.09				
HAWKINS, INC	03/21/2025	04/08/2025	30.00	30.00	Open	N	
PW; CHEMICALS	CHOYT						03/15/2025
601-49400-50216	PW; CHEMICALS		30.00				
HENNEPIN COUNTY	03/25/2025	04/08/2025	2,736.00	2,736.00	Open	N	
PD; CTY JAIL FEES-FEB 2025 #25-00472	CHOYT						02/28/2025
101-42120-50306	PD; CTY JAIL FEES-FEB 2025 #25-00472		2,736.00				
HENNEPIN COUNTY -PROPERTY TAX	03/25/2025	04/08/2025	2,795.04	2,795.04	Open	N	
2025 PROPERTY TAX; 31-120-22 34 0007	CHOYT						03/25/2025
101-49999-50370	2025 PROPERTY TAX; 31-120-22 34 0007		2,795.04				
HENNEPIN COUNTY -PROPERTY TAX	03/25/2025	04/08/2025	2,348.62	2,348.62	Open	N	
2025 PROPERTY TAX; 29-120-22 44 0002	CHOYT						03/25/2025
101-49999-50370	2025 PROPERTY TAX; 29-120-22 44 0002		2,348.62				
HENNEPIN COUNTY -PROPERTY TAX	03/26/2025	04/08/2025	652.50	652.50	Open	N	
LAND 2025 PROPERTY TAX;36-121-23 41 0010	CHOYT						03/26/2025
225-41710-50370	LAND 2025 PROPERTY TAX;36-121-23 41 0010		652.50				
HENNEPIN COUNTY -PROPERTY TAX	03/26/2025	04/08/2025	423.86	423.86	Open	N	
LAND 2025 PROPERTY TAX;36-121-23 41 0012	CHOYT						03/26/2025
225-41710-50510	LAND 2025 PROPERTY TAX;36-121-23 41 0012		423.86				
HENNEPIN COUNTY -PROPERTY TAX	03/26/2025	04/08/2025	1,553.60	1,553.60	Open	N	
LAND 2025 PROPERTY TAX; 36-121-23 41 0021	CHOYT						03/26/2025
225-41710-50510	LAND 2025 PROPERTY TAX; 36-121-23 41 002		1,553.60				
HENNEPIN COUNTY -PROPERTY TAX	03/28/2025	04/08/2025	383.98	383.98	Open	N	
LAND 2025 PROPERTY TAX;36-121-23-41 0011	CHOYT						03/28/2025
225-41710-50510	LAND 2025 PROPERTY TAX;36-121-23-41 0011		383.98				

HOLIDAY COMPANIES	04/02/2025	04/08/2025	5.50	5.50	Open	N
PD; CARWASH- ENGA	CHOYT					04/01/2025
101-42120-50220	PD; CARWASH- ENGA		5.50			
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INTOXIMETERS INC	04/02/2025	04/08/2025	125.00	125.00	Open	N
PD; INTOX	CHOYT					04/01/2025
101-42120-50200	PD; INTOX		125.00			
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JESSICA HARTFIEL THURSTON	04/02/2025	04/08/2025	2,166.00	2,166.00	Open	N
PROFESSIONAL SRVS-MAR 2025 EMBEDDED	CHOYT					03/31/2025
101-42120-50300	PROFESSIONAL SRVS-MAR 2025 EMBEDDED		2,166.00			
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KELLY THELEN	04/02/2025	04/08/2025	58.52	58.52	Open	N
MILEAGE; FEB-MAR 2025	CHOYT					03/27/2025
101-41420-50331	MILEAGE; FEB-MAR 2025		58.52			
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LUMEN	03/26/2025	04/08/2025	3,000.00	3,000.00	Open	N
2024 ROW ESCROW RELEASE; BROCKTON LN	CHOYT					03/26/2025
421-00000-22100	2024 ROW ESCROW RELEASE; BROCKTON LN		3,000.00			
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MACQUEEN EMERGENCY GROUP	03/24/2025	04/08/2025	841.31	841.31	Open	N
PW; REPAIR/MAINT	CHOYT					02/24/2025
101-43100-50220	PW; REPAIR/MAINT		841.31			
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MELISSA WEBER	04/01/2025	04/08/2025	450.00	450.00	Open	N
DAC RENTAL DEPOSIT REFUND:EVENT 3/30	CHOYT					04/01/2025
101-00000-21716	DAC RENTAL DEPOSIT REFUND:EVENT 3/30		450.00			
<hr/>						
MENARDS - MAPLE GROVE	03/24/2025	04/08/2025	0.00	0.00	Void	N
PW; SHOP SUPPLIES	CHOYT					03/06/2025
101-43100-50210	PW; SUPPLIES		71.96			
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MENARDS - MAPLE GROVE	03/24/2025	04/08/2025	21.26	21.26	Open	N
PW; BUILDINGS AND STRUCTURES	CHOYT					03/09/2025
101-43100-50520	PW; BUILDINGS AND STRUCTURES		21.26			
<hr/>						
MENARDS - MAPLE GROVE	03/24/2025	04/08/2025	75.42	75.42	Open	N
PW; SHOP SUPPLIES	CHOYT					03/10/2025

101-43100-50210	PW; SHOP SUPPLIES			75.42			
MENARDS - MAPLE GROVE	03/24/2025	04/08/2025	164.81	164.81	Open	N	
PW; OPERATING SUPPLIES	CHOYT						03/12/2025
101-41910-50210	PW; OPERATING SUPPLIES		164.81				
MENARDS - MAPLE GROVE	03/24/2025	04/08/2025	39.99	39.99	Open	N	
PW; OPERATING SUPPLIES	CHOYT						03/17/2025
101-41910-50210	PW; OPERATING SUPPLIES		39.99				
MENARDS - MAPLE GROVE	03/24/2025	04/08/2025	190.64	190.64	Open	N	
PW; BUILDINGS AND STRUCTURES	CHOYT						03/15/2025
101-43100-50520	PW; BUILDINGS AND STRUCTURES		190.64				
METRO GENERAL SERVICES	03/26/2025	04/08/2025	3,000.00	3,000.00	Open	N	
2024 ROW ESCROW RELEASE; LEVEE ST	CHOYT						03/26/2025
421-00000-22100	2024 ROW ESCROW RELEASE; LEVEE ST		3,000.00				
METRO WEST INSPECTION	04/01/2025	04/08/2025	18,288.00	18,288.00	Open	N	
228.60 BLDG INSPECTIONS-FEB 2025	CHOYT						02/28/2025
101-41660-50300	228.60 BLDG INSPECTIONS-FEB 2025		18,288.00				
METROPOLITAN COUNCIL	04/02/2025	04/08/2025	51,586.39	51,586.39	Open	N	
177.22 MILLION GAL. WASTE WATER SERVICE-M/	CHOYT						04/02/2025
602-49400-50313	177.22 MILLION GAL. WASTE WATER SERVICE		51,586.39				
MINUTEMAN PRESS	03/25/2025	04/08/2025	2,428.72	2,428.72	Open	N	
UTILITY BILLING; JAN 2025	CHOYT						03/25/2025
601-49400-50200	UTILITY BILLING; JAN 2025		1,214.36				
602-49400-50200	UTILITY BILLING; JAN 2025		1,214.36				
MINUTEMAN PRESS	03/28/2025	04/08/2025	5,044.51	5,044.51	Open	N	
COMMUNICATOR; JAN 2025	CHOYT						03/27/2025
226-41900-50350	COMMUNICATOR; JAN 2025		5,044.51				
MP NEXLEVEL	03/26/2025	04/08/2025	10,000.00	10,000.00	Open	N	
2024 ROW ESCROW RELEASE; 2024 ESCROW	CHOYT						03/26/2025
421-00000-22100	2024 ROW ESCROW RELEASE; 2024 ESCROW		10,000.00				

MSA PROFESSIONAL SERVICES, INC.	03/31/2025	04/08/2025	8,617.50	8,617.50	Open	N
DAYTON CROW/MISSISSIPPI BOAT ACCESS	CHOYT					03/27/2025
408-45300-50300	DAYTON CROW/MISSISSIPPI BOAT ACCESS		8,617.50			
MUTUAL OF OMAHA	04/01/2025	04/08/2025	1,419.26	0.00	Paid	Y
G000CL6X: STD/LTD PREMIUM-APR 2025	CHOYT					04/01/2025
101-00000-21705	G000CL6X: STD/LTD PREMIUM-APR 2025		1,419.26			
NAPA AUTO PARTS	03/24/2025	04/08/2025	96.02	96.02	Open	N
PW; REPAIR/MAINT-FILTERS	CHOYT					03/06/2025
101-43100-50220	PW; REPAIR/MAINT-FILTERS		96.02			
NAPA AUTO PARTS	03/24/2025	04/08/2025	4.97	4.97	Open	N
PD; REPAIR/MAINT-OIL FILTER	CHOYT					03/14/2025
101-42120-50220	PD; REPAIR/MAINT-OIL FILTER		4.97			
ONCALL TECHNICAL SERVICES INC	04/02/2025	04/08/2025	137.00	137.00	Open	N
CONFERENCE ROOM CLICKSHARE INSTALL POW	CHOYT					02/20/2025
101-41820-50200	CONFERENCE ROOM CLICKSHARE		137.00			
PRESS	03/21/2025	04/08/2025	130.60	130.60	Open	N
SUBSCRIPTION FEE-2025	CHOYT					03/21/2025
101-41810-50205	SUBSCRIPTION FEE-2025		130.60			
READY WATT ELECTRIC	03/31/2025	04/08/2025	725.00	725.00	Open	N
PW; POLE HEAD REPAIR-DAYTON PKWY	CHOYT					03/30/2025
101-43100-50230	PW; POLE HEAD REPAIR-DAYTON PKWY		725.00			
READY WATT ELECTRIC	03/31/2025	04/08/2025	265.00	265.00	Open	N
REPAIR SIREN #2-REPLACED FUSE	CHOYT					03/30/2025
101-42130-50220	REPAIR SIREN #2		265.00			
STANTEC CONSULTING SERVICES INC.	04/01/2025	04/08/2025	112,200.26	112,200.26	Open	N
ENGINEERING SVCS; FEBRUARY 2025	CHOYT					02/28/2025
101-41630-50303	GEN. ENGINEERING RETAINER; FEB 2025		4,500.00			
101-41630-50303	GEN. ENGINEERING; FEB 2025		4,999.20			
101-41660-50308	BUILDING PERMIT ACTIVITIES; FEB 2025		6,272.80			

601-49400-50303	WATER SUPPLY & DISTRIBUTION;FEB 2025	1,146.40
602-49400-50303	SANITARY SEWER SYSTEM;FEB 2025	2,188.80
415-41900-50300	STORMWATER; FEB 2025	12,670.00
414-41900-50303	TRANSPORTATION; FEB 2025	9,666.00
408-45300-50303	TRAILS; FEB 2025	1,277.60
601-49400-50303	GIS/MAPPING; FEB 2025	2,293.40
602-49400-50303	GIS/MAPPING; FEB 2025	2,293.40
411-43100-50303-6065	BRAYBURN TRAILS; FEB 2025	2,590.30
411-43100-50303-6098	SUNDANCE GREENS; FEB 2025	1,852.60
411-43100-50303-6075	CLOQUET ISLAND ESTATES(CYPRESS)FEB 2025	317.30
411-43100-50303-6105	IONE GARDENS; FEB 2025	38.00
411-43100-50303-6120	SUNDANCE GREENS-LENNAR; FEB 2025	619.00
411-43100-50303-6143	RIVERWALK; FEB 2025	8,222.05
411-43100-50303-6150	THE CUBES OF FRENCH LAKE (CRG)FEB 2025	107.00
411-43100-50303-6149	KWIK TRIP-MAPLE CT; FEB 2025	3,121.80
411-43100-50303-6147	LEE PROPERTY; FEB 2025	3,655.50
411-43100-50303-6180	NEIGHBORHOOD ON DAYTON PKWY;FEB 2025	3,515.00
411-43100-50303-6170	SCHANY PROPERTIES; FEB 2025	1,242.25
459-43100-50300-2001	WEST FRENCH LAKE RD IMPROV;FEB 2025	199.80
601-00000-16500	DAYTON WELL #5 PRELIM DESIGN; FEB 2025	1,053.20
601-49400-50303	DAYTON WATER COMP PLANS;FEB 2025	1,020.10
602-49400-50303	DAYTON SEWER COMP PLANS; FEB 2025	1,020.10
414-41900-50303	DAYTON RIVER RD TURN LANE IMPROV.FEB 25'	227.20
414-41900-50303	DAYTON 2024 MILL & OVERLAY; FEB 2025	167.20
601-49400-50303	DAYTON HUD ENVIRONMENTAL; FEB 2025	697.20
411-43100-50303-6198	DAYTON TERR./E FRENCH; FEB 2025	1,055.00
411-43100-50303-6203	DCM FARMS; FEB 2025	2,389.00
411-43100-50303-6204	SCANY PROPERTY (NORTH);FEB 2025	3,371.00
405-41900-50303	PARKS; FEB 2025	184.00
411-43100-50303-6214	OPPIDAN; FEB 2025	1,286.00
414-41900-50303	DAYTON 2024 CHIP& FOG SEAL; FEB 2025	91.20
601-49400-50303-2005	WATERMAIN EXTENSION; FEB 2025	134.90
408-45300-50303	ELSIE STEPHENS CANOE/KAYAK FEB 2025	2,166.80
414-41900-50303	2025 S DIAMOND LK IMPROV; FEB 2025	7,363.60
225-41710-50300	LENT PROPERTIES PHASE 1; FEB 2025	40.80
411-43100-50303-6203	DAYTON DCM FARMS EAW; FEB 2025	5,947.50
408-45300-50303	N DIAMOND LK RD TRL CROSSING; FEB 2025	3,420.60
414-41900-50303	SPANIER ADDITION PHASE 1 ESA; FEB 2025	7,487.06

414-41900-50303	DAYTON PKWY TRAFFIC SIGNALS; FEB 2025			92.00			
414-41900-50303	CENTRAL PARK PARKING LOT IMPROV FEB 2025			197.60			
<hr/>							
STREICHERS, INC		03/31/2025	04/08/2025	38.97	38.97	Open	N
PD; UNIFORM-FIELDSETH		CHOYT					03/26/2025
101-42120-50217	PD; UNIFORM-FIELDSETH			38.97			
<hr/>							
SUE VANG		04/01/2025	04/08/2025	750.00	750.00	Open	N
DAC RENTAL DEPOSIT REFUND: EVENT 3/29		CHOYT					03/29/2025
101-00000-21716	DAC RENTAL DEPOSIT REFUND: EVENT 3/29			750.00			
<hr/>							
T MOBILE		03/31/2025	04/08/2025	1,045.64	0.00	Paid	Y
PD; 990673330 CELL SVC FEB-MAR 2025		CHOYT					03/21/2025
101-42120-50320	PD; 990673330 CELL SVC FEB-MAR 2025			1,045.64			
<hr/>							
T MOBILE		03/31/2025	04/08/2025	974.45	0.00	Paid	Y
CH/PW; 990673180 CELL SVC FEB-MAR 2025		CHOYT					03/21/2025
101-43100-50321	PW; CELL SVC			586.54			
601-49400-50321	PW; CELL SVC			52.83			
602-49400-50321	PW; CELL SVC			52.82			
101-41910-50321	AC; CELL SVC			90.32			
101-41710-50321	PLANNING; CELL SVC			82.09			
101-41310-50320	CH;ADMINISTRATOR CELL SVC			39.35			
101-41420-50320	CH; CLERK CELL SVC			39.35			
101-41500-50320	CH; HOT SPOT			31.15			
<hr/>							
TELCOM		03/26/2025	04/08/2025	10,000.00	10,000.00	Open	N
2024 ROW ESCROW RELEASE; 2024 ESCROW		CHOYT					03/26/2025
421-00000-22100	2024 ROW ESCROW RELEASE; 2024 ESCROW			10,000.00			
<hr/>							
TIMESAVER OFF SITE SECRETARIAL. INC		03/31/2025	04/08/2025	415.00	415.00	Open	N
MINUTES; CC/WORKSHOP 3/11		CHOYT					03/31/2025
101-41420-50300	MINUTES; CC/WORKSHOP 3/11			415.00			
<hr/>							
TIMESAVER OFF SITE SECRETARIAL. INC		03/31/2025	04/08/2025	212.50	212.50	Open	N
MINUTES; EDA 3/18		CHOYT					03/31/2025
101-41420-50300	MINUTES; EDA 3/18			212.50			
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TIMESAVER OFF SITE SECRETARIAL. INC	03/31/2025	04/08/2025	334.00	334.00	Open	N
MINUTES; CC 3/25	CHOYT					03/31/2025
101-41420-50300	MINUTES; CC 3/25		334.00			
<hr/>						
TWIN CITY GATE LLC	03/24/2025	04/08/2025	275.00	275.00	Open	N
PW; BUILDINGS AND STRUCTURES-SVC GATE RE CHOYT						03/15/2025
101-43100-50520	PW; BUILDINGS AND STRUCTURES		275.00			
<hr/>						
TWIN CITY GATE LLC	03/24/2025	04/08/2025	600.00	600.00	Open	N
PW; BUILDINGS AND STRUCTURES REPLACE ROI CHOYT						02/25/2025
101-43100-50520	PW; BUILDINGS AND STRUCTURES		600.00			
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USPS	03/27/2025	04/08/2025	5,000.00	0.00	Paid	Y
REPLENISH POSTAGE FOR MAILINGS; MAR 2025	CHOYT					03/27/2025
601-49400-50322	UB; POSTAGE		524.50			
602-49400-50322	UB; POSTAGE		540.50			
101-41810-50322	CH; POSTAGE		2,658.00			
101-42120-50322	PD; POSTAGE		616.50			
101-42260-50322	FD; POSTAGE		210.00			
101-41910-50322	AC; POSTAGE		450.50			
<hr/>						
XCEL ENERGY	03/24/2025	04/08/2025	22.46	0.00	Paid	Y
51-0012400696-3;RUSH CR; FEB-MAR 2025	CHOYT					03/21/2025
101-45200-50381	51-0012400696-3;RUSH CR; FEB-MAR		22.46			
<hr/>						
XCEL ENERGY	03/26/2025	04/08/2025	106.48	0.00	Paid	Y
51-4585810-2 S DIA LK; FEB-MAR 2025	CHOYT					02/28/2025
101-43100-50381	51-4585810-2 S DIA LK; FEB-MAR		87.90			
602-49400-50381	51-4585810-2 LAWNDAL; FEB-MAR		7.17			
602-49400-50381	51-4585810-2 PRO LGT; FEB-MAR		11.41			
<hr/>						
ZACH DOUD	04/01/2025	04/08/2025	564.90	564.90	Open	N
MILEAGE REIMBURSEMENT Q1 2025	CHOYT					03/27/2025
101-41310-50331	MILEAGE; JAN-MAR 2025		503.30			
101-41910-50331	MILEAGE; JAN 2025		61.60			
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# of Invoices:	99 # Due: 83	Totals:	453,068.76	426,418.91		
# of Credit Memos:	0 # Due: 0	Totals:	0.00	0.00		
Net of Invoices and Credit Memos:			453,068.76	426,418.91		

* 3 Net Invoices have Credits Totalling:

(4,850.24)

--- TOTALS BY FUND ---

101 - GENERAL FUND	107,788.96	92,933.78
225 - EDA	3,054.74	3,054.74
226 - CABLE	8,044.51	8,044.51
401 - CAPITAL EQUIPMENT	800.00	800.00
405 - PARK DEDICATION	598.00	598.00
408 - PARK TRAIL DEVELOPMENT	23,642.50	15,482.50
411 - DEVELOPER ESCROWS	39,329.30	39,329.30
414 - PAVEMENT MANAGEMENT AND IMPROVEMENTS	25,576.48	25,576.48
415 - STORMWATER	12,670.00	12,670.00
421 - ROW ESCROWS	45,000.00	45,000.00
459 - 2022 TIF STREET IMPROVEMENTS	199.80	199.80
480 - DAYTON PARKWAY INTERCHANGE	10,000.00	10,000.00
601 - WATER FUND	117,081.73	114,426.75
602 - SEWER FUND	59,282.74	58,303.05

--- TOTALS BY DEPT/ACTIVITY ---

00000 -	157,844.40	156,425.14
41110 - Council	77.62	77.62
41310 - Administration	592.65	553.30
41420 - City Clerk	1,185.37	1,146.02
41500 - Finance	278.53	197.38
41630 - Engineering Services	9,499.20	9,499.20
41640 - Legal Services	2,000.00	2,000.00
41660 - Inspection Service	24,560.80	24,560.80
41710 - Plannning & Economic Dev	3,136.83	3,054.74
41810 - Central Services	5,827.98	1,191.44
41820 - Information Technology	1,680.20	1,680.20
41900 - General Govt	46,474.99	46,474.99
41910 - Activity Center	2,780.52	941.64
42120 - Patrol and Investigate	9,948.64	8,286.50
42130 - Emergency Mgmt	303.80	265.00
42140 - Animal Control	208.00	0.00

42260 - Fire Suppression	3,718.80	3,508.80
43100 - Public Works	73,515.58	68,938.42
45200 - Parks	4,509.36	4,486.90
45300 - Trail Development	23,642.50	15,482.50
49400 - Utilities	76,139.33	72,504.66
49999 - Contingency	5,143.66	5,143.66

PRESENTER: Marty Farrell

ITEM: Approval of Quote from LANO for purchase of Stump Grinder



PREPARED BY: Marty Farrell

POLICY DECISION / ACTION TO BE CONSIDERED: Purchase of a Stump Grinder Attachment for Skid Steer.

BACKGROUND: Since Dayton has implemented a robust tree maintenance and management program we have been performing more tree removals, staff has rented a stump grinder to remove the stumps up to now. Staff expect to be removing more trees as we start to deal with the Emerald Ash Borer infecting more trees in the City.

CRITICAL ISSUES: Efficient and Safety of Staff

BUDGET IMPACT: CIP budgeted \$12,000 for 2025, actual cost of used broom \$10,063.64 under budget \$1936.36.

RECOMMENDATION: To approve the purchase of Stump Grinder attachment for \$10,063.64.

ATTACHMENT(S): Cost comparison sheet, quotes from Farm Rite, Tri State, and Lano.

DESCRIPTION	FARM-RITE	TRI-STATE	LANO
SGX 60 STUMP GRINDER SKID STEER ATTACHMENT	\$ 10,113.64	\$ 10,413.64	\$ 10,063.64

2025 CIP Funding from fund 401 \$ 12,000.00

Minus best bid \$ (10,063.64)

Under Budget Amount \$ 1,936.36

Farm Rite Quote is based off State Contract

Tri-State and Lano are based off Sourcewell



Fax Transmission Form
Farm-Rite Equipment

West Hwy. 12 Box 26
Dassel, MN 55325
Phone: 320-275-2737
FAX: 320-275-3232

Toll Free 888-679-4857

TO Dan Dehn City of Dayton
FAX ddehn@cityofdayton.mn.com
DATE 3-4-2025
612979-8122

1-New SGX 60 Stump Grinder
#7112201

w/Freight Setup Delivery

10/13⁶⁴

This is Minnesota State
Bid Price

Total

10/13⁶⁴

Thank You Tim

FARM-RITE EQUIPMENT, INC. Bobcat.

US Hwy. 12 W. P.O. Box 26
Dassel, MN 55325
320.275.2737 or 888.679.4857
320.693.6929 (home)
support@farmriteequip.com (email)



TIM COX

Sales Manager

Sales - Service - Parts - Rental



www.farmriteequip.com





BURNSVILLE
1200 Highway 13 E
Burnsville, MN 55337
(952) 894-0894
Fax (952) 894-5759

LITTLE CANADA
71 Minnesota Avenue
Little Canada, MN 55117
(651) 407-3727
Fax (651) 683-2476

HUDSON
588 Outpost Circle
Hudson, WI 54016
(715) 531-0801
Fax (715) 531-0805

ST. CROIX FALLS
2018 US Highway 8
St. Croix, Falls WI 54024
(715) 557-6010
Fax (715) 483-7095

Sales • Service • Rentals • Parts

www.tristatebobcat.com

Ship To: SAME AS BELOW

Invoice To: CITY OF DAYTON
12260 DIAMOND LAKE RD
DAYTON MN 55327-9655

Branch 02 - Little Canada		
Date 02/05/2025	Time 15:16:10 (O)	Page 1
Account No. 75853	Phone No. 7634274589	Invoice No. 009675
Ship Via		Purchase Order
		Salesperson RJH

EQUIPMENT QUOTE • NOT AN INVOICE

Description ** Q U O T E ** EXPIRY DATE: 03/31/2025 Amount

Stock #: L083806 Serial #: A00703389 13145.00
NEW 2024 BOBCAT SGX60 STUMP GRINDER HIGH FLOW

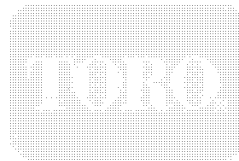
Miscellaneous Charges/Credits

FREIGHT AND DEALER PREP	Qty: 1	Price: 656.00	656.00
SOURCEWELL CONTRACT DISC	1	3387.36	3387.36

Subtotal: 10413.64

Quote Total: 10413.64

Authorization: _____
SOURCEWELL CONTRACT #020223-CEC
CUSTOMER #230054





Quotation Number: **SF1067680**

Quote Sent Date: **Mar 17, 2025**

Expiration Date: **Mar 31, 2025**

Prepared By: **Scott Fahey**

Phone: 612-223-0510

Email: scott_f@lanoequip.com

Customer

CITY OF DAYTON

12260 S DIAMOND LAKE RD

DAYTON, MN, 55327-9654

Phone: +1 763 427 4589

Contact

Dan Dehn

Phone: +17634273224

Email: ddehn@cityofdaytonmn.com

Dealer

Lano Equipment, Inc, Ramsey, MN

6140 HIGHWAY 10 NW

RAMSEY, MN, 55303-4529

Item Name	Item Number	Quantity	Price Each	Total
SGX 60 Stump Grinder	7112201	1	9,757.64	9,757.64
Total for SGX 60 Stump Grinder				9,757.64
Quote Total - USD				9,757.64
Dealer P.D.I.				50.00
Tariff Surcharge				157.00
Destination Charges				256.00
Discount				
TARIFF DEDUCT				-157.00
Sales total before Taxes				10,063.64
Taxes				0.00
Quote Total - USD				10,063.64

Notes:

MN STATE CONTRACT RELEASE T-631(5) #242479 EXPIRES 12/31/2025

Customer acceptance:

Quotation Number:: **SF1067680**

Purchase Order:_____

Authorized Signature:

Print:_____ Sign:_____

Date:_____ Email:_____ Tax Exempt: Y ☐ / N ☐

PRESENTER:

Jason Quisberg

ITEM:

Wellhouse #5 - Pay Request No. 8

PREPARED BY:

Jason Quisberg, Engineering

POLICY DECISION / ACTION TO BE CONSIDERED:

Approve Pay Request No. 8 for the Wellhouse #5 project

BACKGROUND:

See attached engineer's memo for background and recommendations.

RECOMMENDATION:

See attached engineer's memo for recommendations.

ATTACHMENT(S):

Engineer's memo
Pay Request No. 8

To: Martin Farrell, Public Works Director From: Ash Hammerbeck, PE
Jason Quisberg, PE
Project/File: 227704873 Date: April 1, 2025
Subject: Dayton Wellhouse No.5 - Pay Application #8

Council Action Requested

Staff is recommending Council to approve Pay Application #8 for the Dayton Wellhouse No.5 to Ebert Companies in the amount of \$89,971.45.

Summary

Ebert Companies continued work on the project, including installation of joint sealants, doors, hardware and frames, gypsum wallboard, painting, signage, plumbing, mechanical, electrical controls and integration, lighting, vertical line shaft pump, and obtaining the necessary utilities and materials. This pay request is for the work performed through 3/31/2025.

The signed payment request form and pay application is attached for review.

Total Contract Value to Date	\$ 1,083,588.63
Work Completed to Date	\$ 872,973.60
5% Retainage	\$ 43,648.75
Amount Paid to Date	\$ 739,353.40
Total Pay App #8	\$ 89,971.45

Engineer's Recommendation

We have reviewed the request and recommend approving Pay Application #8 to Ebert Companies in the amount of \$89,971.45 for the work completed and materials stored to date.

Application and Certificate for Payment

TO OWNER: City of Dayton 12260 S Diamond Lake Road Dayton, MN 55327	PROJECT: City of Dayton Wellhouse #5 14503 Kingsview Lane N Dayton, MN 55327	APPLICATION NO: 8 PERIOD TO: 3/31/2025 CONTRACT FOR: CONTRACT DATE: PROJECT NOS: 66099 / /	Distribution to: OWNER <input type="checkbox"/> ARCHITECT <input type="checkbox"/> CONTRACTOR <input type="checkbox"/> FIELD <input type="checkbox"/> OTHER <input type="checkbox"/>
FROM CONTRACTOR: Ebert Companies 23350 County Road 10 Corcoran, MN 55357	VIA ARCHITECT: Stantec Consulting Services 2335 W Highway 36 St. Paul, MN 55113		

CONTRACTOR'S APPLICATION FOR PAYMENT

Application is made for payment, as shown below, in connection with the Contract. AIA Document G703™, Continuation Sheet, is attached.

1. ORIGINAL CONTRACT SUM	\$	1,127,735.28
2. NET CHANGE BY CHANGE ORDERS	\$	-44,146.65
3. CONTRACT SUM TO DATE (Line 1 ± 2)	\$	1,083,588.63
4. TOTAL COMPLETED & STORED TO DATE (Column G on G703)	\$	872,973.60
5. RETAINAGE:		
a. 5.00 % of Completed Work (Columns D + E on G703)	\$	43,648.75
b. % of Stored Material (Column F on G703)	\$	
Total Retainage (Lines 5a + 5b, or Total in Column I of G703)	\$	43,648.75
6. TOTAL EARNED LESS RETAINAGE	\$	829,324.85
(Line 4 minus Line 5 Total)		
7. LESS PREVIOUS CERTIFICATES FOR PAYMENT	\$	739,353.40
(Line 6 from prior Certificate)		
8. CURRENT PAYMENT DUE	\$	89,971.45
9. BALANCE TO FINISH, INCLUDING RETAINAGE	\$	254,263.78
(Line 3 minus Line 6)		

CHANGE ORDER SUMMARY	ADDITIONS	DEDUCTIONS
Total changes approved in previous months by Owner	\$ 2,984.35	\$ -47,131.00
Total approved this month	\$	\$
TOTAL	\$ 2,984.35	\$ -47,131.00
NET CHANGES by Change Order	\$	-44,146.65

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment shown herein is now due.

CONTRACTOR: Ebert Companies

By: 

Date: 3.20.25

State of: Minnesota

County of: Hennepin

Subscribed and sworn to before me this 20th

day of March, 2025

Notary Public:

My commission expires: 1-31-2027



ARCHITECT'S CERTIFICATE FOR PAYMENT

In accordance with the Contract Documents, based on on-site observations and the data comprising this application, the Architect certifies to the Owner that to the best of the Architect's knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

AMOUNT CERTIFIED

(Attach explanation if amount certified differs from the amount applied. Initial all figures on this Application and on the Continuation Sheet that are changed to conform with the amount certified.)

ARCHITECT: Stantec Consulting Services

By: 

Date: 4/1/2025

This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

CAUTION: You should sign an original AIA Contract Document, on which this text appears in RED. An original assures that changes will not be obscured.



AIA Document G703™ – 1992

Continuation Sheet

AIA Document G702™-1992, Application and Certificate for Payment, or G732™-2009, Application and Certificate for Payment, Construction Manager as Adviser Edition, containing Contractor's signed certification is attached.
In tabulations below, amounts are in US dollars.
Use Column I on Contracts where variable retainage for line items may apply.

APPLICATION NO: 8
APPLICATION DATE: 3/20/2025
PERIOD TO: 3/31/2025
ARCHITECT'S PROJECT NO: 66099

A	B	C	D	E	F	G		H	I
ITEM NO.	DESCRIPTION OF WORK	SCHEDULED VALUE	WORK COMPLETED		MATERIALS PRESENTLY STORED <i>(Not in D or E)</i>	TOTAL COMPLETED AND STORED TO DATE <i>(D+E+F)</i>	% <i>(G ÷ C)</i>	BALANCE TO FINISH <i>(C – G)</i>	RETAINAGE <i>(If variable rate)</i>
			FROM PREVIOUS APPLICATION <i>(D + E)</i>	THIS PERIOD					
01	Bonds	10,000.00	10,000.00			10,000.00	100.00		500.00
02	Mobilization	20,000.00	20,000.00			20,000.00	100.00		1,000.00
03	General Conditions M	24,500.00	24,500.00			24,500.00	100.00		1,225.01
04	General Conditions L	54,500.00	54,500.00			54,500.00	100.00		2,725.01
05	Closeouts	2,000.28						2,000.28	
06	Final Cleaning	2,000.00						2,000.00	
07	Cast-In-Place Concrete	57,200.00	57,200.00			57,200.00	100.00		2,860.00
08	Precast Plank	14,200.00	14,200.00			14,200.00	100.00		710.00
09	Unit Masonry	84,600.00	84,600.00			84,600.00	100.00		4,230.00
10	Rough Carpentry M	6,800.00	6,800.00			6,800.00	100.00		340.00
11	Rough Carpentry L	17,400.00	17,400.00			17,400.00	100.00		870.00
12	Roof Trusses M	1,800.00	1,800.00			1,800.00	100.00		90.00
13	Bituminous Damproofing	3,750.00	3,750.00			3,750.00	100.00		187.50
14	Insulation	1,900.00	1,900.00			1,900.00	100.00		95.00
15	Sheet Metal Roofing	16,000.00	16,000.00			16,000.00	100.00		800.00
16	Soffits & Flashings	2,000.00	2,000.00			2,000.00	100.00		100.00
17	Joint Sealants	2,800.00	840.00	560.00		1,400.00	50.00	1,400.00	70.00
18	Doors, Hardware, & Frames M	15,850.00	15,850.00			15,850.00	100.00		792.50
19	Doors, Hardware, & Frames L	1,950.00	1,755.00	97.50		1,852.50	95.00	97.50	92.63
20	Translucent Skylight System	6,050.00	6,050.00			6,050.00	100.00		302.50
21	Louvers M	1,700.00	1,700.00			1,700.00	100.00		85.00
22	Louvers L	800.00	800.00			800.00	100.00		40.00
23	Gypsum Wallboard	2,800.00	2,520.00	280.00		2,800.00	100.00		140.00
24	Concrete Floor Sealer	1,400.00	1,400.00			1,400.00	100.00		70.00
25	Painting	6,800.00	680.00	5,440.00		6,120.00	90.00	680.00	306.00
	GRAND TOTAL								

CAUTION: You should sign an original AIA Contract Document, on which this text appears in RED. An original assures that changes will not be obscured.

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Continuation Sheet

AIA Document G702™–1992, Application and Certificate for Payment, or G732™–2009, Application and Certificate for Payment, Construction Manager as Adviser Edition, containing Contractor's signed certification is attached.
In tabulations below, amounts are in US dollars.
Use Column I on Contracts where variable retainage for line items may apply.

APPLICATION NO: 8
APPLICATION DATE: 3/20/2025
PERIOD TO: 3/31/2025
ARCHITECT'S PROJECT NO: 66099

A	B	C	D	E	F	G		H	I
ITEM NO.	DESCRIPTION OF WORK	SCHEDULED VALUE	WORK COMPLETED		MATERIALS PRESENTLY STORED <i>(Not in D or E)</i>	TOTAL COMPLETED AND STORED TO DATE <i>(D+E+F)</i>	% <i>(G ÷ C)</i>	BALANCE TO FINISH <i>(C – G)</i>	RETAINAGE <i>(If variable rate)</i>
			FROM PREVIOUS APPLICATION <i>(D + E)</i>	THIS PERIOD					
26	Signage	1,950.00	975.00	975.00		1,950.00	100.00		97.51
27	Plumbing	13,500.00	10,125.00	2,025.00		12,150.00	90.00	1,350.00	607.50
28	Mechanical	34,250.00	13,700.00	17,125.00		30,825.00	90.00	3,425.00	1,541.25
29	Electrical Permit	260.00	260.00			260.00	100.00		13.00
30	Electrical General Labor	34,744.00	26,058.00	3,474.40		29,532.40	85.00	5,211.60	1,476.62
31	Electrical General Material	25,977.00	22,080.45	3,896.55		25,977.00	100.00		1,298.86
32	Equipment Controls & Integ.	209,375.00	125,625.00	52,343.75		177,968.75	85.00	31,406.25	8,898.44
33	Electrical Generator	170,450.00						170,450.00	
34	Lighting	2,544.00		2,289.60		2,289.60	90.00	254.40	114.48
35	Earthwork	52,095.00	52,095.00			52,095.00	100.00		2,604.76
36	Flexible Paving	12,200.00						12,200.00	
37	Irrigation Systems	6,450.00						6,450.00	
38	Turfs & Grasses	5,050.00						5,050.00	
39	Deciduous Trees 2.5"	3,738.00						3,738.00	
40	Shrub #5 GAL CONT	1,566.00						1,566.00	
41	Perennial Grass #1 GAL CONT	1,234.00						1,234.00	
42	Rock Mulch	875.00						875.00	
43	Metal Landscape Edger	2,158.00						2,158.00	
44	Utilities	28,269.00	28,269.00			28,269.00	100.00		1,413.45
45	Process Piping	38,250.00	38,250.00			38,250.00	100.00		1,912.51
46	Vertical Line Shaft Pump	124,000.00	111,600.00	6,200.00		117,800.00	95.00	6,200.00	5,890.00
47	Change Order 1	-47,131.00						-47,131.00	
48	Change Order 2	2,984.35	2,984.35			2,984.35	100.00		149.22
	GRAND TOTAL	1,083,588.63	778,266.80	94,706.80		872,973.60	80.56	210,615.03	43,648.75

CAUTION: You should sign an original AIA Contract Document, on which this text appears in RED. An original assures that changes will not be obscured.

PRESENTER:

Jason Quisberg

ITEM:

Wellhouse #5 – Change Order No. 5

PREPARED BY:

Jason Quisberg, Engineering

POLICY DECISION / ACTION TO BE CONSIDERED:

Approve Change Order No. 5 for the Wellhouse #5 project

BACKGROUND:

A design modification, related to the electric system, in the wellhouse was made.

This change order results in an increase of \$3,272.64 to the contract amount. Note that this change order involves a change in scope. Had this change been incorporated in the original bid package, the contractor's bid would have reflected this additional cost.

See attached engineer's memo and change order form for additional background and recommendations.

RECOMMENDATION:

See attached engineer's memo for recommendations.

ATTACHMENT(S):

Engineer's memo
Change Order No. 5

To:	Martin Farrell, Public Works Director	From:	Ash Hammerbeck, PE Jason Quisberg, PE
File:	227704873	Date:	April 1, 2025

Reference: Change Order No. 5 – Dayton Wellhouse No. 5

Council Action Requested

Staff recommends that City Council approve Change Order No. 5 for the Dayton Wellhouse No. 5 Project, which adds \$3,272.64 to the current Contract Price, adjusted for previous Change Orders.

Summary

Attached is Change Order No. 5 for the Dayton Wellhouse No. 5 Project, covering the modifications in Change Order Proposal No. 5. This change order updates the contract price to reflect the anticipated costs for the proposed work.

A description of the work covered under this change order is described below. Supporting documentation from the contractor is attached.

COP#5

- Description: This change order proposal covers the material and labor costs for electrical modifications, including mounting the lighting transformer above the panelboard, mounting and wiring the generator emergency stop (E-Stop), and upsizing the generator shore power load center wire from #8 to #6 to accommodate the 60-amp circuit. These changes are necessary to enhance system functionality and ensure the generator's electrical components are appropriately sized for reliable operation. The total addition to the Contract Price for this change is \$3,272.64.

Engineer's Recommendation

It is recommended that the City Council review and approve the attached Change Order No. 5.

SECTION 00 63 63
CHANGE ORDER FORM

Change Order No. 5

Date April 1, 2025

Agreement Date May 14, 2024

Name of Project: City of Dayton Wellhouse #5

Owner: City of Dayton

Contractor: Ebert Companies

The following changes are hereby made to the Contract Documents: This change order adjusts the contract price to account for the anticipated costs of the described electrical modifications.
Justification: These changes are necessary to enhance system functionality and ensure the generator's electrical components are appropriately sized for reliable operation.

Original Contract Price: \$ 1,127,735.28

Current Contract Price adjusted to previous Change Orders: \$ 1,094,223.29

The Contract Price due to this Change Order will be (increased) (~~decreased~~) by \$ 3,272.64

The new Contract Price including this Change Order will be \$ 1,097,495.93

Original Contract-Required Substantial Completion Date: May 1, 2025

Original Contract-Required Final Completion Date: July 1, 2025

Current Substantial Completion Date adjusted to previous Change Orders: June 18, 2025

Current Final Completion Date adjusted to previous Change Orders: August 1, 2025

The Substantial Completion Date will be (~~increased~~) (~~decreased~~) by 0 calendar days.

The Final Completion Date will be (~~increased~~) (~~decreased~~) by 0 calendar days.

The revised Substantial Completion Date will be: June 18, 2025

The revised Final Completion Date will be: August 1, 2025

Approvals Required:

To be effective, this Order must be approved by the Owner and the Contractor if it changes the scope of objective of the Project, or as may otherwise be required by the Supplemental General Conditions.

Requested by: 
Ash Hammerbeck, P.E.

Ordered by: _____
City of Dayton

Accepted by: _____
Ebert Companies

END OF SECTION



23350 County Road 10
Corcoran, MN 55357
Ph : 763-498-7844

Change Proposal

To: City of Dayton
12260 S Diamond Lake Road
Dayton, MN 55327

Number: GCPR 05
Date: 3/18/25
Job: 66099 City of Dayton Wellhouse #5
Phone:

Description: GCPR 05 - Electrical Changes

Proposed are the following changes:

Mount lighting transformer about panelboard
Mount and wire generator E-Stop
Upsize generator shore power load center wire to #6.

The total amount to provide this work is \$3,272.64
(Please refer to attached sheet for details.)

If you have any questions, please contact me at 763-498-7844.

Pricing subject to review/change if not approved within 14 days of receipt.

Submitted by: Ebert Companies

Approved by: _____
Date: _____



23350 County Road 10
Corcoran, MN 55357
Ph : 763-498-7844

Change Proposal GCPR 05 Price Breakdown Continuation Sheet

Description: GCPR 05 - Electrical Changes

Description	Labor	Material	Equipment	Subcontract	Other	Price
Electrical				\$2,922.00		\$2,922.00
Subtotal:						\$2,922.00
		Contractor OH&P		\$2,922.00	10.00%	\$292.20
		Insurance & Bond		\$2,922.00	2.00%	\$58.44
Total:						\$3,272.64

TAYLOR ELECTRIC COMPANY

PROPOSAL

DATE 3/16/25	589
--------------	-----

Description	Total
Dayton Wellhouse No. 5 – Change Order Proposal to Wall Mount the Lighting Panel Transformer.	
Labor	\$576.00
Material	\$749.00
<u>Material Lift Rental</u>	<u>\$90.00</u>
Total	\$1,415.00
Change Order Proposal to add a Generator E-Stop Button in the Well House	
Labor	\$920.00
<u>Material</u>	<u>\$587.00</u>
Total	\$1,507.00
LOOK FORWARD TO DOING BUSINESS WITH YOU	TOTAL:\$2,922.00

19717 207th Street
Big Lake, MN 55309
763-263-5703 PHONE
763-263-5709 FAX

GENERAL CONTRACTORS
Ebert Construction

ITEM:

Dayton Parkway Interchange

PREPARED BY:

Jason Quisberg, Engineering

POLICY DECISION / ACTION TO BE CONSIDERED:

Approve Pay Request #30 & Final for the Dayton Parkway Interchange project

BACKGROUND:

The Dayton Parkway Interchange project construction is complete and the remaining close out documentation is being coordinated. Per the contract requirements, the City has been holding \$10,000 in retainage as a surety that the contractor close out obligations are satisfied.

SRF, as the city design consultant on the project, along with MNDOT, as the construction administration lead, recommend release of the retainage as final contractor payment on the project.

RECOMMENDATION:

Approve Pay Request #30 & Final for the Dayton Parkway Interchange project

ATTACHMENT(S):

MNDOT letter (confirming satisfaction of contract requirements)

Certificate of Final Acceptance

Pay Request #30 & Final

Note: Digital signatures were used for some of the document; these signatures are lost when the documents are bundled for the packet. Fully executed documents are in the City's possession.
--

Date: March 19, 2025

Kent Messenbrink
C.S. McCrossan
7865 Jefferson Hwy
Maple Grove, MN 55369

RE: Contract No: 200502
SP No: 2780-100

Mr. Messenbrink

In accordance with MnDOT 1516.3, C.S. McCrossan has completed the Work required under the Contract on 3/13/2025.

A copy of the Final Estimate for payment and Certificate of Final Acceptance are enclosed for your review and approval. The Certificate requires the signature of an authorized official of your firm on this Contract.

The date you received this package via email is the date that begins the ninety day statutory deadline (MN Statute § 161.34) for initiating claims against the State arising out of the Contract.

If a credit payment is due, you will receive a separate invoice from MnDOT Financial Operations. Please remit payment in accordance with the invoice.

Retain a copy of the Final Estimate and Certificate of Final Acceptance for your records. Sign the other copy and return to: brian.porter@state.mn.us or mail to:

Minnesota Department of Transportation
2055 North Lilac Dr.
Golden Valley, MN 55432

A copy of the Certificate of Final Acceptance will be provided to you and your Surety subsequent to full execution.

Sincerely,

Brian Porter
Project Engineer
MnDOT – Golden Valley NW Construction

Minnesota Department of Transportation
CERTIFICATE OF FINAL ACCEPTANCE

Contract Number: 200502

S.P. Number: 2780-100

Federal Project Number: 2780-100 / STPF 2720(021)

Location: T.H. 94 From 600' East To 5400' East Of Csah 101 Overpass. Located On Csah 81,660' Nw Of Dayton Pkwy To Dayton Pkwy. Csah 101, 80' N Of Rush Creek To 1440' S Of T.H. 94. Dayton Pkwy, Csah 101 To 215' Sw Of Csah 81.

Final Voucher Number: 30

Final Value of Work Certified on this Contract: \$22,623,028.23

Final Estimate Value/Final Payment on this Contract: \$0.00

Contractor: C.S. McCrossan Construction, Inc.

Vendor ID: 0000193884

Contractor's Certification

I, the undersigned, certify that I am authorized to sign for the contractor, that the final value of work certified on this Contract is accurately stated above; that in connection with the Work performed and to the best of my knowledge, the attached final estimate (Estimate) is a true and accurate statement showing all the monies due and owing from the Minnesota Department of Transportation for Work performed and material furnished under this Contract and that this amount is accurately stated above; that the Work conforms to the Plans and Specifications, except for non-conforming Work allowed to remain in place; that I have carefully examined the final Estimate and understand the same and that I release the State of Minnesota from any and all claims arising out of the performance of this Contract.

March 24, 2025

Contract Authorized Signature Required

Date

James M. Helgestad

Vice President, MN Operations

Printed Name

Title

Department of Transportation Certification

I certify the attached final estimate is based upon actual measurements; that a final examination has been made of the Work; that the Work has been completed; that the entire amount of Work shown in this Certificate has been performed; and that the total value of the Work performed under the Contract is shown in this Certificate.

MnDOT Project Engineer/Supervisor Signature Required

Date

MnDOT procedures and controls were sufficient to assure that this project was completed in reasonable, close conformance with the approved plans and specifications including authorized changes and extra work.

This Contract is accepted in accordance with Specification 1516.4.

MnDOT District Engineer Signature Required

Date

CITY OF DAYTON
12260 South Diamond Lake Road
Dayton, MN 55327

Federal No STPF 2720 (021)
Project No SP 229-112-002, 027-681-00, 027-701-036, 2780-100

Payment Voucher **No. 30 - Final**

For Period Ending: **2/14/2024**

City of Dayton to:

C.S. McCrossan Construction, Inc.
7865 Jefferson Highway
Maple Grove, MN 55369
763-425-4167

Original Contract Amount: \$21,611,939.44
Change Orders: \$1,243,532.09
Revised Contact Amount: \$22,855,471.53

Date Contract Approved: 4/14/2020

Project Description: Dayton Parkway Interchange Project

Funding Group	Contract Amount	Value Completed To Date	Less 0% Retainage	Less Previous Payments	Net Amount Due
GROUP 1 - NON PAR SP 2780-100 SIGNALS	\$731,570.90	\$739,889.21	\$0.00	\$739,889.21	\$0.00
GROUP 2 - PAR SP 229-112-002 ROADWAY & STORM SEWER	\$15,333,853.27	\$15,312,177.20	\$0.00	\$15,302,177.20	\$10,000.00
GROUP 3 - PAR SP 229-112-002, 027-701-036 ROADWAY & STORM SEWER	\$1,345,501.45	\$1,290,723.59	\$0.00	\$1,290,723.59	\$0.00
GROUP 4 - PAR SP 229-112-002, 027-681-040 ROADWAY & STORM SEWER	\$219,903.40	\$195,989.73	\$0.00	\$195,989.73	\$0.00
GROUP 5 - PAR SP 2780-100, 228-112-002 BR #27417	\$2,942,353.20	\$2,947,418.20	\$0.00	\$2,947,418.20	\$0.00
GROUP 6 - NON PAR CITY OF DAYTON	\$774,520.83	\$619,007.03	\$0.00	\$619,007.03	\$0.00
GROUP 7 - NON PAR CITY OF DAYTON ADD ALTERNATE #1	\$629,458.06	\$625,072.92	\$0.00	\$625,072.92	\$0.00
GROUP 8 - NON PAR CITY OF DAYTON ADD ALTERNATE #2	\$434,361.72	\$439,649.65	\$0.00	\$439,649.65	\$0.00
GROUP 7 - PAR SP 229-112-002, 027-701-036 ADD ALTERNATE #3	\$441,748.70	\$450,900.70	\$0.00	\$450,900.70	\$0.00
GROUP 10 - PAR OJT	\$2,200.00	\$2,200.00	\$0.00	\$2,200.00	\$0.00
Total Project	\$22,855,471.53	\$22,623,028.23	\$0.00	\$22,613,028.23	\$10,000.00

Payment 1: \$471,056.57
Payment 2: \$1,318,527.31
Payment 3: \$704,316.32
Payment 4: \$1,018,038.67
Payment 5: \$1,181,292.32
Payment 6: \$2,016,850.12
Payment 7: \$215,773.66
Payment 8: \$129,510.99
Payment 9: \$1,259,792.10
Payment 10: \$325,078.20

Payment 11: \$638,794.13
Payment 12: \$1,022,048.44
Payment 13: \$707,767.21
Payment 14: \$663,821.70
Payment 15: \$756,647.43
Payment 16: \$1,542,897.80
Payment 17: \$2,440,297.72
Payment 18: \$3,338,140.62
Payment 19: \$555,665.65
Payment 20: \$62,804.76

Payment 21: \$27,447.83
Payment 22: \$456,362.96
Payment 23: \$1,263,091.49
Payment 24: \$112,519.81
Payment 25: \$13,117.50
Payment 26: \$53,662.12
Payment 27: \$30,657.55
Payment 28: \$57,587.41
Payment 29: \$229,459.84
Payment 30: \$10,000.00

Total Payments \$22,623,028.23

This is to certify that work items shown on this statement of work certified herein have been actually furnished for the referenced project in accordance with plans & specifications approved and the total work is 100% complete.

Approved By:



Project Engineer
SRF CONSULTING
Date: 3/19/2025

Contractor
C.S. McCROSSAN
Date: _____

Owner
CITY OF DAYTON
Date: _____

ITEM:

Approving the Transfer of Monies from Various Funds in Accordance with the Budget, Long-Term Plan, and Other Financial Reporting Requirements

PREPARED BY:

Zach Doud, City Administrator

POLICY DECISION / ACTION TO BE CONSIDERED:

Approving Transfers noted on Resolution 19-2025.

BACKGROUND:

City Staff prepares for the annual audit at the beginning of each fiscal year. During this preparation, there are transfers between funds that need to be made whether they are based on the long-term plan or City policies (i.e. Fund balance policy). These transfers are an annual item that need to be approved by City Council since they were not authorized during the budget process.

Per the long-term plan, the first 75 homes that paid connection fees for stormwater, water, and sewer would go to assist in funding the 2014A and 2015A Bonds for street projects. This will eliminate the need for a tax levy to fund these two bonds. Total transfers to this fund are \$1,063,350.

There is only one funds that need to be closed in 2024 as they are no longer needed with the final payment of the Dayton Parkway Interchange being approved tonight. The Dayton Parkway Interchange Fund has been around for 10+ years starting when the City began acquiring properties for the construction of such an interchange along I-94. Since then we have received multiple grants from the Federal Government, State Government, and other Local Governments to construct the Interchange. This also includes a bond that was sold by the City of Dayton. After all of the reconciliation has been done, all grants have been requested funding from and the bond has been spent, the ending balance of this fund was -\$507,235.59. With that negative balance, there needs to be a transfer of dollars from another fund to consider the fund closed out. These funds have been identified as the Pavement Management Fund and the Stormwater Fund as these two are the reasons why the land was acquired from the beginning. Both of these funds will split the cost 50/50.

RELATIONSHIP TO COUNCIL GOALS:

Foster a Safe and Welcoming Community

RECOMMENDATION:

Staff recommends approving the transfer of monies from various funds in accordance with the Budget, Long-Term Plan, and Other Financial Reporting Requirements

ATTACHMENT(S):

Resolution 19-2025 Transferring of Monies between Funds

Resolution No. 19-2025

Approving the Transfer of Monies from Various Funds in Accordance with the Budget, Long Term Plan, and Other Financial Reporting

WHEREAS, this resolution is intended to be a summary of all 2024 transfers of monies between funds whether included in the 2024 Budget, the 2024 Long Term Plan, the 2024 Debt Service Budgets, or proper accounting for various projects;

THEREFORE, BE IT RESOLVED THAT the City Council reaffirms the transfers included in the General Fund Budget, Long Term Plan, and Debt Management Study and approves the additional transfers of monies between funds for 2024 as summarized by the following:

As recommended per the City's Long Term Plan and Debt Management Study:

1. A transfer of \$227,175.00 from the Stormwater Fund 415, \$598,350.00 from the Water Fund 601 and \$237,825.00 from the Sewer Fund 602 (connection fees for first 75 homes in 2024) to the 2014/2015A GO Bond Fund 342 to provide resources for principal and interest repayment on this debt service obligation;

As recommended by the Finance Department to clean up funds:

2. A transfer of \$253,617.80 from the Pavement Management Fund 414 and \$253,617.80 from the Stormwater Fund to Dayton Parkway Interchange Fund 480 for the completion of the project. This project has been going on for 10 years and needs to be finalized out.

Adopted on this 8th day of April, 2025, by the City Council of the City of Dayton, Minnesota.

Motion made by _____ and seconded by _____.

ATTEST:

Dennis Fisher, Mayor

Amy Benting, City Clerk

ITEM:

Review Three Rivers Park District Engagement Plan

PREPARED BY:

Zach Doud, City Administrator

POLICY DECISION / ACTION TO BE CONSIDERED:

Review and Make Comments on the Engagement Plan

BACKGROUND:

Three Rivers Park District completed a presentation on February 25th, 2025 council meeting regarding the West Mississippi Regional Trail and the outlook for purchasing properties was heavily discussed. As a result of that council meeting presentation and discussion, Three Rivers Park District has taken the feedback received and put together an Engagement Plan of how to work together more closely and effectively to come up with a plan of action moving forward.

This Engagement Plan has been worked through by City staff and Three Rivers Park District and seems to lay out a timeline fairly well about how we as the City and Three Rivers Park District can discuss what has happened in the past, what it looks like currently, and getting a long-range action plan established that works for all parties involved.

There will be open houses, informational meetings for those directly affected (neighbors) and work sessions in this Engagement Plan. Feedback from the Council is appreciated on this Plan and suggestions are expected for timing, information, etc. as this is going to be a team effort involving City Staff, City Council, and Three Rivers Park District.

RELATIONSHIP TO COUNCIL GOALS:

Foster a Safe and Welcoming Community

RECOMMENDATION:

Staff is looking for feedback on the Engagement Plan.

ATTACHMENT(S):

Engagement Plan
Letter to Residents

West Mississippi River Regional Trail

Draft Dayton Engagement: Goodin Park to North Diamond Lake Road Segment

Park Commission: Intro and Update

- Powerpoint: History and updated presentation shared with the Council from 2/25/2025
- Overview of Engagement Plan
- April 1 (Ann Rexine/Jonathan Vlaming)

City Council

- Review Engagement Plan
- April 8 (Kelly Grissman/Ann Rexine)

Hen Cty Open House

- Cty lead open house
- Focus on Vicksburg (Dayton) east to Colburn (Champlin)
- We will ask about having our own information at the open house:
 - o General RT info
 - o Advertise for Three Rivers open house
- Location: Dayton Elementary School or Mississippi Crossing?
- April 15 (Kelly Grissman)

Dayton Route Neighbors

- Direct Mailing to neighbors along both sides of the route
- Option/invite for in-person, virtual or phone meeting to review the trail design/location and desire to connect with the River/protect or restore nature resources where an opportunity presents its itself, and answer questions/listen to concerns
- Ensure availability weekends/evenings and request City staff presence
- Mailing April 15 – ask that they schedule the meeting prior to the public open house

Dayton Open House May 14

Three Rivers Open House: General Public

- Direct Mailing, Newsletters, flyers, emails, next doors, etc.
- Focus: North Diamond Lake Road to Goodin Park Node
- Corridor/Parcel/Option Maps
- Location: Eastman
- Wednesday, May 21

City Council/Park Commission Joint Work Session

- Review of Planning/Project History and Community Engagement Efforts/Findings (Short powerpoint)
- Walk through Large Format Corridor Map/Options and Visioning or Prioritization (Hands-on Activity)
- Location: Dayton City Hall
- Tuesday, June 24

Let's Talk

- Intro talk
- Previous approval dates/documents
- Long range plan link
- Presentation links
- Maps
 - o Route
 - o Acquisition
- Engagement opportunities
 - o Online
 - o Event Schedules

April 15, 2025

Name

Address

RE: West Mississippi River Regional Trail: Upcoming Engagements Opportunities

Dear Property Owner,

In 2018, Three Rivers Park District and the City of Dayton approved the West Mississippi River Regional Trail Long-range Plan. The Long-range Plan identified the general regional trail route/corridor along CSAH 12/Dayton River Road [between Goodin Park and North Diamond Lake Road](#) and the desire by both parties to pursue acquisition on a willing-seller basis of a wider, more scenic regional trail corridor with greater Mississippi River connectivity [between Goodin Park and North Diamond Lake Road](#).

Since then, Three Rivers has acquired several properties on a willing-seller basis, removed the structures on the properties, and returned the properties back to natural open space. These recent acquisitions have raised [many recent](#) questions [from community members about the acquisition goals and implementation timing of the regional trail, especially from those living directly on the future trail corridor](#). While Three Rivers works to ensure more information is readily available to community members and that the regional trail plan still aligns with the City's plans, Three Rivers will [be temporarily not be pausing pursuing](#) new acquisition opportunities.

Three Rivers Park District, in partnership with the City of Dayton, would like to invite you to learn more or share feedback about the regional trail and acquisition efforts in one or more of the following ways:

- Review the attached Frequently Asked Questions
- Visit the West Mississippi River Regional Trail: Dayton Let's Talk Website [at ABC](#)
- Call or email Ann Rexine at [---](#) or Ann.Rexine@threeriversparks.org to schedule a private phone conference, virtual meeting or site visit with Three Rivers and City staff to review a property owner's unique questions and situation between [April X and May X](#).
- Attend a general public open house on [... at ... from ...](#)

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Following these community engagement opportunities, staff will be host a work session with the Dayton City Council and Parks Commission on [June 17, 2025 at 6:00 PM at the Eastman Nature Center in Elm Creek Park Reserve](#) to review the existing long-range plan direction and acquisition status, share recent community feedback, and discuss current Council and Commission goals and priorities as they relate to regional trail planning and acquisition efforts.

Sincerely,

Kelly Grissman
Director of Planning
Three Rivers Park District

Zach Doud
City Administrator
City of Dayton

PRESENTER: Paul Kangas

ITEM: Award Park Improvements Project Contract Award to Custom Builders

PREPARED BY: Martin Farrell

BACKGROUND: Staff solicited bids from contractors for the Park Improvements Project for Area 21 Park, Lone Gardens upgrades and Elsie Stephens Phase 3. The bids were separated into base bids and multiple alternates for each of the Parks to help with spending limited dollars appropriately.

Bid packages were posted on March 3 2025, and the bid opening scheduled for March 27 2025. Staff held the bid opening and received 6 competitive bids. The bids were analyzed for Low Base Bid and various scenarios with the Alternates. Staff and Paul Kangas presented the low bids and alternates to the Park Commission on 4-1-2025 for their recommendation of which alternates to accept to determine the low bid.

The Park Commission recommended including PSA A retaining walls and Landscape, PSA-B concrete edger around the sand volleyball court, PSA D Tree Plantings, IOG-A tree plantings, ESPAA all base bid, ESP-A West Parking Lot, ESP-B Gate at Historic Entrance.

CRITICAL ISSUES: N/A

BUDGET IMPACT: Funded from Fund 405 Park Dedication Funds \$1,850,000 and Irrigation Funded from Water Fund 601 \$225,000

Base Bid	\$994,263.18
Total for alternates	\$527,311.00
Contingency @ 7%	\$112,250.00
Construction Management @ 6%	\$96,215.00
Total Project Cost	\$1,812,030.18
Identified Funding Budget	\$2,075,00.00
Under budget by	\$262,969.82

RECOMMENDATION: N/A

ATTACHMENT(S): IOA Recommendation letter, Bid Synthesis, Accepted Alternate Illustrations



April 2, 2025

Zach Doud – City Administrator
City of Dayton
12260 South Diamond Lake Road
Dayton, MN 55327

RE: Dayton 2025 PIP Project Bid Results

Mr. Doud:

Bids were received for the above referenced project at 3:00 pm on March 27th, 2025. A total of six bids were submitted from a wide variety of qualified contractors. A full synthesis of the bid results, compared to the previous IOA estimate, is attached. The total bids, ranked in order from low to high, are as follows:

VADA Contracting	\$ 951,746.04	Apparent low BASE bidder
Custom Builders	\$ 994,263.18	plus \$ 42,517.14
Peterson Companies	\$ 1,016,280.82	plus \$ 64,534.78
Shoreline Landscaping	\$ 1,063,284.02	plus \$ 111,537.98
Blackstone Contracting	\$ 1,095,216.78	plus \$ 143,470.74
Parkstone Construction	\$ 1,318,386.50	plus \$ 366,640.46

The 2025 PIP Project was strategically bid with a variety of Add Alternates that would affect the project award. Any ACCEPTED Alternates are to be included in the total contract amount and COULD change the apparent low bidder. The Parks Commission made a recommendation on April 1, 2025 to accept the following Alternates highlighted in yellow:

ALTERNATE DESCRIPTION	VADA Construction	Custom Builders
PSA-A - Retaining Walls & Landscape	\$ 72,685.00	\$ 22,255.00
PSA-B - Concrete Edger at VB Court	\$ 14,300.00	\$ 10,400.00
PSA-C - Cornhole Play Element	\$7,600.00	\$ 6,484.00
PSA-D - Tree Plantings	\$ 42,750.00	\$ 36,736.00
IOG-A - Tree Plantings	\$ 15,750.00	\$ 12,600.00
ESP-AA - All Base Bid	\$ 371,573.00	\$ 385,830.00
ESP-A - West Parking Lot	\$ 130,875.00	\$ 131,181.10
ESP-B - Gate at Historic Entrance	\$ 12,000.00	\$ 10,300.00
ESP-C - Stone Seat Wall & Fireplace	\$ 60,000.00	\$ 52,184.00
ESP-D - Stone Entry Columns	\$ 20,000.00	\$ 10,000.00
TOTAL with Alternates	\$ 1,611,679.04	\$ 1,603,565.28

IOA agrees with the Park Board's recommendation and provided the same opinion prior to their meeting. There was good discussion, however, and I believe the Park Board's recommendation is well, and thoughtfully, considered. If the Council were to accept their recommendation, the apparent low bidder would flip to Custom Builders as shown on the bottom line. There is a plethora of alternative scenarios that would be too difficult to illustrate in this memo, but can be explored at the meeting. Most scenarios result in Custom Builders remaining the low bidder, but there are a few that would retain VADA Contracting as the lowest bidder.

The last-minute effort to add all of Elsie Stephens Park as an Alternate was an unfortunate decision that undoubtedly cost the City money in the bidding process. A number of the Contractors questioned me on why a major change was being implemented so late in the bidding process. One contractor even considered not bidding due to the size of the late change. Contractors don't like confusion and add money to their bids to compensate.

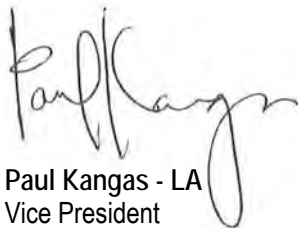
Based on comments at the Parks Commission meeting, I also need to remind the Council that the Public Bid process has rules that must be followed when seeking and approving bids. The City Council DOES NOT have the discretion to modify the Base Bid results on a line-by-line basis. The Council CAN pick and choose which Alternates are accepted, but cannot modify the Base Bid totals prior to award. Staff and I highlighted, and carefully reviewed, the description and effects of the proposed Alternates at the time the project was authorized to go to bid.

Change Orders can be negotiated AFTER the award, but the City loses leverage in those scenarios and will likely not get good pricing as the Contractor must agree to the negotiated Change Orders. There is little incentive for the Contractor to decrease their total contract amount and reduce the size of the project.

Finally, the Council COULD reject ALL bids and lose the time, effort, and consulting fees that went into bidding the project. That decision is quite rare, however, and typically only done when bids are out-of-line with expectations or outside of budgeted amounts. That is clearly not the case for this project. If all bids were rejected, many of the Contractors would either reject re-bidding the project or significantly increase their pricing to cover their added costs of going through the bidding process again. I strongly urge you to reject this option.

Please contact me with any questions.

Sincerely,



Paul Kangas - LA
Vice President
Director of Landscape Architecture

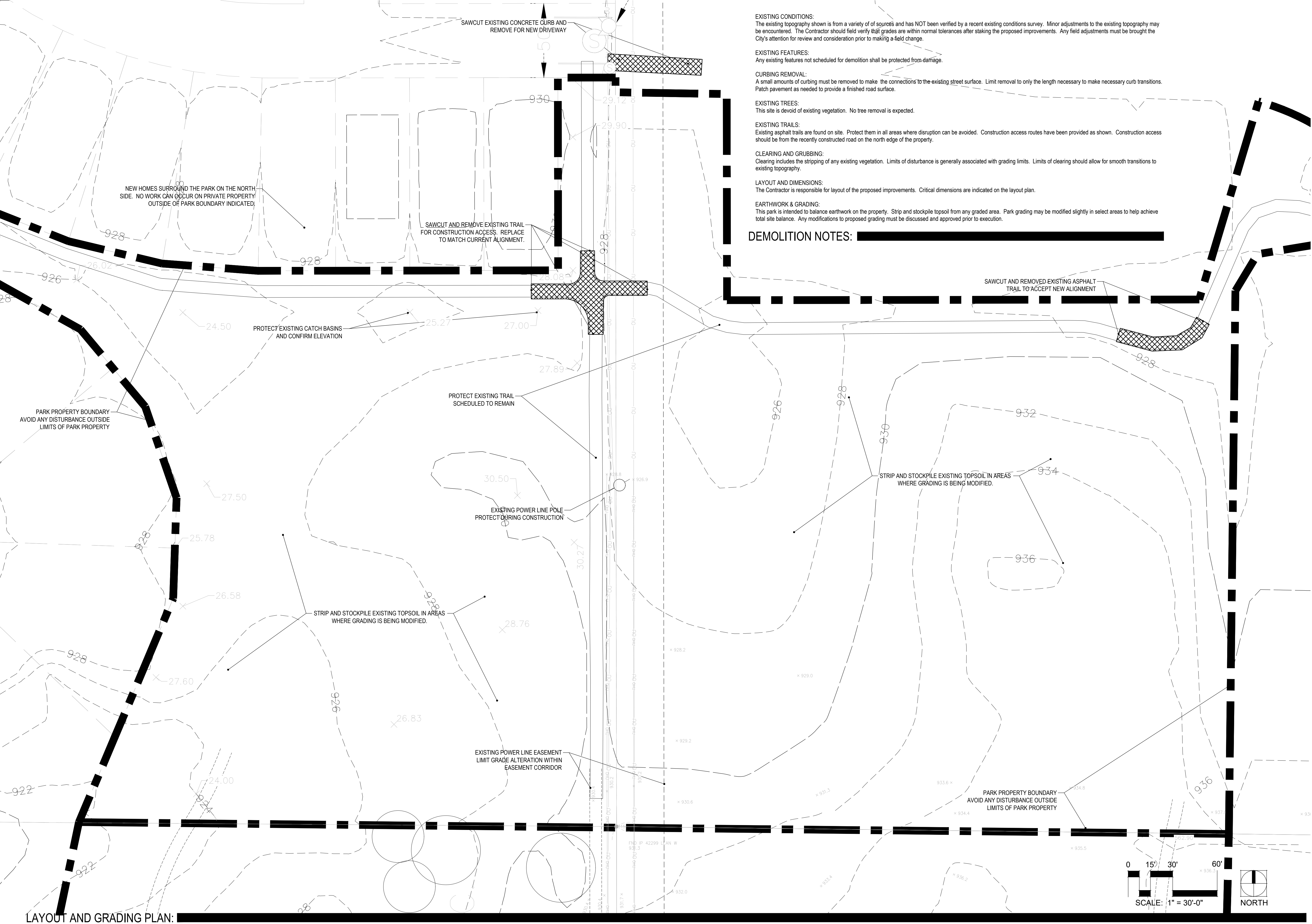
Attachments: Partial Bid Synthesis
Full Bid Synthesis

BID SYNTHESIS	IOA ESTIMATE		AVERAGE	VADA CONTRACTING		CUSTOM BUILDERS	PCO	SHORELINE LANDSCAPE	BLACKSTONE	PARKSTONE
	Deviation from Low		Deviation from Average							
PSA 21 BASE BID	8%	\$ 1,003,298.75	-4%	\$ 1,042,560.84	\$ 926,821.04	\$ 962,159.18	\$ 985,306.02	\$ 1,031,008.02	\$ 1,067,439.27	\$ 1,282,631.50
IONE GARDENS BASE BID	7%	\$ 26,550.00	-13%	\$ 30,635.39	\$ 24,925.00	\$ 32,104.00	\$ 30,974.80	\$ 32,276.00	\$ 27,777.51	\$ 35,755.00
TOTAL BASE BID	8%	\$ 1,029,848.75	-4%	\$ 1,073,196.22	\$ (42,517.14)	\$ 994,263.18	\$ 1,016,280.82	\$ 1,063,284.02	\$ 1,095,216.78	\$ 1,318,386.50
						\$ 42,517.14	\$ 64,534.78	\$ 111,537.98	\$ 143,470.74	\$ 366,640.46
ALTERNATES										
PSA-A - Retaining Walls & Landscape	152%	\$ 56,160.00	13%	\$ 49,578.68	\$ 50,430.00	\$ 22,255.00	\$ 55,433.66	\$ 34,834.75		\$ 62,685.00
PSA-B - Concrete Edger at VB Court	0%	\$ 10,400.00	-20%	\$ 13,020.80	\$ 3,900.00	\$ 10,400.00	\$ 13,624.00	\$ 11,180.00	\$ 14,578.00	\$ 15,600.00
PSA-C - Cornhole Play Element	47%	\$ 8,224.00	19%	\$ 6,921.62	\$ 1,116.00	\$ 6,484.00	\$ 5,608.12	\$ 6,224.00		\$ 8,692.00
PSA-D - Tree Plantings	28%	\$ 47,100.00	17%	\$ 40,128.79	\$ 6,014.00	\$ 36,736.00	\$ 38,197.95	\$ 45,910.00		\$ 37,050.00
IOG-A - Tree Plantings	25%	\$ 15,750.00	10%	\$ 14,378.20	\$ 3,150.00	\$ 12,600.00	\$ 13,510.98	\$ 16,380.00	\$ 13,344.03	\$ 13,650.00
ESP-AA - All Base Bid	10%	\$ 409,478.00	-3%	\$ 422,696.54	\$ (14,257.00)	\$ 385,830.00	\$ 416,901.55	\$ 363,134.16		\$ 576,044.00
ESP-A - West Parking Lot	37%	\$ 179,145.00	20%	\$ 149,696.56	\$ (306.10)	\$ 131,181.10	\$ 150,252.72	\$ 146,194.00		\$ 189,980.00
ESP-B - Gate at Historic Entrance	40%	\$ 14,400.00	-12%	\$ 16,334.05	\$ 1,700.00	\$ 10,300.00	\$ 11,410.26	\$ 21,960.00		\$ 26,000.00
ESP-C - Stone Seat Wall & Fireplace	-47%	\$ 27,900.00	-71%	\$ 96,303.17	\$ 7,816.00	\$ 52,184.00	\$ 124,609.86	\$ 127,472.00		\$ 117,250.00
ESP-D - Stone Entry Columns	20%	\$ 12,000.00	-52%	\$ 24,881.43	\$ 10,000.00	\$ 10,000.00	\$ 32,933.16	\$ 33,874.00		\$ 27,600.00
Suggested alternate priorities per PAK				\$ 8,113.76	\$ 1,611,679.04	\$ 1,603,565.28	\$ 1,715,611.94			
					\$ 112,817.53					
					\$ 1,724,496.57					
OPTION 2 - Just PSA & IOG Preferred Alternates				\$ 20,976.86	\$ 1,097,231.04	\$ 1,076,254.18	\$ 1,137,047.41			
OPTION 3 - Just PSA, IOG, & ESP Base Bid				\$ 6,719.86	\$ 1,468,804.04	\$ 1,462,084.18	\$ 1,553,948.96			
FUNDING										
Ione Gardens	\$	100,000.00								
PSA 21	\$	1,000,000.00								
ESP Phase III	\$	750,000.00								
Water Fund	\$	225,000.00								
Trail Fund	\$	60,000.00								
	\$	2,135,000.00								
ESP Irrigation	\$	41,663.00								
ESP Well	\$	64,700.00								
Ione Gardens Irrigation	\$	61,500.00								
	\$	167,863.00								
	\$	1,967,137.00								

PSA #21 NEIGHBORHOOD PARK		IOA ESTIMATE		AVERAGE		VADA CONTRACTING		CUSTOM BUILDERS		PCO		SHORELINE LANDSCAPE		BLACKSTONE		PARKSTONE	
ITEM		UNIT COST	TOTAL COST														
GENERAL & EROSION CONTROL																	
Temporary Signage, Fencing, and Security		\$ 4,000.00	\$ 4,000.00	\$ 5,722.83	\$ 5,722.83	\$ 5,000.00	\$ 5,000.00	\$ 2,500.00	\$ 2,500.00	\$ 9,004.00	\$ 9,004.00	\$ 10,000.00	\$ 10,000.00	\$ 1,832.95	\$ 1,832.95	\$ 6,000.00	\$ 6,000.00
Mobilization		\$ 30,000.00	\$ 30,000.00	\$ 74,604.06	\$ 74,604.06	\$ 40,000.00	\$ 40,000.00	\$ 60,000.00	\$ 60,000.00	\$ 99,100.00	\$ 99,100.00	\$ 45,600.00	\$ 45,600.00	\$ 62,924.37	\$ 62,924.37	\$ 140,000.00	\$ 140,000.00
Construction Surveying & Staking		\$ 12,000.00	\$ 12,000.00	\$ 14,628.47	\$ 14,628.47	\$ 10,000.00	\$ 10,000.00	\$ 15,000.00	\$ 15,000.00	\$ 18,243.00	\$ 18,243.00	\$ 5,400.00	\$ 5,400.00	\$ 24,127.80	\$ 24,127.80	\$ 15,000.00	\$ 15,000.00
Sawing Existing Bituminous Pavements		\$ 1,200.00	\$ 1,200.00	\$ 1,188.67	\$ 1,188.67	\$ 1,050.00	\$ 1,050.00	\$ 2,500.00	\$ 2,500.00	\$ 571.00	\$ 571.00	\$ 1,400.00	\$ 1,400.00	\$ 610.99	\$ 610.99	\$ 1,000.00	\$ 1,000.00
Rock Entrance Pad		\$ 1,800.00	\$ 1,800.00	\$ 2,941.46	\$ 2,941.46	\$ 1,750.00	\$ 1,750.00	\$ 2,500.00	\$ 2,500.00	\$ 3,322.00	\$ 3,322.00	\$ 3,500.00	\$ 3,500.00	\$ 2,576.76	\$ 2,576.76	\$ 4,000.00	\$ 4,000.00
Inlet Protection		\$ 800.00	\$ 8,000.00	\$ 216.39	\$ 2,163.85	\$ 200.00	\$ 2,000.00	\$ 440.00	\$ 4,400.00	\$ 166.12	\$ 1,661.20	\$ 210.00	\$ 2,100.00	\$ 32.19	\$ 321.90	\$ 250.00	\$ 2,500.00
Straw Erosion Blanket - MnDOT Cat 20		\$ 4.00	\$ 4,000.00	\$ 2.94	\$ 2,943.33	\$ 5.00	\$ 5,000.00	\$ 2.53	\$ 2,530.00	\$ 2.59	\$ 2,590.00	\$ 2.85	\$ 2,850.00	\$ 2.69	\$ 2,690.00	\$ 2.00	\$ 2,000.00
8" Wood Fiber Log & Removal		\$ 6.00	\$ 5,280.00	\$ 5.30	\$ 4,661.07	\$ 5.00	\$ 4,400.00	\$ 6.00	\$ 5,280.00	\$ 4.60	\$ 4,048.00	\$ 6.80	\$ 5,984.00	\$ 2.38	\$ 2,094.40	\$ 7.00	\$ 6,160.00
CIVIL UTILITIES																	
Soil Media MnDOT Mix C		\$ 125.00	\$ 16,875.00	\$ 81.83	\$ 11,047.05	\$ 80.25	\$ 10,833.75	\$ 73.54	\$ 9,927.90	\$ 80.36	\$ 10,848.60	\$ 64.00	\$ 8,640.00	\$ 47.83	\$ 6,457.05	\$ 145.00	\$ 19,575.00
4" HDPE Draintile Perforated (back of curb)		\$ 25.00	\$ 1,250.00	\$ 32.57	\$ 1,628.42	\$ 40.00	\$ 2,000.00	\$ 33.00	\$ 1,650.00	\$ 35.94	\$ 1,797.00	\$ 22.00	\$ 1,100.00	\$ 19.47	\$ 973.50	\$ 45.00	\$ 2,250.00
Connect (Core Drill) to existing structure 6" PVC		\$ 2,000.00	\$ 8,000.00	\$ 1,239.98	\$ 4,959.90	\$ 915.00	\$ 3,660.00	\$ 1,725.00	\$ 6,900.00	\$ 1,664.96	\$ 6,659.84	\$ 1,100.00	\$ 4,400.00	\$ 534.89	\$ 2,139.56	\$ 1,500.00	\$ 6,000.00
Connect (Core Drill) to existing structure 12" HDPE		\$ 2,000.00	\$ 2,000.00	\$ 1,764.96	\$ 1,764.96	\$ 915.00	\$ 915.00	\$ 1,725.00	\$ 1,725.00	\$ 2,854.00	\$ 2,854.00	\$ 2,600.00	\$ 2,600.00	\$ 995.78	\$ 995.78	\$ 1,500.00	\$ 1,500.00
6" PVC Sch 40 Perforated		\$ 24.00	\$ 3,672.00	\$ 33.24	\$ 5,085.98	\$ 35.00	\$ 5,355.00	\$ 52.00	\$ 7,956.00	\$ 24.32	\$ 3,720.96	\$ 28.00	\$ 4,284.00	\$ 15.13	\$ 2,314.89	\$ 45.00	\$ 6,885.00
6" PVC Sch 40 Non-Perforated		\$ 22.00	\$ 4,510.00	\$ 26.30	\$ 5,391.16	\$ 28.50	\$ 5,842.50	\$ 41.00	\$ 8,405.00	\$ 23.44	\$ 4,805.20	\$ 20.00	\$ 4,100.00	\$ 14.85	\$ 3,044.25	\$ 30.00	\$ 6,150.00
12" HDPE Dual Wall Pipe		\$ 60.00	\$ 2,520.00	\$ 52.70	\$ 2,213.54	\$ 79.50	\$ 3,339.00	\$ 52.00	\$ 2,184.00	\$ 37.38	\$ 1,569.96	\$ 73.00	\$ 3,066.00	\$ 19.34	\$ 812.28	\$ 55.00	\$ 2,310.00
2'x3' Concrete Catch Basin with casting R-3067		\$ 5,000.00	\$ 5,000.00	\$ 4,878.00	\$ 4,878.00	\$ 6,150.00	\$ 6,150.00	\$ 5,290.00	\$ 5,290.00	\$ 3,800.00	\$ 3,800.00	\$ 5,420.00	\$ 5,420.00	\$ 2,607.98	\$ 2,607.98	\$ 6,000.00	\$ 6,000.00
6" PVC Sch 40 45 deg Bend		\$ 250.00	\$ 500.00	\$ 166.57	\$ 333.15	\$ 100.00	\$ 200.00	\$ 220.00	\$ 440.00	\$ 271.61	\$ 543.22	\$ 110.00	\$ 220.00	\$ 97.83	\$ 195.66	\$ 200.00	\$ 400.00
6" PVC Sch 40 30 deg Bend		\$ 250.00	\$ 250.00	\$ 201.14	\$ 201.14	\$ 200.00	\$ 200.00	\$ 250.00	\$ 250.00	\$ 309.00	\$ 309.00	\$ 150.00	\$ 150.00	\$ 97.83	\$ 97.83	\$ 200.00	\$ 200.00
6" PVC Sch 40 15 deg Bend		\$ 250.00	\$ 250.00	\$ 210.14	\$ 210.14	\$ 200.00	\$ 200.00	\$ 275.00	\$ 275.00	\$ 328.00	\$ 328.00	\$ 160.00	\$ 160.00	\$ 97.83	\$ 97.83	\$ 200.00	\$ 200.00
6" PVC Sch 40 Tee		\$ 250.00	\$ 500.00	\$ 253.83	\$ 507.66	\$ 200.00	\$ 400.00	\$ 330.00	\$ 660.00	\$ 375.73	\$ 751.46	\$ 225.00	\$ 450.00	\$ 92.24	\$ 184.48	\$ 300.00	\$ 600.00
10" Dia. ADS Nyloplast (or equal) yard drain with standard inlet grate		\$ 3,500.00	\$ 7,000.00	\$ 2,320.11	\$ 4,640.21	\$ 2,161.00	\$ 4,322.00	\$ 3,300.00	\$ 6,600.00	\$ 1,673.94	\$ 3,347.88	\$ 2,310.00	\$ 4,620.00	\$ 1,475.70	\$ 2,951.40	\$ 3,000.00	\$ 6,000.00
6" PVC Sch 40 Cleanout with fittings and marker		\$ 800.00	\$ 3,200.00	\$ 693.07	\$ 2,772.27	\$ 475.00	\$ 1,900.00	\$ 1,000.00	\$ 4,000.00	\$ 885.58	\$ 3,542.32	\$ 950.00	\$ 3,800.00	\$ 97.83	\$ 391.32	\$ 750.00	\$ 3,000.00
6" PVC Sch 40 connect to perforated draintile		\$ 250.00	\$ 500.00	\$ 228.68	\$ 457.36	\$ 150.00	\$ 300.00	\$ 335.00	\$ 670.00	\$ 244.88	\$ 489.76	\$ 184.00	\$ 368.00	\$ 258.19	\$ 516.38	\$ 200.00	\$ 400.00
EARTHWORK																	
Common Excavation		\$ 12.00	\$ 19,200.00	\$ 19.59	\$ 31,336.00	\$ 8.61	\$ 13,776.00	\$ 7.26	\$ 11,616.00	\$ 36.28	\$ 58,048.00	\$ 25.00	\$ 40,000.00	\$ 15.36	\$ 24,576.00	\$ 25.00	\$ 40,000.00
Fine Grading		\$ 5,000.00	\$ 30,000.00	\$ 2,636.96	\$ 15,821.76	\$ 1,050.00	\$ 6,300.00	\$ 1,653.00	\$ 9,918.00	\$ 3,470.33	\$ 20,821.98	\$ 3,200.00	\$ 19,200.00	\$ 448.43	\$ 2,690.58	\$ 6,000.00	\$ 36,000.00
Subcut for Parking Lot - 21" (waste excavated material on-site)		\$ 18.00	\$ 9,900.00	\$ 14.46	\$ 7,953.00	\$ 9.60	\$ 5,280.00	\$ 7.26	\$ 3,993.00	\$ 7.54	\$ 4,147.00	\$ 22.00	\$ 12,100.00	\$ 15.36	\$ 8,448.00	\$ 25.00	\$ 13,750.00
Subcut for Trails - 10" (waste excavated material on-site)		\$ 18.00	\$ 9,720.00	\$ 15.51	\$ 8,375.40	\$ 15.90	\$ 8,586.00	\$ 7.26	\$ 3,920.40	\$ 7.54	\$ 4,071.60	\$ 22.00	\$ 11,880.00	\$ 15.36	\$ 8,294.40	\$ 25.00	\$ 13,500.00
Subcut for Pickleball Court - 27" (waste excavated material on-site)		\$ 18.00	\$ 6,156.00	\$ 14.92	\$ 5,103.78	\$ 12.37	\$ 4,230.54	\$ 7.26	\$ 2,482.92	\$ 7.55	\$ 2,582.10	\$ 22.00	\$ 7,524.00	\$ 15.36	\$ 5,253.12	\$ 25.00	\$ 8,550.00
Subcut for Basketball Court - 27" (waste excavated material on-site)		\$ 18.00	\$ 6,660.00	\$ 14.92	\$ 5,521.02	\$ 12.37	\$ 4,576.90	\$ 7.26	\$ 2,686.20	\$ 7.54	\$ 2,789.80	\$ 22.00	\$ 8,140.00	\$ 15.36	\$ 5,683.20	\$ 25.00	\$ 9,250.00
Subcut for Volleyball Court - 12" (waste excavated material on-site)		\$ 18.00	\$ 2,700.00	\$ 15.03	\$ 2,255.00	\$ 13.04	\$ 1,956.00	\$ 7.26	\$ 1,089.00	\$ 7.54	\$ 1,131.00	\$ 22.00	\$ 3,300.00	\$ 15.36	\$ 2,304.00	\$ 25.00	\$ 3,750.00
Subcut for Concrete Surfaces - 10" (waste excavated material on-site)		\$ 18.00	\$ 2,700.00	\$ 15.40	\$ 2,310.25	\$ 15.25	\$ 2,287.50	\$ 7.26	\$ 1,089.00	\$ 7.54	\$ 1,131.00	\$ 22.00	\$ 3,300.00	\$ 15.36	\$ 2,304.00	\$ 25.00	\$ 3,750.00
Subcut for Play Area - 18" (waste excavated material on-site)		\$ 18.00	\$ 4,410.00	\$ 14.42	\$ 3,531.68	\$ 9.33	\$ 2,285.85	\$ 7.26	\$ 1,778.70	\$ 7.54	\$ 1,847.30	\$ 22.00	\$ 5,390.00	\$ 15.36	\$ 3,763.20	\$ 25.00	\$ 6,125.00
NORTH PARKING																	
Removals at Street Connection		\$ 2,500.00	\$ 2,500.00	\$ 2,932.64	\$ 2,932.64	\$ 1,050.00	\$ 1,050.00	\$ 5,500.00	\$ 5,500.00	\$ 1,469.00	\$ 1,469.00	\$ 5,430.00	\$ 5,430.00	\$ 1,646.82	\$ 1,646.82	\$ 2,500.00	\$ 2,500.00
Raise Existing Manhole		\$ 2,000.00	\$ 2,000.00	\$ 2,005.26	\$ 2,005.26	\$ 1,900.00	\$ 1,900.00	\$ 1,380.00	\$ 1,380.00	\$ 492.00	\$ 492.00	\$ 4,120.00	\$ 4,120.00	\$ 2,139.57	\$ 2,139.57	\$ 2,000.00	\$ 2,000.00
Select Backfill Sub-Base - 12" Depth		\$ 120.00	\$ 37,920.00	\$ 42.74	\$ 13,504.79	\$ 37.25	\$ 11,771.00	\$ 29.00	\$ 9,164.00	\$ 27.18	\$ 8,588.88	\$ 45.00	\$ 14,220.00	\$ 37.99	\$ 12,004.84	\$ 80.00	\$ 25,280.00
Class Five Base - 6" Depth		\$ 80.00	\$ 12,640.00	\$ 60.72	\$ 9,594.29	\$ 74.00	\$ 11,692.00	\$ 41.00	\$ 6,478.00	\$ 61.17	\$ 9,664.88	\$ 42.00	\$ 6,636.00	\$ 61.17	\$ 9,664.86	\$ 85.00	\$ 13,430.00
3" Asphalt Paving in Two Lifts		\$ 175.00	\$ 22,750.00	\$ 131.62	\$ 17,109.95	\$ 120.00	\$ 15,600.00	\$ 154.00	\$ 20,020.00	\$ 119.49	\$ 15,533.70	\$ 123.00	\$ 15,990.00	\$ 133.20	\$ 17,316.00	\$ 140.00	\$ 18,200.00
B612 Concrete Curb		\$ 40.00	\$ 15,200.00	\$ 42.05	\$ 15,979.00	\$ 35.00	\$ 13,300.00	\$ 40.00	\$ 15,200.00	\$ 32.54	\$ 12,365.20	\$ 35.00	\$ 13,300.00	\$ 74.76	\$ 28,408.80	\$ 35.00	\$ 13,300.00
5" Thick Concrete Paving with Base - Pedestrian Connection		\$ 18.00	\$ 3,600.00	\$ 13.16	\$ 2,632.67	\$ 12.50	\$ 2,500.00	\$ 11.00	\$ 2,200.00	\$ 12.64	\$ 2,528.00	\$ 16.00	\$ 3,200.00	\$ 11.84	\$ 2,368.00	\$ 15.00	\$ 3,000.00
ADA Signage		\$ 600.00	\$ 1,200.00	\$ 471.46	\$ 942.92	\$ 300.00	\$ 600.00	\$ 500.00	\$ 1,000.00	\$ 415.60	\$ 831.20	\$ 300.00	\$ 600.00	\$ 713.17	\$ 1,426.34	\$ 600.00	\$ 1,200.00
Parking Lot Striping		\$ 2,000.00	\$ 2,000.00	\$ 2,375.49	\$ 2,375.49	\$ 1,500.00	\$ 1,500.00	\$ 800.00	\$ 800.00	\$ 730.00	\$ 730.00	\$ 8,390.00	\$ 8,390.00	\$ 1,832.95	\$ 1,832.95	\$ 1,000.00	\$ 1,000.00
SAND VOLLEYBALL																	
Washed Sand - 12" Depth		\$ 80.00	\$ 11,840.00	\$ 59.98	\$ 8,876.55	\$ 49.00	\$ 7,252.00	\$ 65.00	\$ 9,620.00	\$ 37.50	\$ 5,550.00	\$ 35.12	\$ 5,197.76	\$ 83.24	\$ 12,319.52	\$ 90.00	\$ 13,320.00
Geotextile Fabric		\$ 6.00	\$ 2,664.00	\$ 3.63	\$ 1,613.20	\$ 2.50	\$ 1,110.00	\$ 5.00	\$ 2,220.00	\$ 2.03	\$ 901.32	\$ 3.00	\$ 1,332.00	\$ 7.27	\$ 3,227.88	\$ 2.00	\$ 888.00
Posts and Net Assembly		\$ 6,000.00	\$ 6,000.00	\$ 4,519.99	\$ 4,519.99	\$ 4,000.00	\$ 4,000.00	\$ 6,150.00	\$ 6,150.00	\$ 5,307.00	\$ 5,307.00	\$ 4,830.00	\$ 4,830.00	\$ 1,832.95	\$ 1,832.95	\$ 5,000.00	\$ 5,000.00
4" Perforated Drain Tile at Perimeter with Backfill & Fabric		\$ 22.00	\$ 3,960.00	\$ 24.02	\$ 4,323.90	\$ 17.00	\$ 3,060.00	\$ 31.00	\$ 5,580.00	\$ 18.99	\$ 3,418.20	\$ 21.00	\$ 3,780.00	\$ 11.14	\$ 2,005.20	\$ 45.00	\$ 8,100.00
4" Solid Drain Tile to Daylight with Backfill		\$ 24.00	\$ 1,440.00	\$ 19.10	\$ 1,145.70	\$ 20.50	\$ 1,230.00	\$ 18.00	\$ 1,080.00	\$ 20.93	\$ 1,255.80	\$ 14.00	\$ 840.00	\$ 11.14	\$ 668.40	\$ 30.00	\$ 1,800.00
PLAYGROUND AND SEATING AREA																	
Park Shelter - 18' x 18'		\$ 50,000.00	\$ 50,000.00	\$ 49,317.51	\$ 49,317.51	\$ 43,450.00	\$ 43,450.00	\$ 45,000.00	\$ 45,000.00	\$ 51,631.00	\$ 51,631.00	\$ 54,000.00	\$ 54,000.00	\$ 46,824.05	\$ 46,824.05	\$ 55,000.00	\$ 55,000.00
Paving Type B - Colored & Stamped 5" Concrete with Base		\$ 30.00	\$ 54,300.00	\$ 22.16	\$ 40,112.62	\$ 19.50	\$ 35,295.00	\$ 20.00	\$ 36,200.00	\$ 18.56	\$ 33,593.60	\$ 24.50	\$ 44,345.00	\$ 27.41	\$ 49,612.10	\$ 23.00	\$ 41,630.00
Play Area Concrete Sidewalk with Thickened Edge Curb		\$ 22.00	\$ 44,264.00	\$ 15.80	\$ 31,779.54	\$ 14.50	\$ 29,174.00	\$ 15.00	\$ 30,180.00	\$ 15.00	\$ 30,180.00	\$ 14.20	\$ 28,570.40	\$ 18.07	\$ 36,356.84	\$ 18.00	\$ 36,216.00
Table with Attached Seating		\$ 2,800.00	\$ 8,400.00	\$ 3,274.05	\$ 9,822.14	\$ 2,375.00	\$ 7,125.00	\$ 3,000.00	\$ 9,000.0								

FULL BASKETBALL COURT with FOUR GOALS																																
Geotextile Fabric	\$	6.00	\$	2,940.00	\$	3.23	\$	1,582.70	\$	1.50	\$	735.00	\$	4.25	\$	2,082.50	\$	1.84	\$	901.60	\$	3.00	\$	1,470.00	\$	6.79	\$	3,327.10	\$	2.00	\$	980.00
15" Compacted 1.5" Granite Base	\$	120.00	\$	24,600.00	\$	112.31	\$	23,023.21	\$	113.00	\$	23,165.00	\$	60.00	\$	12,300.00	\$	105.65	\$	21,658.25	\$	113.00	\$	23,165.00	\$	122.20	\$	25,051.00	\$	160.00	\$	32,800.00
8" Compacted Class Five Base	\$	80.00	\$	8,800.00	\$	56.40	\$	6,204.37	\$	48.00	\$	5,280.00	\$	41.00	\$	4,510.00	\$	66.10	\$	7,271.00	\$	45.00	\$	4,950.00	\$	53.32	\$	5,865.20	\$	85.00	\$	9,350.00
3" Bituminous Court Paving including Base	\$	40.00	\$	17,760.00	\$	51.16	\$	22,716.52	\$	31.00	\$	13,764.00	\$	41.00	\$	18,204.00	\$	29.61	\$	13,146.84	\$	93.00	\$	41,292.00	\$	72.37	\$	32,132.28	\$	40.00	\$	17,760.00
Concrete Court Edger	\$	30.00	\$	7,920.00	\$	34.15	\$	9,014.72	\$	30.75	\$	8,118.00	\$	40.00	\$	10,560.00	\$	25.06	\$	6,615.84	\$	28.00	\$	7,392.00	\$	56.07	\$	14,802.48	\$	25.00	\$	6,600.00
4" Perforated Drain Tile at Perimeter with Backfill & Fabric	\$	22.00	\$	5,720.00	\$	25.17	\$	6,545.07	\$	26.00	\$	6,760.00	\$	31.00	\$	8,060.00	\$	17.90	\$	4,654.00	\$	20.00	\$	5,200.00	\$	11.14	\$	2,896.40	\$	45.00	\$	11,700.00
4" Solid Drain Tile to Daylight with Backfill	\$	24.00	\$	1,440.00	\$	19.10	\$	1,145.70	\$	20.50	\$	1,230.00	\$	18.00	\$	1,080.00	\$	20.93	\$	1,255.80	\$	14.00	\$	840.00	\$	11.14	\$	668.40	\$	30.00	\$	1,800.00
Basketball Post Assembly with Concrete Footing	\$	6,000.00	\$	24,000.00	\$	5,252.57	\$	21,010.29	\$	5,228.00	\$	20,912.00	\$	4,500.00	\$	18,000.00	\$	5,141.52	\$	20,566.08	\$	6,480.00	\$	25,920.00	\$	3,665.91	\$	14,663.64	\$	6,500.00	\$	26,000.00
Colorcoat / Striping	\$	9,000.00	\$	9,000.00	\$	9,521.53	\$	9,521.53	\$	9,928.00	\$	9,928.00	\$	9,775.00	\$	9,775.00	\$	8,988.00	\$	8,988.00	\$	9,640.00	\$	9,640.00	\$	8,798.18	\$	8,798.18	\$	10,000.00	\$	10,000.00
Bench	\$	2,200.00	\$	2,200.00	\$	2,460.72	\$	2,460.72	\$	2,120.00	\$	2,120.00	\$	2,388.00	\$	2,388.00	\$	2,509.00	\$	2,509.00	\$	2,400.00	\$	2,400.00	\$	2,547.32	\$	2,547.32	\$	2,800.00	\$	2,800.00
BITUMINOUS TRAILS																																
Bituminous Trail Surfacing - 8' Width with Base	\$	44.00	\$	71,280.00	\$	31.82	\$	51,540.30	\$	29.25	\$	47,385.00	\$	30.00	\$	48,600.00	\$	34.97	\$	56,651.40	\$	26.31	\$	42,622.20	\$	25.36	\$	41,083.20	\$	45.00	\$	72,900.00
IRRIGATION																																
Furnish and Install Complete Irrigation System	\$	140,000.00	\$	140,000.00	\$	224,407.49	\$	224,407.49	\$	245,000.00	\$	245,000.00	\$	225,000.00	\$	225,000.00	\$	177,715.00	\$	177,715.00	\$	220,000.00	\$	220,000.00	\$	238,729.92	\$	238,729.92	\$	240,000.00	\$	240,000.00
LANDSCAPING																																
Turf Hydro-Seeding	\$	2.25	\$	56,760.75	\$	2.42	\$	61,049.34	\$	2.00	\$	50,454.00	\$	3.00	\$	75,681.00	\$	2.34	\$	59,031.18	\$	1.50	\$	37,840.50	\$	3.18	\$	80,221.86	\$	2.50	\$	63,067.50
Bluegrass Sod	\$	8.00	\$	9,600.00	\$	8.46	\$	10,150.00	\$	13.00	\$	15,600.00	\$	5.50	\$	6,600.00	\$	10.70	\$	12,840.00	\$	5.75	\$	6,900.00	\$	5.80	\$	6,960.00	\$	10.00	\$	12,000.00
Coniferous Shrubs with Mulch	\$	100.00	\$	1,700.00	\$	126.96	\$	2,158.35	\$	200.00	\$	3,400.00	\$	38.50	\$	654.50	\$	172.50	\$	2,932.50	\$	108.00	\$	1,836.00	\$	42.77	\$	727.09	\$	200.00	\$	3,400.00
Ornamental Grasses with Mulch	\$	45.00	\$	1,035.00	\$	59.61	\$	1,371.03	\$	95.00	\$	2,185.00	\$	41.00	\$	943.00	\$	80.89	\$	1,860.47	\$	28.00	\$	644.00	\$	42.77	\$	983.71	\$	70.00	\$	1,610.00
Landscape Edger	\$	18.00	\$	2,232.00	\$	11.11	\$	1,378.05	\$	15.00	\$	1,860.00	\$	9.00	\$	1,116.00	\$	5.90	\$	731.60	\$	12.00	\$	1,488.00	\$	9.78	\$	1,212.72	\$	15.00	\$	1,860.00
PSA #21 BASE BID - PROJECT SUBTOTAL	SUBTOTAL		\$	1,003,298.75			\$	1,042,560.84			\$	926,821.04			\$	962,159.18			\$	985,306.02			\$	1,031,008.02			\$	1,067,439.27			\$	1,282,631.50
IONE GARDENS NEIGHBORHOOD PARK																																
ITEM		UNIT COST		TOTAL COST																												
GENERAL																																
Mobilization	\$	2,500.00	\$	2,500.00	\$	4,443.43	\$	4,443.43	\$	2,000.00	\$	2,000.00	\$	5,500.00	\$	5,500.00	\$	9,794.00	\$	9,794.00	\$	2,500.00	\$	2,500.00	\$	366.59	\$	366.59	\$	6,500.00	\$	6,500.00
PATIO SEATING AREA																																
Excavation for Paved Areas (remove material from site)	\$	40.00	\$	240.00	\$	104.61	\$	627.67	\$	100.00	\$	600.00	\$	60.00	\$	360.00	\$	218.57	\$	1,311.42	\$	38.00	\$	228.00	\$	61.10	\$	366.60	\$	150.00	\$	900.00
Stepping Stone Paving with Base	\$	60.00	\$	13,200.00	\$	63.04	\$	13,868.07	\$	45.00	\$	9,900.00	\$	100.00	\$	22,000.00	\$	24.35	\$	5,357.00	\$	35.00	\$	7,700.00	\$	103.87	\$	22,851.40	\$	70.00	\$	15,400.00
Boulder Accent Wall	\$	3,500.00	\$	3,500.00	\$	3,347.50	\$	3,347.50	\$	2,500.00	\$	2,500.00	\$	1,300.00	\$	1,300.00	\$	3,423.00	\$	3,423.00	\$	8,640.00	\$	8,640.00	\$	1,221.97	\$	1,221.97	\$	3,000.00	\$	3,000.00
Limestone Block Benches	\$	2,000.00	\$	4,000.00	\$	1,370.49	\$	2,740.98	\$	2,000.00	\$	4,000.00	\$	400.00	\$	800.00	\$	2,325.25	\$	4,650.50	\$	870.00	\$	1,740.00	\$	427.69	\$	855.38	\$	2,200.00	\$	4,400.00
LANDSCAPING																																
Fine Grading	\$	20.00	\$	400.00	\$	20.10	\$	402.00	\$	25.00	\$	500.00	\$	2.00	\$	40.00	\$	12.38	\$	247.60	\$	20.00	\$	400.00	\$	1.22	\$	24.40	\$	60.00	\$	1,200.00
Bluegrass Sod	\$	10.00	\$	150.00	\$	179.79	\$	2,696.83	\$	20.00	\$	300.00	\$	6.00	\$	90.00	\$	141.93	\$	2,128.95	\$	875.00	\$	13,125.00	\$	5.80	\$	87.00	\$	30.00	\$	450.00
Loam Planting Soil	\$	60.00	\$	300.00	\$	122.41	\$	612.07	\$	100.00	\$	500.00	\$	100.00	\$	500.00	\$	155.94	\$	779.70	\$	68.00	\$	340.00	\$	85.54	\$	427.70	\$	225.00	\$	1,125.00
Ornamental Trees - 1-1/2" cal	\$	800.00	\$	800.00	\$	966.21	\$	966.21	\$	1,250.00	\$	1,250.00	\$	483.00	\$	483.00	\$	1,551.00	\$	1,551.00	\$	800.00	\$	800.00	\$	513.23	\$	513.23	\$	1,200.00	\$	1,200.00
Deciduous Shrubs with Mulch	\$	100.00	\$	300.00	\$	166.26	\$	498.77	\$	250.00	\$	750.00	\$	110.00	\$	330.00	\$	256.44	\$	769.32	\$	65.00	\$	195.00	\$	116.09	\$	348.27	\$	200.00	\$	600.00
Ornamental Grasses with Mulch	\$	60.00	\$	660.00	\$	60.37	\$	664.09	\$	125.00	\$	1,375.00	\$	41.00	\$	451.00	\$	70.46	\$	775.06	\$	28.00	\$	308.00	\$	42.77	\$	470.47	\$	55.00	\$	605.00
Landscape Edger	\$	20.00	\$	500.00	\$	17.38	\$	434.46	\$	50.00	\$	1,250.00	\$	10.00	\$	250.00	\$	7.49	\$	187.25	\$	12.00	\$	300.00	\$	9.78	\$	244.50	\$	15.00	\$	375.00
IOG BASE BID - PROJECT SUBTOTAL	SUBTOTAL		\$	26,550.00			\$	31,302.05			\$	24,925.00			\$	32,104.00			\$	30,974.80			\$	36,276.00			\$	27,777.51			\$	35,755.00
2025 PIP BASE BID TOTAL	TOTAL		\$	1,029,848.75			\$	1,073,862.89			\$	951,746.04			\$	994,263.18			\$	1,016,280.82			\$	1,067,284.02			\$	1,095,216.78			\$	1,318,386.50
PROJECT ALTERNATES																																
PSA #21 PARK ALTERNATES																																
ALTERNATE PSA-A RETAINING WALLS & LANDSCAPING	Subtotal		\$	56,160.00			\$	45,146.89			\$	72,685.00			\$	22,255.50	<															

IONE GARDENS NEIGHBORHOOD PARK ALTERNATES																																
ALTERNATE IOG-A CONIFEROUS TREE PLANTINGS	Subtotal	\$	15,750.00	\$	14,205.84	\$	15,750.00	\$	12,600.00	\$	13,510.98	\$	16,380.00	\$	13,344.03	\$	13,650.00															
Coniferous Trees - 6' ht with Mulch	\$	750.00	15,750.00	\$	676.47	\$	14,205.84	\$	750.00	\$	12,600.00	\$	643.38	\$	13,510.98	\$	780.00	16,380.00	\$	635.43	\$	13,344.03	\$	650.00	\$	13,650.00						
ELSIE STEPHENS PARK ALTERNATES																																
ALTERNATE ESP-AA OVERALL PARK CONSTRUCTION	Subtotal	\$	409,478.00	\$	403,348.16	\$	371,573.00	\$	385,830.00	\$	416,901.55	\$	363,134.16	\$	306,606.26	\$	576,044.00															
GENERAL COSTS & EROSION CONTROL																																
Temporary Signage, Fencing, and Security	\$	2,000.00	\$	2,000.00	\$	5,308.16	\$	5,308.16	\$	5,000.00	\$	5,000.00	\$	5,016.00	\$	5,016.00	\$	10,000.00	\$	10,000.00	\$	1,832.95	\$	1,832.95	\$	5,000.00	\$	5,000.00				
Mobilization	\$	50,000.00	\$	50,000.00	\$	51,226.02	\$	51,226.02	\$	40,000.00	\$	40,000.00	\$	35,000.00	\$	35,000.00	\$	65,825.00	\$	65,825.00	\$	15,800.00	\$	15,800.00	\$	15,731.09	\$	15,731.09	\$	135,000.00	\$	135,000.00
Construction Surveying & Staking	\$	8,000.00	\$	8,000.00	\$	12,003.71	\$	12,003.71	\$	10,000.00	\$	10,000.00	\$	12,322.00	\$	12,322.00	\$	7,000.00	\$	7,000.00	\$	17,700.24	\$	17,700.24	\$	15,000.00	\$	15,000.00				
Tree Clearing and Removals	\$	6,000.00	\$	6,000.00	\$	8,652.43	\$	8,652.43	\$	7,500.00	\$	7,500.00	\$	17,000.00	\$	17,000.00	\$	3,490.00	\$	3,490.00	\$	10,000.00	\$	10,000.00	\$	1,924.60	\$	1,924.60	\$	12,000.00	\$	12,000.00
Rock Construction Entrance Pad	\$	2,200.00	\$	2,200.00	\$	2,696.63	\$	2,696.63	\$	1,750.00	\$	1,750.00	\$	2,530.00	\$	2,530.00	\$	3,323.00	\$	3,323.00	\$	2,000.00	\$	2,000.00	\$	2,576.76	\$	2,576.76	\$	4,000.00	\$	4,000.00
Inlet Protection	\$	150.00	\$	150.00	\$	224.70	\$	224.70	\$	250.00	\$	250.00	\$	440.00	\$	440.00	\$	166.00	\$	166.00	\$	210.00	\$	210.00	\$	32.19	\$	32.19	\$	250.00	\$	250.00
Straw Erosion Blanket - MnDOT Cat 20	\$	4.00	\$	2,440.00	\$	3.81	\$	2,323.08	\$	5.00	\$	3,050.00	\$	2.60	\$	1,586.00	\$	4.27	\$	2,604.70	\$	4.00	\$	2,440.00	\$	4.98	\$	3,037.80	\$	2.00	\$	1,220.00
Silt Fence & Removal	\$	6.00	\$	1,140.00	\$	6.03	\$	1,145.07	\$	5.00	\$	950.00	\$	6.50	\$	1,235.00	\$	4.98	\$	946.20	\$	8.00	\$	1,520.00	\$	1.68	\$	319.20	\$	10.00	\$	1,900.00
8" Wood Fiber Log & Removal	\$	6.00	\$	3,192.00	\$	5.58	\$	2,965.90	\$	5.00	\$	2,660.00	\$	6.00	\$	3,192.00	\$	5.07	\$	2,697.24	\$	8.00	\$	4,256.00	\$	2.38	\$	1,266.16	\$	7.00	\$	3,724.00
EAST PARKING AREA																																
Subcut for Parking Area (waste excavated material on-site) - 21" Depth	\$	18.00	\$	4,860.00	\$	21.17	\$	5,716.35	\$	10.00	\$	2,700.00	\$	8.00	\$	2,160.00	\$	50.21	\$	13,556.70	\$	22.00	\$	5,940.00	\$	11.82	\$	3,191.40	\$	25.00	\$	6,750.00
Sawing Bituminous Pavement	\$	6.00	\$	552.00	\$	6.71	\$	617.32	\$	5.00	\$	460.00	\$	10.00	\$	920.00	\$	6.21	\$	571.32	\$	6.00	\$	520.00	\$	3.05	\$	280.60	\$	10.00	\$	920.00
12" HDPE Dual Wall Storm Pipe	\$	60.00	\$	4,980.00	\$	46.27	\$	3,840.27	\$	75.00	\$	6,225.00	\$	52.00	\$	4,316.00	\$	32.67	\$	2,711.61	\$	46.00	\$	3,818.00	\$	16.94	\$	1,406.02	\$	55.00	\$	4,565.00
15" HDPE Dual Wall Storm Pipe	\$	75.00	\$	6,300.00	\$	56.40	\$	4,737.88	\$	95.00	\$	7,980.00	\$	57.50	\$	4,830.00	\$	40.14	\$	3,371.76	\$	63.00	\$	5,292.00	\$	22.78	\$	1,913.52	\$	60.00	\$	5,040.00
48" Dia. Concrete Catch basin Manhole with casting R-1733	\$	3,000.00	\$	3,000.00	\$	7,929.51	\$	7,929.51	\$	7,500.00	\$	7,500.00	\$	7,130.00	\$	7,130.00	\$	7,337.00	\$	7,337.00	\$	9,730.00	\$	9,730.00	\$	4,880.06	\$	4,880.06	\$	11,000.00	\$	11,000.00
12" CMP Flared End Section	\$	1,200.00	\$	1,200.00	\$	856.63	\$	856.63	\$	750.00	\$	750.00	\$	575.00	\$	575.00	\$	732.00	\$	732.00	\$	1,200.00	\$	1,200.00	\$	1,032.77	\$	1,032.77	\$	850.00	\$	850.00
15" CMP Flared End Section	\$	1,500.00	\$	1,500.00	\$	966.76	\$	966.76	\$	1,000.00	\$	1,000.00	\$	690.00	\$	690.00	\$	820.00	\$	820.00	\$	1,500.00	\$	1,500.00	\$	790.55	\$	790.55	\$	1,000.00	\$	1,000.00
Rip-Rap Class 2 with fabric	\$	100.00	\$	600.00	\$	237.94	\$	1,427.65	\$	300.00	\$	1,800.00	\$	173.00	\$	1,038.00	\$	150.19	\$	901.14	\$	125.00	\$	750.00	\$	329.46	\$	1,976.76	\$	350.00	\$	2,100.00
Select Backfill Sub-Base - 12" Depth	\$	120.00	\$	18,720.00	\$	41.33	\$	6,446.70	\$	40.00	\$	6,240.00	\$	29.00	\$	4,524.00	\$	30.54	\$	4,764.24	\$	28.00	\$	4,368.00	\$	40.41	\$	6,303.96	\$	80.00	\$	12,480.00
Class Five Base - 6" Depth	\$	80.00	\$	6,320.00	\$	58.69	\$	4,636.64	\$	48.00	\$	3,792.00	\$	41.00	\$	3,239.00	\$	72.53	\$	5,729.87	\$	42.00	\$	3,318.00	\$	63.62	\$	5,025.98	\$	85.00	\$	6,715.00
3" Asphalt Paving in Two Lifts	\$	175.00	\$	13,650.00	\$	153.04	\$	11,937.12	\$	147.00	\$	11,466.00	\$	182.00	\$	14,196.00	\$	148.04	\$	11,547.12	\$	123.00	\$	9,594.00	\$	133.20	\$	10,389.60	\$	185.00	\$	14,430.00
Concrete Curb Stops	\$	600.00	\$	3,000.00	\$	394.74	\$	1,973.70	\$	200.00	\$	1,000.00	\$	150.00	\$	750.00	\$	199.35	\$	469.09	\$	600.00	\$	3,000.00	\$	968.64	\$	2,345.45	\$	750.00	\$	3,750.00
ADA Signage	\$	600.00	\$	1,200.00	\$	538.13	\$	1,076.26	\$	400.00	\$	800.00	\$	800.00	\$	1,600.00	\$	415.60	\$	831.20	\$	300.00	\$	600.00	\$	713.17	\$	1,426.34	\$	600.00	\$	1,200.00
Parking Lot Striping	\$	800.00	\$	800.00	\$	2,106.49	\$	2,106.49	\$	1,750.00	\$	1,750.00	\$	750.00	\$	750.00	\$	476.00	\$	476.00	\$	6,830.00	\$	6,830.00	\$	1,832.95	\$	1,832.95	\$	1,000.00	\$	1,000.00
PICNIC SHELTER & PATIO SPACE																																
Subcut for Concrete Paving (waste excavated material on-site) - 12" Depth	\$	18.00	\$	3,240.00	\$	14.74	\$	2,653.80	\$	15.25	\$	2,745.00	\$	8.00	\$	1,440.00	\$	11.62	\$	2,091.60	\$	22.00	\$	3,960.00	\$	6.59	\$	1,186.20	\$	25.00	\$	4,500.00
Subcut for Trail Paving (waste excavated material on-site) - 10" Depth	\$	18.00	\$	1,260.00	\$	15.47	\$	1,082.78	\$	20.00	\$	1,400.00	\$	8.00	\$	560.00	\$	11.22	\$	785.40	\$	22.00	\$	1,540.00	\$	6.59	\$	461.30	\$	25.00	\$	1,750.00
Shelter - 24x36' Prefabricated Shelter	\$	110,000.00	\$	110,000.00	\$	115,867.49	\$	115,867.49	\$	100,000.00	\$	100,000.00	\$	125,000.00	\$	125,000.00	\$	106,494.00	\$	106,494.00	\$	118,700.00	\$	118,700.00	\$	105,010.95	\$	105,010.95	\$	140,000.00	\$	140,000.00
5" Thick Concrete Paving with Base	\$	18.00	\$	81,180.00	\$	12.40	\$	55,901.45	\$	14.00	\$	63,140.00	\$	12.00	\$	54,120.00	\$	9.53	\$	42,980.30	\$	12.00	\$	54,120.00	\$	11.84	\$	53,398.40	\$	15.00	\$	67,650.00
Concrete Steps - Two Sets of Four Risers at 8' Long with Base	\$	200.00	\$	12,800.00	\$	223.57	\$	14,308.16	\$	250.00	\$	16,000.00	\$	200.00	\$	12,800.00	\$	225.63	\$	14,440.32	\$	210.00	\$	13,440.00	\$	155.76	\$	9,968.64	\$	300.00	\$	19,200.00
Stainless Steel Guardrail	\$	150.00	\$	9,600.00	\$	194.92	\$	12,474.56	\$	150.00	\$	9,600.00	\$	210.00	\$	13,440.00	\$	309.83	\$	19,829.12	\$	88.00	\$	5,632.00	\$	36.66	\$	2,346.24	\$	375.00	\$	24,000.00
Bituminous Trail Surfacing - 8' Width with Base	\$	44.00	\$	10,384.00	\$	43.76	\$	10,327.36	\$	40.00	\$	9,440.00	\$	54.00	\$	12,744.00	\$	50.24	\$	11,856.64	\$	26.31	\$	6,209.16	\$	32.01	\$	7,554.36	\$	60.00	\$	14,160.00
Concrete Pad for PortaPotty	\$	20.00	\$	900.00	\$	17.83	\$	802.50	\$	20.00	\$	900.00	\$	25.00	\$	1,125.00	\$	19.16	\$	862.20	\$	16.00	\$	720.00	\$	11.84	\$	532.80	\$	15.00	\$	675.00
Seed Prep and Turf Hydro-Seeding	\$	3.00	\$	1,350.00	\$	5.28	\$	2,376.00	\$	3.00	\$	1,350.00	\$	2.00	\$	900.00	\$	18.20	\$	8,190.00	\$	3.15	\$	1,417.50	\$	1.83	\$	823.50	\$	3.50	\$	1,575.00
Straw Erosion Blanket (Around Basin Edges)	\$	4.00	\$	600.00	\$	3.67	\$	550.00	\$	5.00	\$	750.00	\$	3.00	\$	450.00	\$	4.37	\$	655.50	\$	2.65	\$	397.50	\$	4.98	\$	747.00	\$	2.00	\$	300.00
Trash Receptacles	\$	1,200.00	\$	2,400.00	\$	3,380.78	\$	6,761.57	\$	3,225.00	\$	6,450.00	\$	3,585.00	\$	7,170.00	\$	3,309.70	\$	6,619.40	\$	3,800.00	\$	7,600.00	\$	2,465.00	\$	4,930.00	\$	3,900.00	\$	7,800.00
48" Tables and Seats	\$	2,500.00	\$	5,000.00	\$	3,141.15	\$	6,282.29	\$	2,375.00	\$	4,750.00	\$	3,000.00	\$	6,000.00	\$	2,951.70	\$	5,903.40	\$	3,210.00	\$	6,420.00	\$	4,210.18	\$	8,420.36	\$	3,100.00	\$	6,200.00
Movable 6' Picnic Tables	\$	2,500.00	\$	10,000.00	\$	3,062.32	\$	12,249.27	\$	3,000.00	\$	12,000.00	\$	3,000.00	\$	12,000.00	\$	2,705.66	\$	10,822.64	\$	3,840.00	\$	15,360.00	\$	2,228.25	\$	8,913.00	\$	3,600.00	\$	14,400.00
Fire Rings with Aggregate Surfacing	\$	2,000.00	\$	4,000.00	\$	2,297.79	\$	4,595.57	\$	2,000.00	\$	4,000.00	\$	750.00	\$	1,500.00	\$	2,495.69	\$	4,991.38	\$	2,200.00	\$	4,400.00	\$	2,341.03	\$	4,682.06	\$	4,000.00	\$	8,000.00
Charcoal Grill	\$	1,200.00	\$	1,200.00	\$	1,344.16	\$	1,344.16	\$	1,075.00	\$	1,075.00	\$	1,500.00	\$	1,500.00	\$	1,511.00	\$	1,511.00	\$	1,500.00	\$	1,500.00	\$	1,178.94	\$	1,178.94	\$	1,300.00	\$	1,300.00
LANDSCAPING																																
Seed Prep and Turf Hydro-Seeding	\$	3.50	\$	5,040.00	\$	3.93	\$	5,652.00	\$	2.50	\$	3,600.00	\$	2.00	\$	2,880.00	\$	11.18	\$	1												



EXISTING CONDITIONS:
The existing topography shown is from a variety of of sources and has NOT been verified by a recent existing conditions survey. Minor adjustments to the existing topography may be encountered. The Contractor should field verify that grades are within normal tolerances after staking the proposed improvements. Any field adjustments must be brought the City's attention for review and consideration prior to making a field change.

EXISTING FEATURES:
Any existing features not scheduled for demolition shall be protected from damage.

CURBING REMOVAL:
A small amounts of curbing must be removed to make the connections to the existing street surface. Limit removal to only the length necessary to make necessary curb transitions. Patch pavement as needed to provide a finished road surface.

EXISTING TREES:
This site is devoid of existing vegetation. No tree removal is expected.

EXISTING TRAILS:
Existing asphalt trails are found on site. Protect them in all areas where disruption can be avoided. Construction access routes have been provided as shown. Construction access should be from the recently constructed road on the north edge of the property.

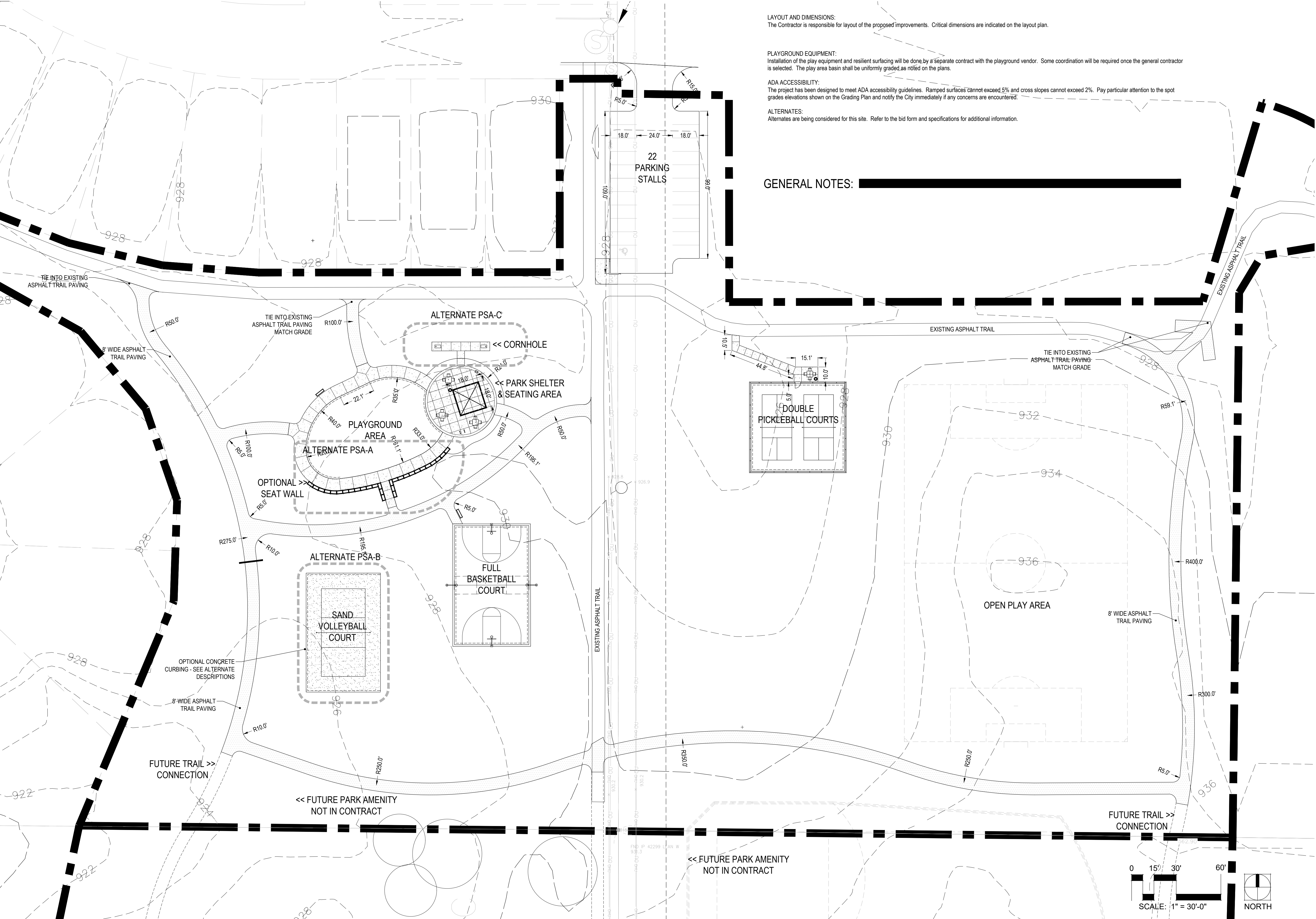
CLEARING AND GRUBBING:
Clearing includes the stripping of any existing vegetation. Limits of disturbance is generally associated with grading limits. Limits of clearing should allow for smooth transitions to existing topography.

LAYOUT AND DIMENSIONS:
The Contractor is responsible for layout of the proposed improvements. Critical dimensions are indicated on the layout plan.

EARTHWORK & GRADING:
This park is intended to balance earthwork on the property. Strip and stockpile topsoil from any graded area. Park grading may be modified slightly in select areas to help achieve total site balance. Any modifications to proposed grading must be discussed and approved prior to execution.

DEMOLITION NOTES:

Project #:	24-103
Date:	03-03-2025
Revision:	
Drawn By:	PK
Checked By:	PK



LAYOUT AND DIMENSIONS:
The Contractor is responsible for layout of the proposed improvements. Critical dimensions are indicated on the layout plan.

PLAYGROUND EQUIPMENT:
Installation of the play equipment and resilient surfacing will be done by a separate contract with the playground vendor. Some coordination will be required once the general contractor is selected. The play area basin shall be uniformly graded as noted on the plans.

ADA ACCESSIBILITY:
The project has been designed to meet ADA accessibility guidelines. Ramped surfaces cannot exceed 5% and cross slopes cannot exceed 2%. Pay particular attention to the spot grades elevations shown on the Grading Plan and notify the City immediately if any concerns are encountered.

ALTERNATES:
Alternates are being considered for this site. Refer to the bid form and specifications for additional information.

GENERAL NOTES: [REDACTED]

LAYOUT AND GRADING PLAN: [REDACTED]

Inside
Outside
Architecture
Inc.

14165 James Road - Suite 200A
Rogers, MN 55374

Phone: 612-237-8355
www.insideoutsidearchitecture.com

Project Name:

DAYTON 2025
PARK IMPROVEMENT
PACKAGE

Dayton, Minnesota

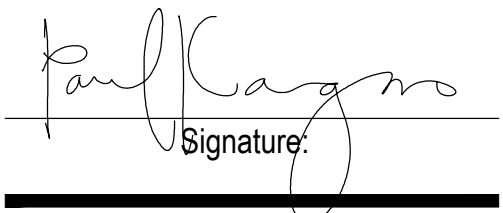
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I hereby certify that this plan was prepared by me or under my direct supervision and that I am Registered Landscape Architect under the laws of the State of Minnesota.

Name: Paul Kangas

Registration #: 26017



Project #: 24-103

Date: 03-03-2025

Revision: --

Drawn By: PK

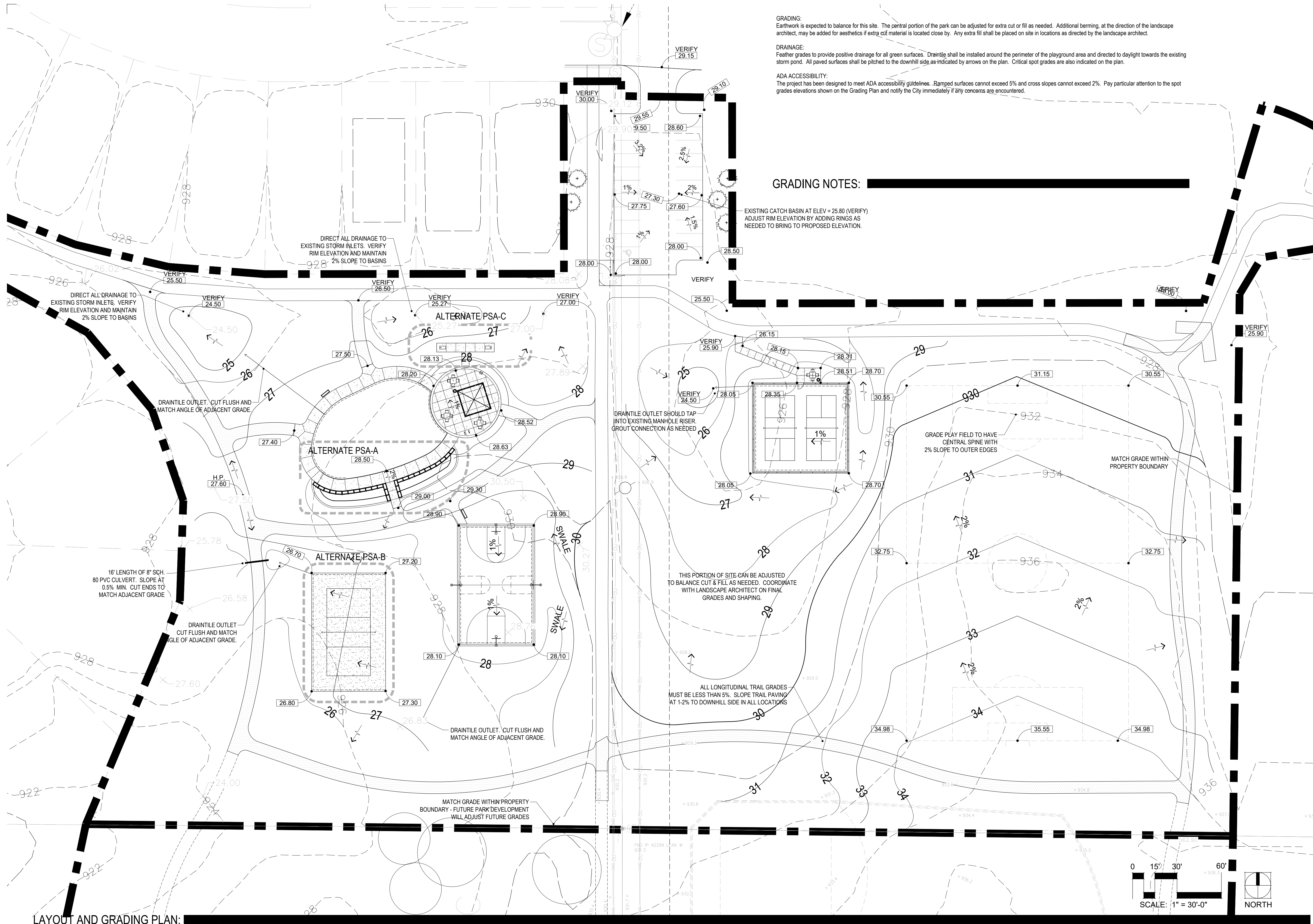
Checked By: PK

Sheet Title:

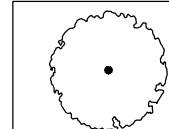
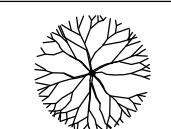


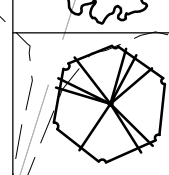
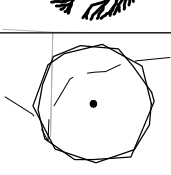
PSA #21
LAYOUT PLAN

Sheet Number:

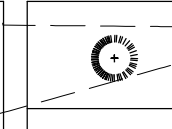
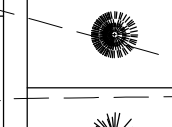
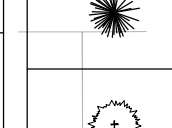

#21-1



DECIDUOUS OVERSTORY TREES:

	SWAMP WHITE OAK Quercus bicolor 5 = Quantity @ 2" Caliper		CLUMP RIVER BIRCH Betula nigra 'Clump' 5 = Quantity @ 12" Height
	PRINCETON ELM Ulmus americana 'Princeton' 5 = Quantity @ 2" Caliper		BOULEVARD LINDEN Tilia americana 'Boulevard' 4 = Quantity @ 2" Caliper
	FALL FIESTA MAPLE Acer sacharum 'Bailsta' 6 = Quantity @ 2" Caliper		HACKBERRY Celtis occidentalis 4 = Quantity @ 2" Caliper

CONIFEROUS TREES:

	BLACK HILLS SPRUCE 6 = Quantity @ 6' Height		COLORADO SPRUCE 6 = Quantity @ 6' Height
	AUSTRIAN PINE 11 = Quantity @ 6' Height		SCOTCH PINE 5 = Quantity @ 6' Height

ALTERNATE PSA-D TREE PLANTING KEY (THIS PAGE ONLY):

SYM	QTY	COMMON NAME	SCIENTIFIC NAME	SIZE	CONT	COMMENTS
DBH	17	DWARF BUSH HONEYSUCKLE	Diervilla lonicera	24" HGT.	POT	5" O.C.
KFG	16	KARL FOERSTER GRASS	Calamagrostis x acutiflora 'Karl Foerster'	2 GAL	POT	24" O.C.
SSC	6	SPRING SNOW CRABAPPLE	Malus x 'Spring Snow'	1.5" CAL	B&B	PER PLAN
WLC	17	WALKER'S LOW CATMINT	Nepeta faassenii 'Walker's Low'	1 GAL	POT	30" O.C.

ALTERNATE PSA-A PLANTING SCHEDULE (THIS PAGE ONLY):

DFJ	17	DAUB'S FROSTED JUNIPER	Juniperus chinensis 'Daub's Frosted'	5 GAL	POT	5" O.C.
KFG	23	KARL FOERSTER GRASS	Calamagrostis x acutiflora 'Karl Foerster'	2 GAL	POT	24" O.C.

BASE BID PLANTING SCHEDULE (THIS PAGE ONLY):

BID ALTERNATES:
MULTIPLE LANDSCAPE RELATED ALTERNATES ARE INCLUDED IN THE BID DOCUMENTS. REFER TO SPEC SECTION 00-4323 BID ALTERNATES FOR A WRITTEN DESCRIPTION OF THE PROPOSED ALTERNATES. ALSO REFER TO THE DIFFERENT PLANTING SCHEDULES ON THIS PAGE FOR ADDITIONAL INFORMATION.

TOPSOIL:
ALL SEEDED AREAS SHALL RECEIVE AT LEAST 4" OF TOPSOIL. IF SUITABLE EXISTING TOPSOIL IS AVAILABLE ON SITE, IT CAN BE USED FOR THE PLANTING AREAS. THE PLANTING BEDS SHALL BE TILLED AND PREPPED PRIOR TO PLANTING.

LOAM PLANTING SOIL:
IMPORTED, PULVERIZED LOAM PLANTING SOIL IS TO BE USED FOR THE RAISED PLANTING BEDS SOUTH OF THE PLAYGROUND AREA INCLUDED AS PART OF BID ALTERNATE PSA-A.

TREE PLANTINGS:
TREES SHALL BE STAKED FOR LOCATION AND FIELD VERIFIED/APPROVED BY LANDSCAPE ARCHITECT PRIOR TO FINAL PLANTING.

SOD VS. SEEDED AREAS:
WHERE SOD ABUTS SEEDED AREAS, GRADES SHALL BE FEATHERED TO MASK ANY NOTICEABLE GRADE CHANGE BETWEEN THE TURF AREAS.

IRRIGATION:
AN UNDERGROUND IRRIGATION SYSTEM IS PLANNED FOR THIS PARK SITE. REFER TO THE IRRIGATION PLAN FOR DESIGN DETAILS AND LIMITS OF COVERAGE.


PLANTING INSTRUCTIONS:
ALL PLANTINGS SHALL BE INSTALLED PER THE PLANTING DETAILS AS SHOWN IN THESE CONSTRUCTION DOCUMENTS. PARTICULAR ATTENTION WILL BE PAID TO OVERSIZING THE PLANTING HOLE AND CREATION OF A WATERING WELL TO ALLOW SOAKING OF THE PLANTING BACKFILL FOR EACH PLANTING.

FINE GRADING:
FINAL GRADES SHALL BE BROUGHT TO WITHIN 1" OF NEW PAVED SURFACES AND FEATHERED INTO ADJACENT TURF SURFACES. NO OBVIOUS RIDGES OR GRADE DIFFERENCES SHALL EXIST AFTER FINE GRADING.

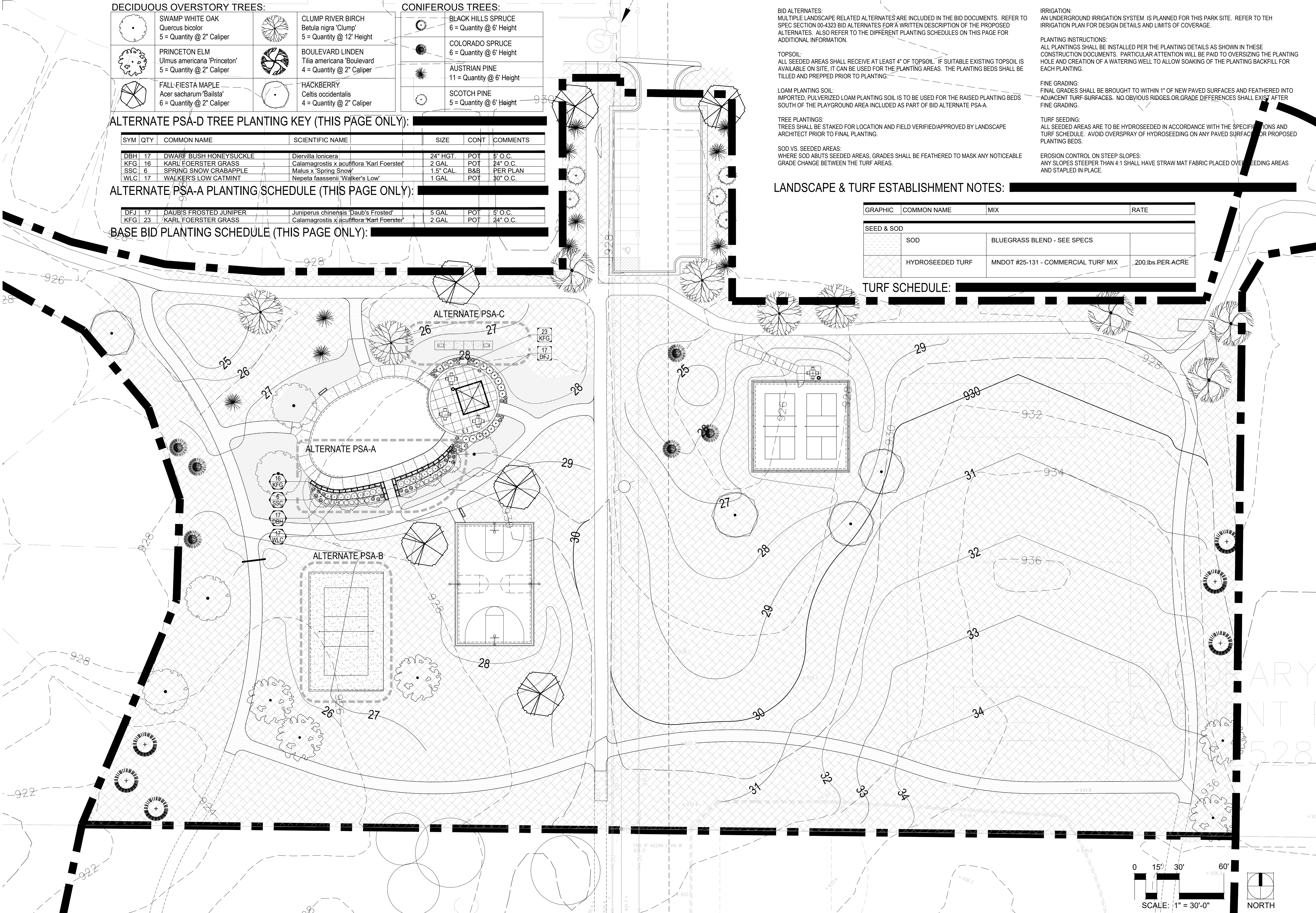
TURF SEEDING:
ALL SEEDED AREAS ARE TO BE HYDROSEEDING IN ACCORDANCE WITH THE SPECIFICATIONS AND TURF SCHEDULE. AVOID OVERSPRAY OF HYDROSEEDING ON ANY PAVED SURFACE OR PROPOSED PLANTING BEDS.

EROSION CONTROL ON STEEP SLOPES:
ANY SLOPES STEEPER THAN 4:1 SHALL HAVE STRAW MAT FABRIC PLACED OVER SEEDED AREAS AND STAPLED IN PLACE.

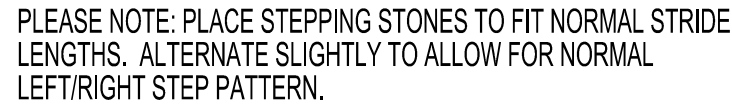
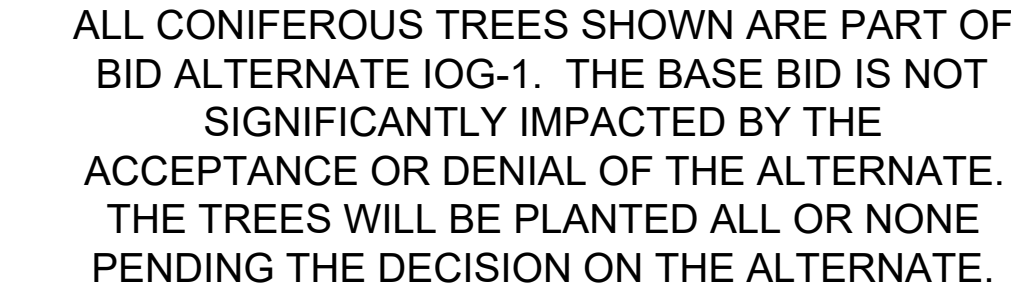
LANDSCAPE & TURF ESTABLISHMENT NOTES:

GRAPHIC	COMMON NAME	MIX	RATE
SEED & SOD			
	SOD	BLUEGRASS BLEND - SEE SPECS	
	HYDROSEEDING TURF	MNDOT #25-131 - COMMERCIAL TURF MIX	200 lbs. PER ACRE

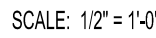
TURF SCHEDULE:



LAYOUT AND GRADING PLAN:



ALTERNATE IOG-1 PLANTING SCHEDULE (THIS PAGE ONLY):



BASE BID PLANTING SCHEDULE (THIS PAGE ONLY):

TURF SCHEDULE:

EXISTING CONDITIONS:
The existing topography shown is from a survey provided by an outside consultant. Minor adjustments to the existing topography may be encountered. The Contractor should field verify that grades are within normal tolerances after staking the proposed improvements. Any field adjustments must be brought to the City's attention for review and consideration prior to making a field change.

EXISTING FEATURES:
Any existing features not scheduled for demolition shall be protected from damage.

CLEARING AND GRUBBING:
Vegetated areas scheduled for clearing and grubbing shall be marked on the site prior to beginning work. All tree debris, including removal of stumps, shall be removed from the site. On-site chipping is preferred. Burning is NOT allowed due to proximity to Mississippi River.

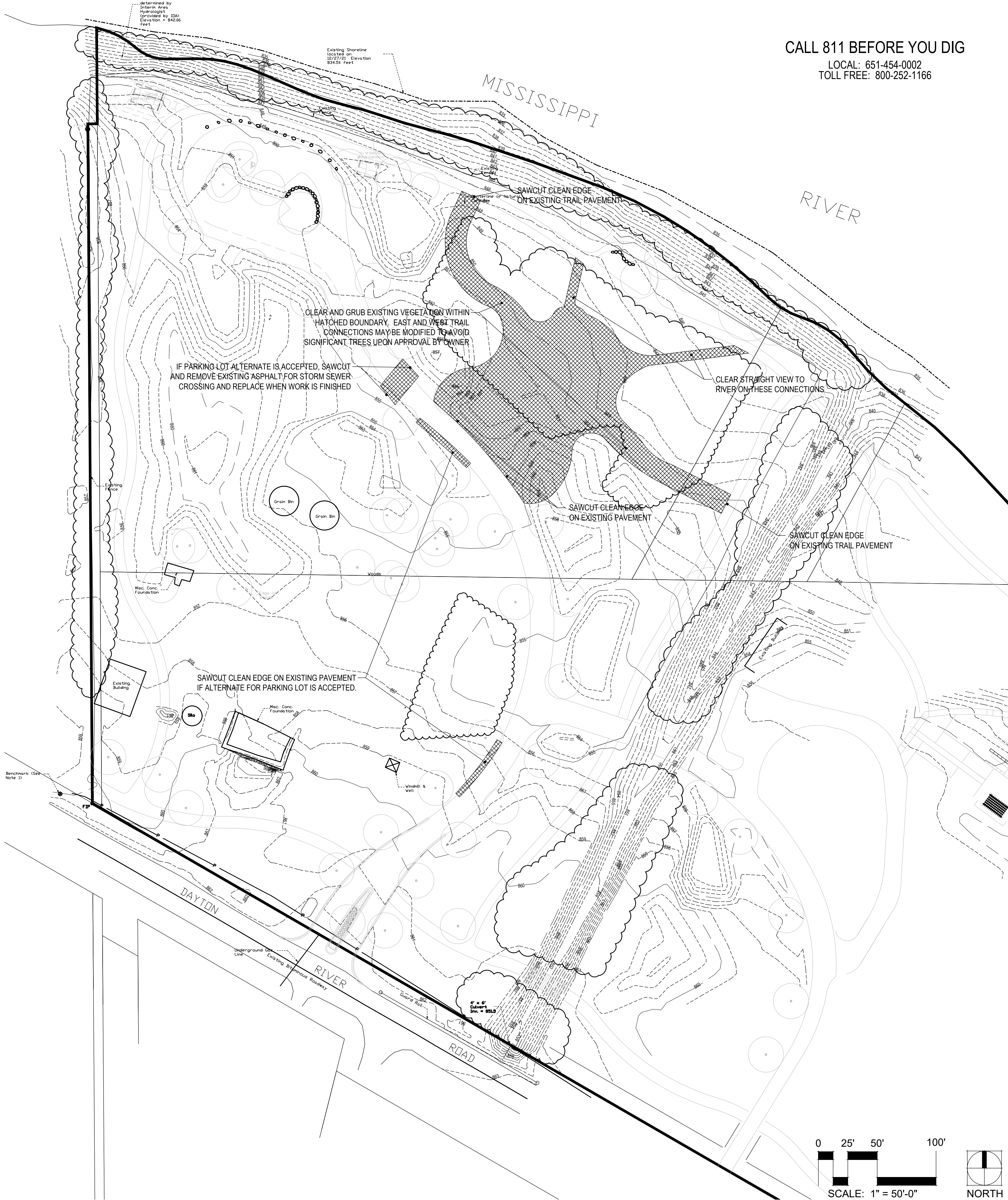
LAYOUT AND DIMENSIONS:
The Contractor is responsible for layout of the proposed improvements. Critical dimensions are indicated on the layout plan.

ADA ACCESSIBILITY:
The project has been designed to meet ADA accessibility guidelines. Ramped surfaces cannot exceed 5% and cross slopes cannot exceed 2%. Pay particular attention to the spot grades elevations shown on the Grading Plan and notify the City immediately if any concerns are encountered.

EARTHWORK & GRADING:
Stockpile existing topsoil for re-use in turf and landscaped areas after construction. Waste extra materials on site in locations as directed by the City. Every effort will be made to find locations very close the project site for any excess material.

SAWCUTTING OF EXISTING PAVEMENTS:
Where new paving abuts existing pavements, sawcut as needed to create a clean edge and vertical surface to match new pavement. Sawcutting is impacted by the parking lot alternate which would require crossing of the existing road for storm sewer alignment.

GENERAL NOTES:



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TOLL FREE: 800-252-1166



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Phone: 612-237-8355
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Project Name:
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I hereby certify that this plan was prepared by me or under my direct supervision and that I am Registered Landscape Architect under the laws of the State of Minnesota.

Name: Paul Kangas
Registration #: 26017

Signature: *Paul Kangas*

Project #:	24-103
Date:	03-03-2025
Revision:	
Drawn By:	PK
Checked By:	PK

Sheet Title:
**ELSIE STEPHENS
DEMOLITION PLAN**

Sheet Number:

ESP-0

LAYOUT AND DIMENSIONS:
The Contractor is responsible for layout of the proposed improvements. Critical dimensions are indicated on the layout plan.

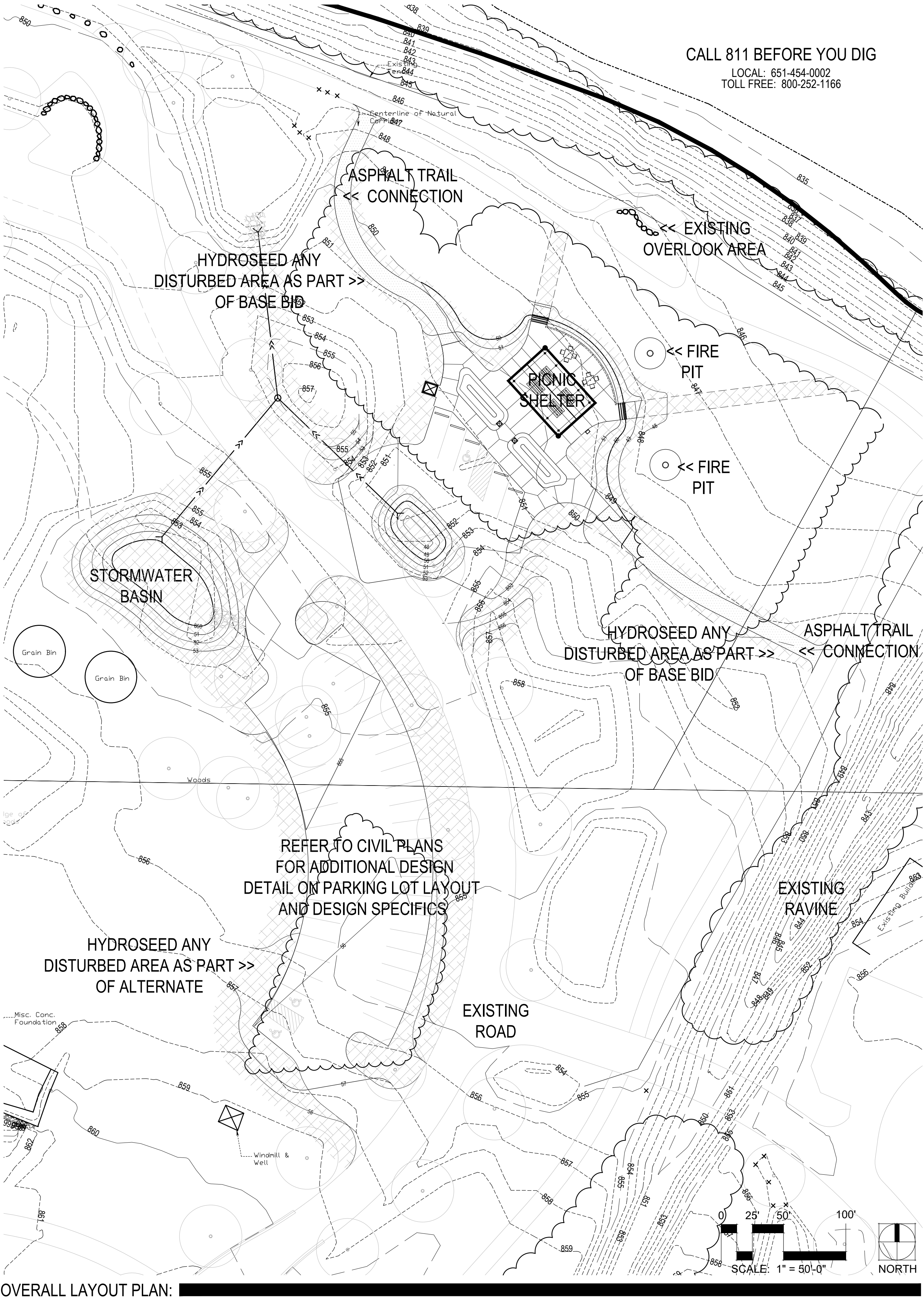
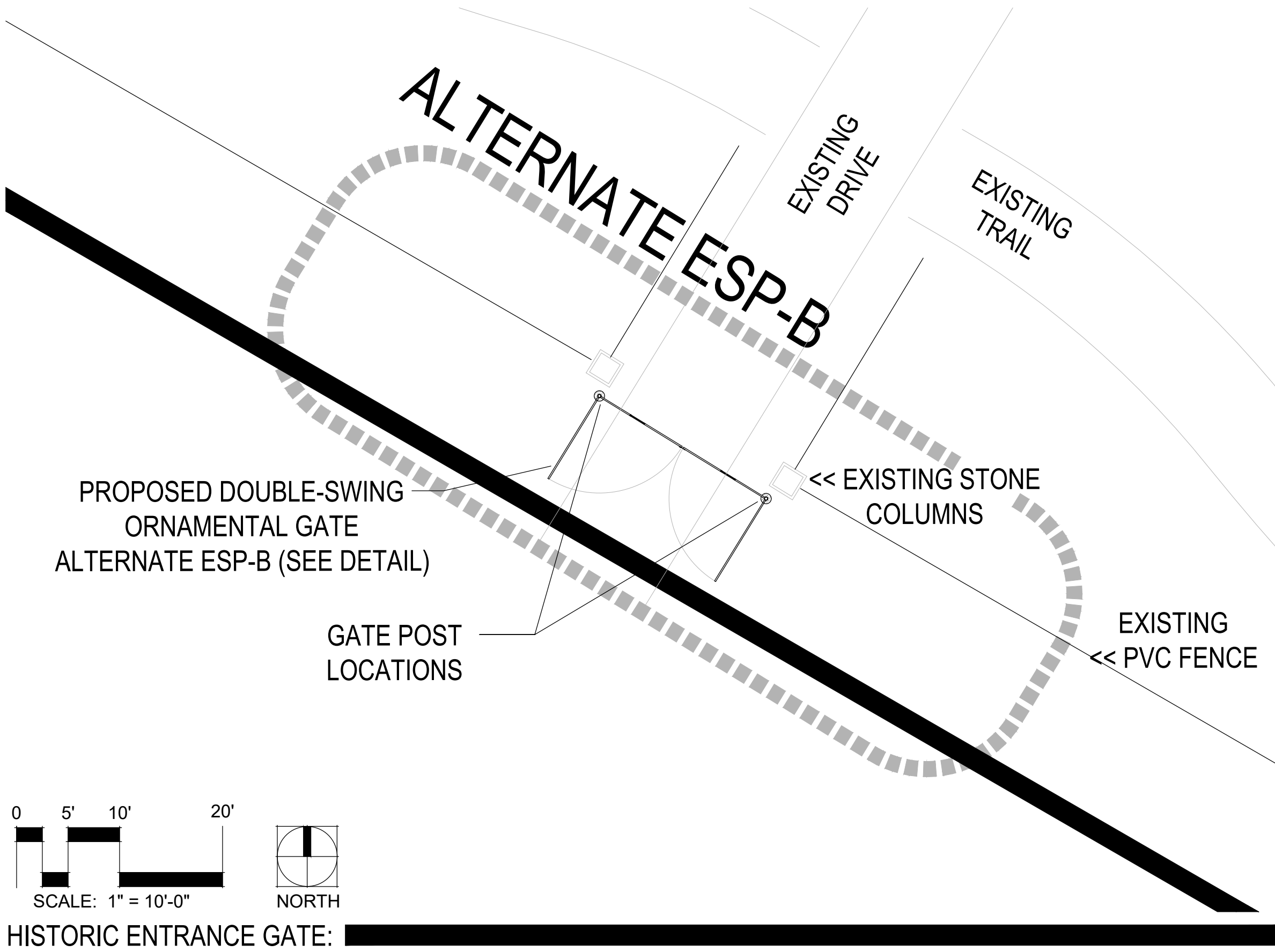
ADA ACCESSIBILITY:
The project has been designed to meet ADA accessibility guidelines. Ramped surfaces cannot exceed 5% and cross slopes cannot exceed 2%. Pay particular attention to the spot grades elevations shown on the Grading Plan and notify the City immediately if any concerns are encountered.

ALTERNATES:
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ENLARGEMENT PLANS:
Zoomed in viewports are provided for key areas of the site where additional design detail is necessary. Refer to additional pages for extra information on site elements.

CIVIL DESIGN:
The parking areas require a higher level of grading and design detail. Refer to the civil plans included in this document package.

GENERAL NOTES:



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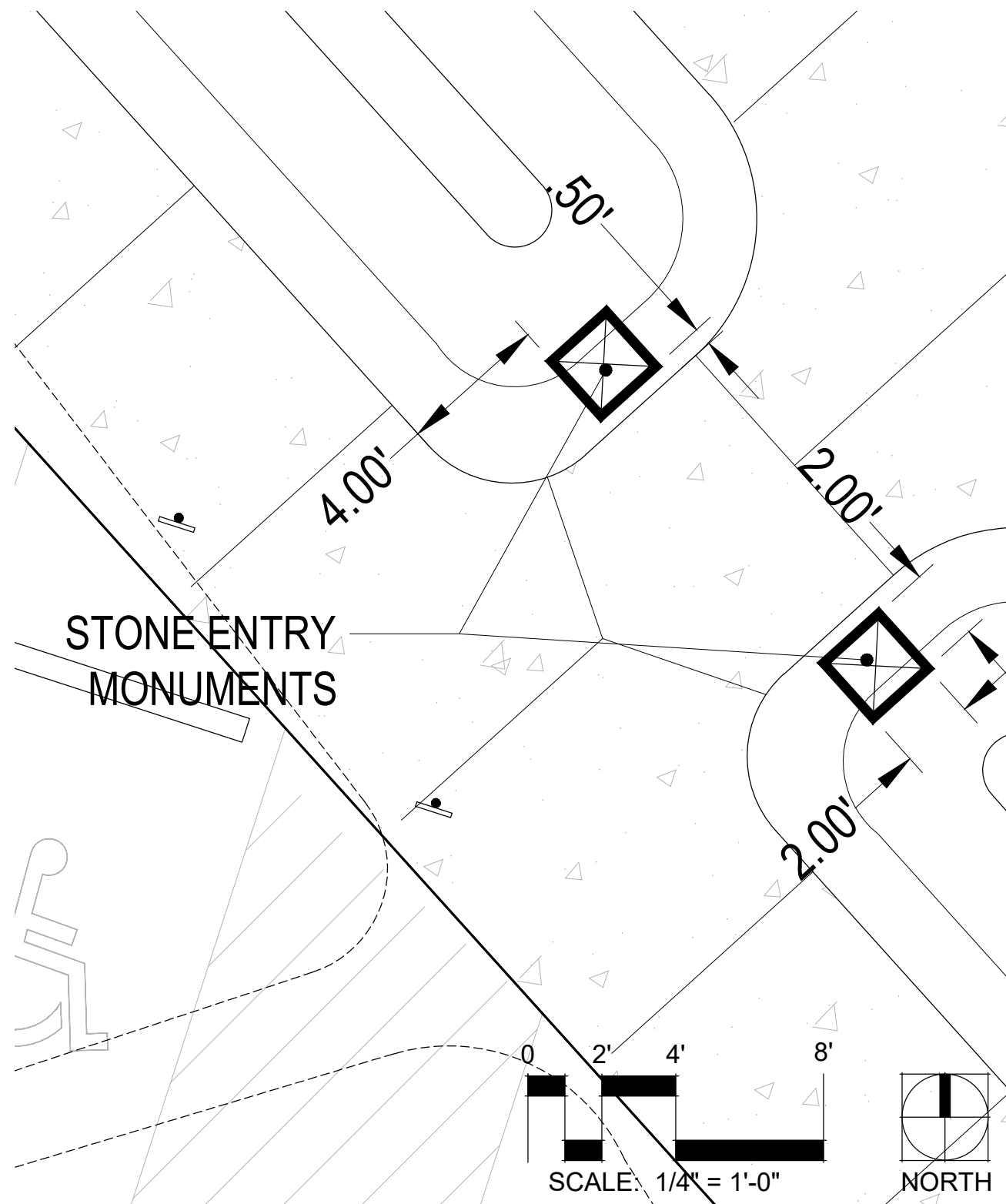
Signature: *Paul Kangas*

Project #:	24-103
Date:	03-03-2025
Revision:	--
Drawn By:	PK
Checked By:	PK

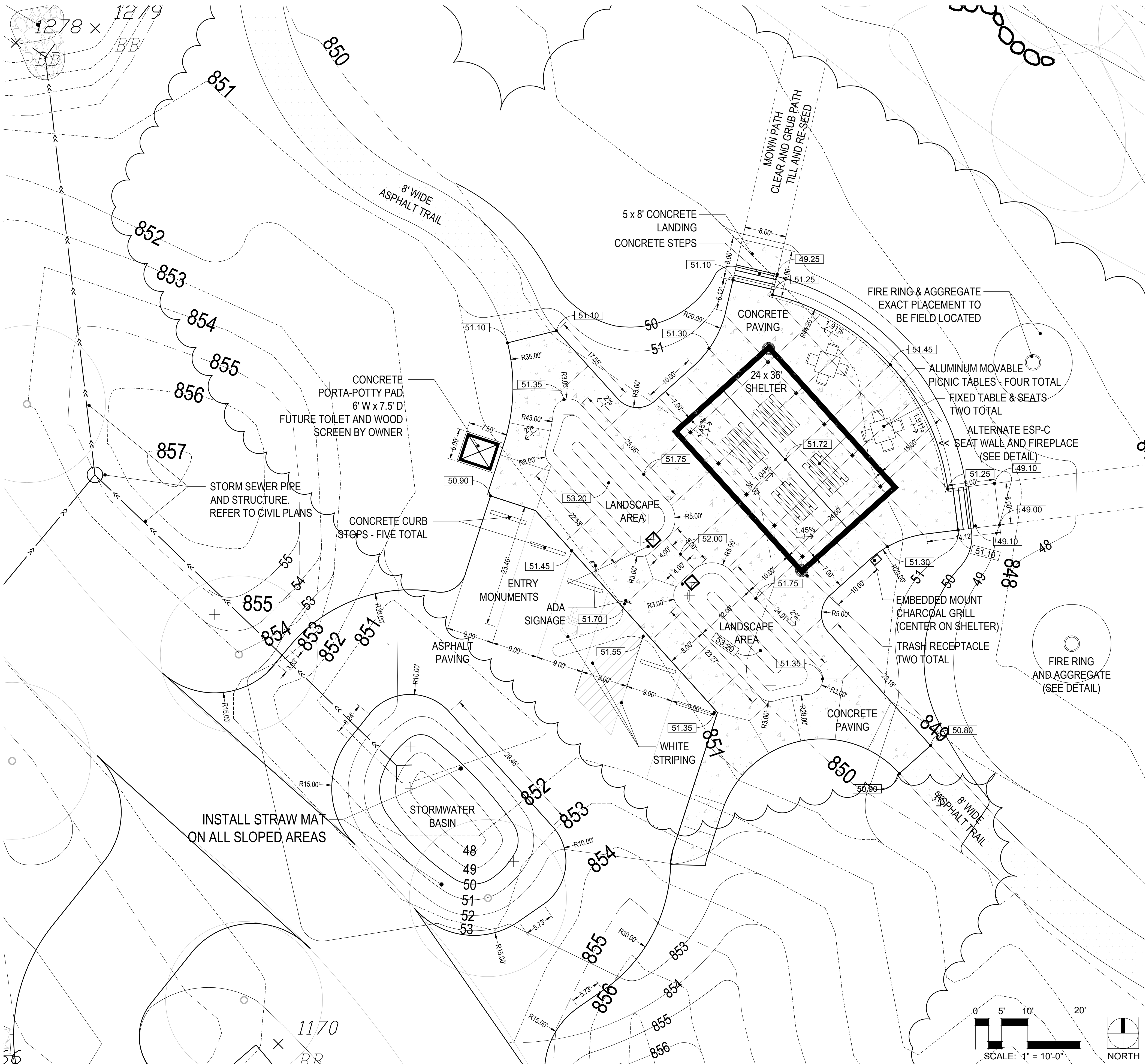
Sheet Title:
**ELSIE STEPHENS
ENLARGEMENT
PLANS**

Sheet Number:

ESP-2



ENTRY MONUMENTS (ALTERNATE ESP-D):



PICNIC SHELTER AND PATIO ENLARGEMENT:

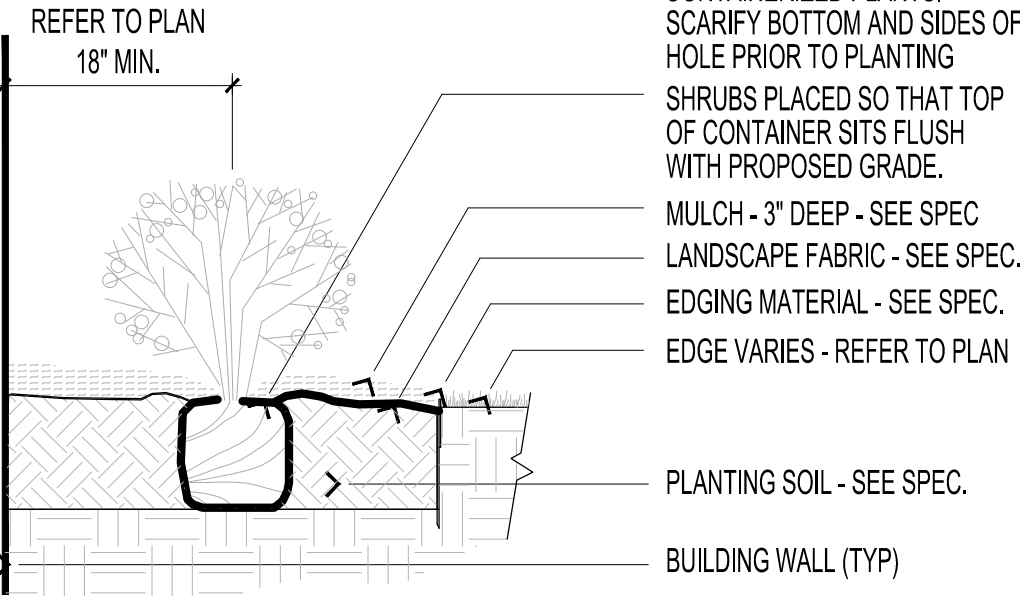
Project #:	24-103
Date:	03-03-2025
Revision:	
Drawn By:	PK
Checked By:	PK

SYM	QTY	COMMON NAME	SCIENTIFIC NAME	SIZE	CONT	COMMENTS
DECIDUOUS TREES						
PRE	2	PRINCETON ELM	Ulmus americana 'Princeton'	2.5" CAL	B&B	SINGLE STEM
SWO	2	SWAMP WHITE OAK	Quercus bicolor	2.5" CAL	B&B	SINGLE STEM
CONIFEROUS SHRUBS						
DFJ	16	DAUB'S FROSTED JUNIPER	Juniperus chinensis 'Daub's Frosted'	3 GAL	POT	5' O.C.
PERENNIALS AND GRASSES						
KFG	12	KARL FOERSTER GRASS	Calamagrostis x acutiflora 'Karl Foerster'	2 GAL	POT	24" O.C.
WLC	10	WALKER'S LOW CATMINT	Nepeta faassenii 'Walker's Low'	1 GAL	POT	30" O.C.

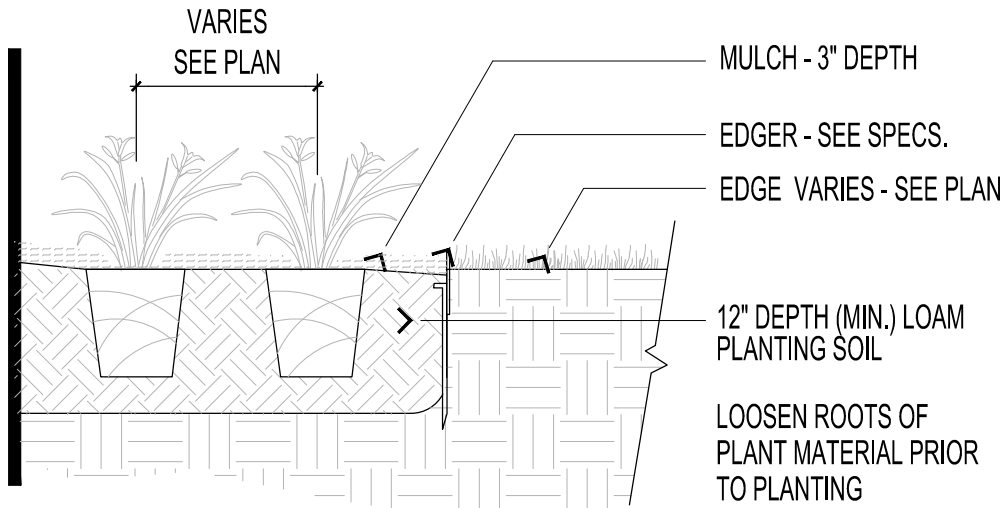
BASE BID PLANTING SCHEDULE (THIS PAGE ONLY):

GRAPHIC	COMMON NAME	MIX	RATE
SEED & SOD			
	SOD	BLUEGRASS BLEND - SEE SPECS	
	HYDROSEEDDED TURF	MNDOT #25-131 - COMMERCIAL TURF MIX	200 lbs PER ACRE

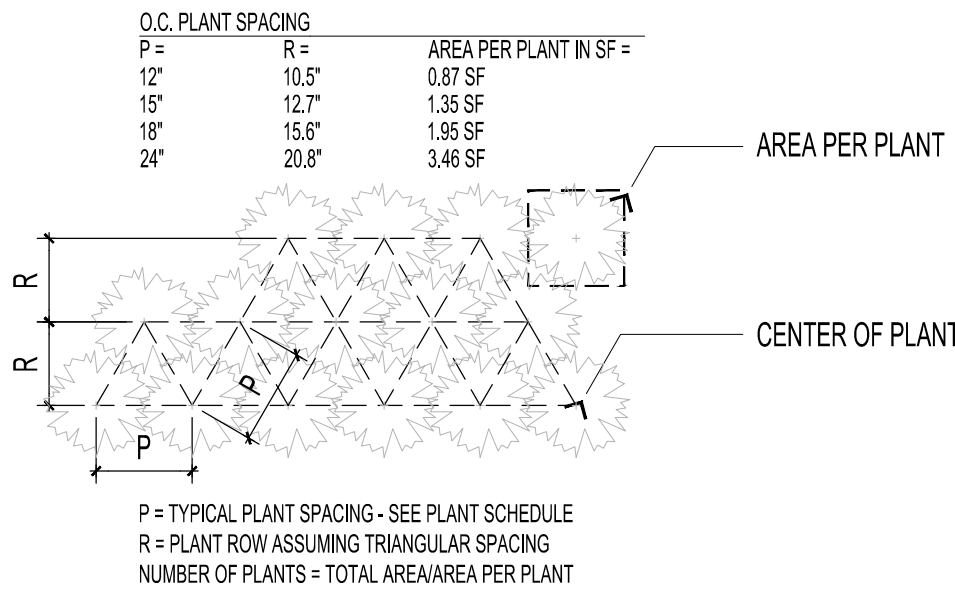
TURF SCHEDULE:



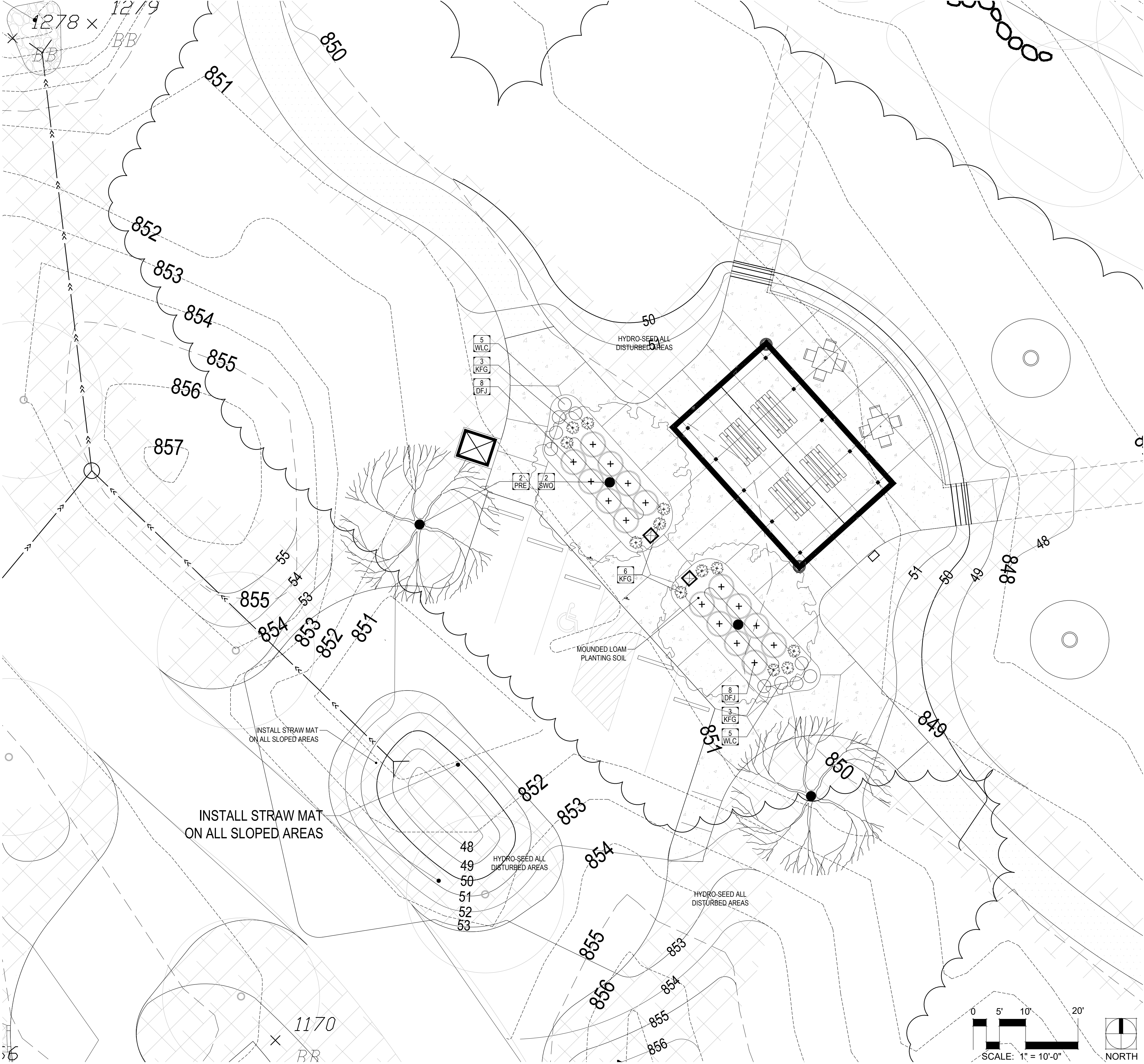
1 SHRUB PLANTING DETAIL
ESP4 SCALE: 3/4" = 1'-0"



2 PERENNIAL PLANTING
ESP4 SCALE: 3/4" = 1'-0"



3 PERENNIAL SPACING GUIDELINES
ESP4 SCALE: 3/4" = 1'-0"



LAYOUT AND DIMENSIONS:
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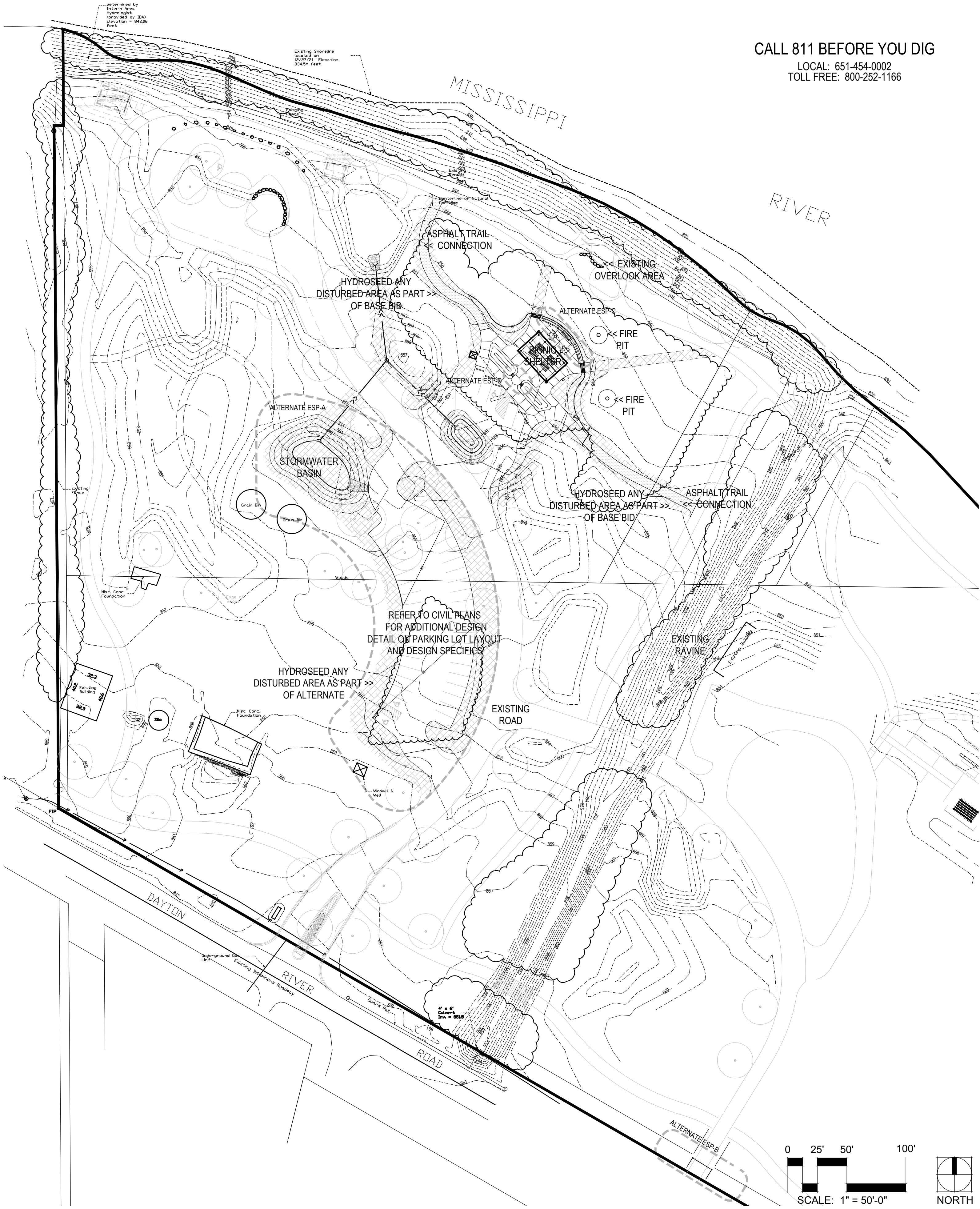
ADA ACCESSIBILITY:
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GENERAL NOTES:



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Registration #: 26017

Signature: *Paul Kangas*

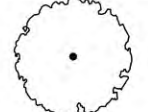



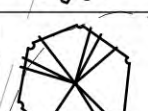

Project #:	24-103
Date:	03-03-2025
Revision:	
Drawn By:	PK
Checked By:	PK

Sheet Title:
**ELSIE STEPHENS
OVERALL LAYOUT
PLAN**

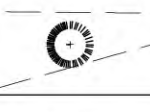
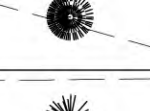
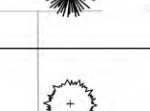

Sheet Number:

ESP-1

DECIDUOUS OVERSTORY TREES:

	SWAMP WHITE OAK Quercus bicolor 5 = Quantity @ 2" Caliper		CLUMP RIVER BIRCH Betula nigra 'Clump' 5 = Quantity @ 12" Height
	PRINCETON ELM Ulmus americana 'Princeton' 5 = Quantity @ 2" Caliper		BOULEVARD LINDEN Tilia americana 'Boulevard' 4 = Quantity @ 2" Caliper
	FALL FIESTA MAPLE Acer sacharum 'Bailsta' 6 = Quantity @ 2" Caliper		HACKBERRY Celtis occidentalis 4 = Quantity @ 2" Caliper

CONIFEROUS TREES:

	BLACK HILLS SPRUCE 6 = Quantity @ 6" Height		COLORADO SPRUCE 6 = Quantity @ 6" Height
	AUSTRIAN PINE 11 = Quantity @ 6" Height		SCOTCH PINE 5 = Quantity @ 6" Height

ALTERNATE PSA-D TREE PLANTING KEY (THIS PAGE ONLY):

SYM	QTY	COMMON NAME	SCIENTIFIC NAME	SIZE	CONT	COMMENTS
DBH	17	DWARF BUSH HONEYSUCKLE	Diervilla lonicera	24" HGT.	POT	6" O.C.
KFG	16	KARL FOERSTER GRASS	Calamagrostis x acutiflora 'Karl Foerster'	2 GAL.	POT	24" O.C.
SSC	6	SPRING SNOW CRABAPPLE	Malus x 'Spring Snow'	1.5" CAL.	B&B	PER PLAN
WLC	17	WALKER'S LOW CATMINT	Nepeta faassenii 'Walker's Low'	1 GAL.	POT	30" O.C.

ALTERNATE PSA-A PLANTING SCHEDULE (THIS PAGE ONLY):

DFJ	17	DAUB'S FROSTED JUNIPER	Juniperus chinensis 'Daub's Frosted'	5 GAL.	POT	8" O.C.
KFG	23	KARL FOERSTER GRASS	Calamagrostis x acutiflora 'Karl Foerster'	2 GAL.	POT	24" O.C.

BASE BID PLANTING SCHEDULE (THIS PAGE ONLY):

BID ALTERNATES:
MULTIPLE LANDSCAPE RELATED ALTERNATES ARE INCLUDED IN THE BID DOCUMENTS. REFER TO SPEC SECTION 00-4323 BID ALTERNATES FOR A WRITTEN DESCRIPTION OF THE PROPOSED ALTERNATES. ALSO REFER TO THE DIFFERENT PLANTING SCHEDULES ON THIS PAGE FOR ADDITIONAL INFORMATION.

TOPSOIL:
ALL SEEDED AREAS SHALL RECEIVE AT LEAST 4" OF TOPSOIL. IF SUITABLE EXISTING TOPSOIL IS AVAILABLE ON SITE, IT CAN BE USED FOR THE PLANTING AREAS. THE PLANTING BEDS SHALL BE TILLED AND PREPPED PRIOR TO PLANTING.

LOAM PLANTING SOIL:
IMPORTED, PULVERIZED LOAM PLANTING SOIL IS TO BE USED FOR THE RAISED PLANTING BEDS SOUTH OF THE PLAYGROUND AREA INCLUDED AS PART OF BID ALTERNATE PSA-A.

TREE PLANTINGS:
TREES SHALL BE STAKED FOR LOCATION AND FIELD VERIFIED/APPROVED BY LANDSCAPE ARCHITECT PRIOR TO FINAL PLANTING.

SOD VS. SEEDED AREAS:
WHERE SOD ABUTS SEEDED AREAS, GRADES SHALL BE FEATHERED TO MASK ANY NOTICEABLE GRADE CHANGE BETWEEN THE TURF AREAS.

IRRIGATION:
AN UNDERGROUND IRRIGATION SYSTEM IS PLANNED FOR THIS PARK SITE. REFER TO TEH IRRIGATION PLAN FOR DESIGN DETAILS AND LIMITS OF COVERAGE.

PLANTING INSTRUCTIONS:
ALL PLANTINGS SHALL BE INSTALLED PER THE PLANTING DETAILS AS SHOWN IN THESE CONSTRUCTION DOCUMENTS. PARTICULAR ATTENTION WILL BE PAID TO OVERSIZING THE PLANTING HOLE AND CREATION OF A WATERING WELL TO ALLOW SOAKING OF THE PLANTING BACKFILL FOR EACH PLANTING.

FINE GRADING:
FINAL GRADES SHALL BE BROUGHT TO WITHIN 1" OF NEW PAVED SURFACES AND FEATHERED INTO ADJACENT TURF SURFACES. NO OBVIOUS RIDGES OR GRADE DIFFERENCES SHALL EXIST AFTER FINE GRADING.

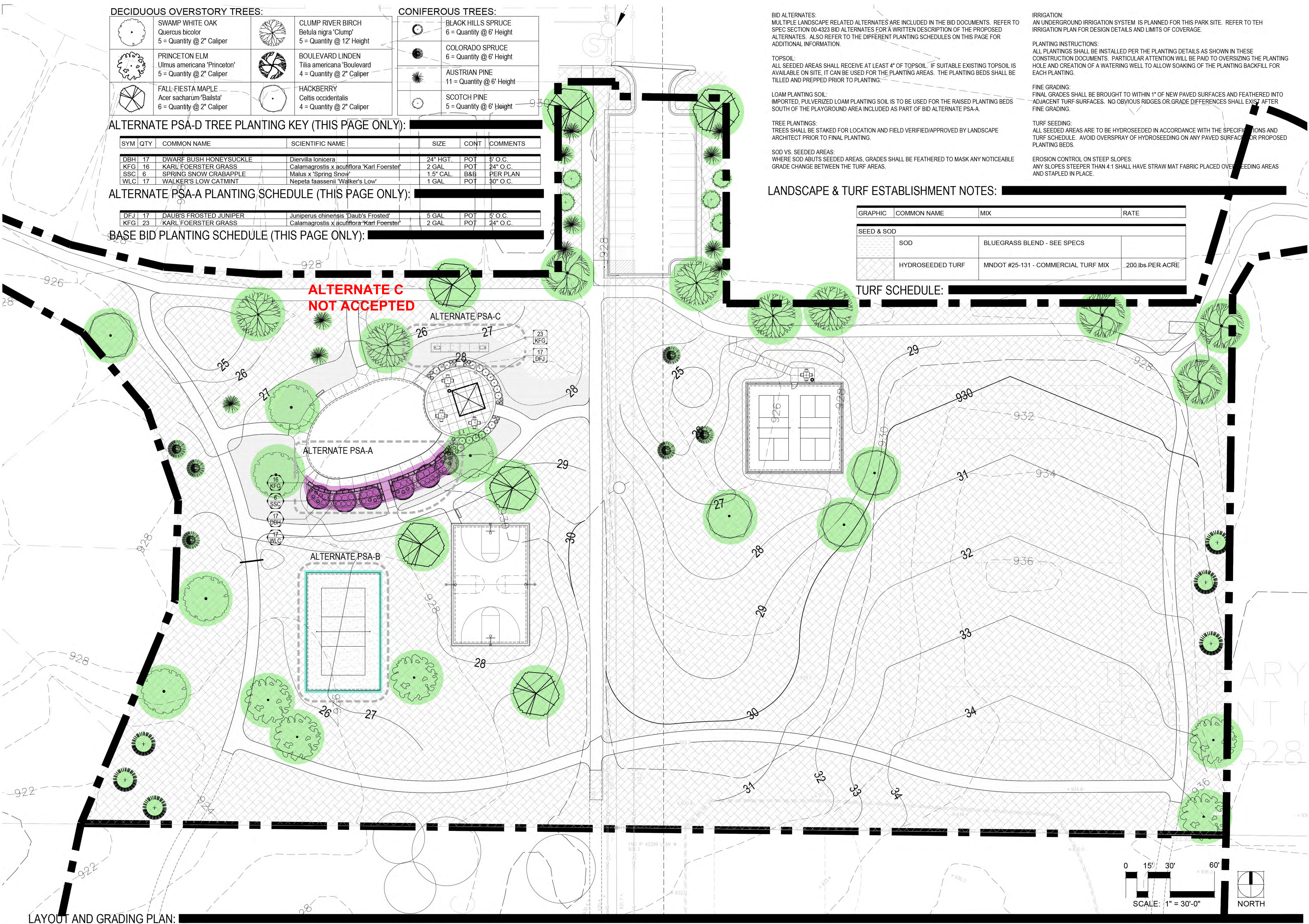
TURF SEEDING:
ALL SEEDED AREAS ARE TO BE HYDROSEEDING IN ACCORDANCE WITH THE SPECIFICATIONS AND TURF SCHEDULE. AVOID OVERSPRAY OF HYDROSEEDING ON ANY PAVED SURFACE OR PROPOSED PLANTING BEDS.

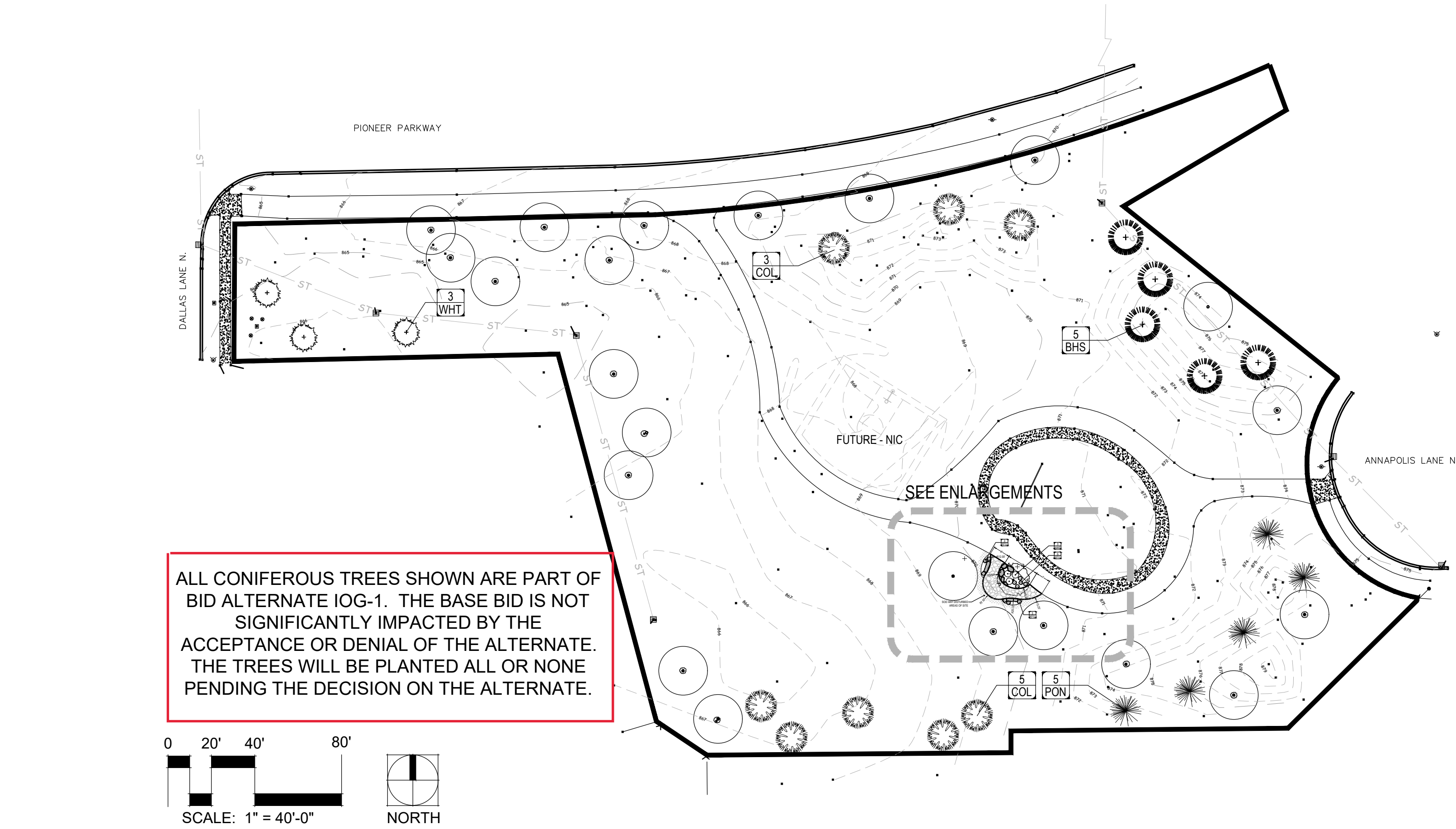
EROSION CONTROL ON STEEP SLOPES:
ANY SLOPES STEEPER THAN 4:1 SHALL HAVE STRAW MAT FABRIC PLACED OVER SEEDED AREAS AND STAPLED IN PLACE.

LANDSCAPE & TURF ESTABLISHMENT NOTES:

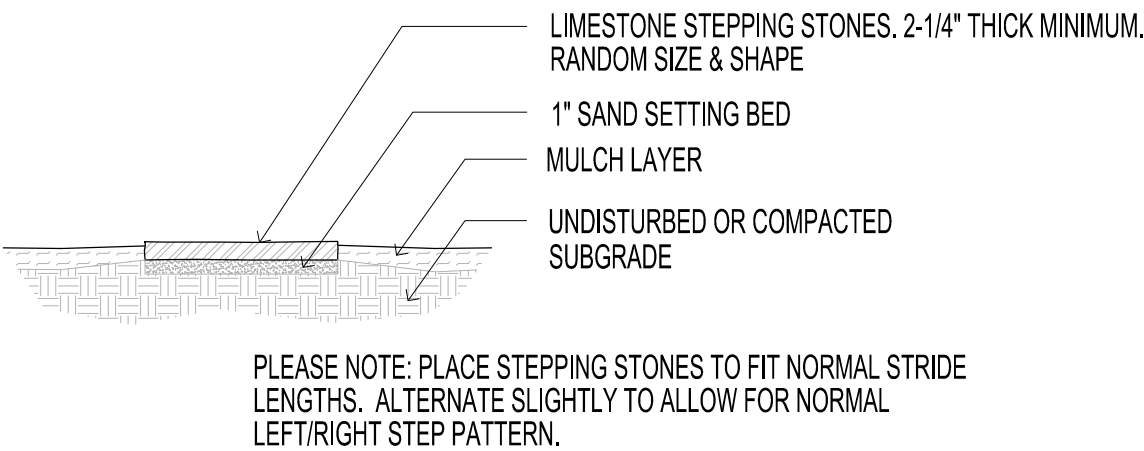
GRAPHIC	COMMON NAME	MIX	RATE
SEED & SOD			
	SOD	BLUEGRASS BLEND - SEE SPECS	
	HYDROSEEDED TURF	MNDOT #25-131 - COMMERCIAL TURF MIX	200 lbs. PER ACRE

TURF SCHEDULE:

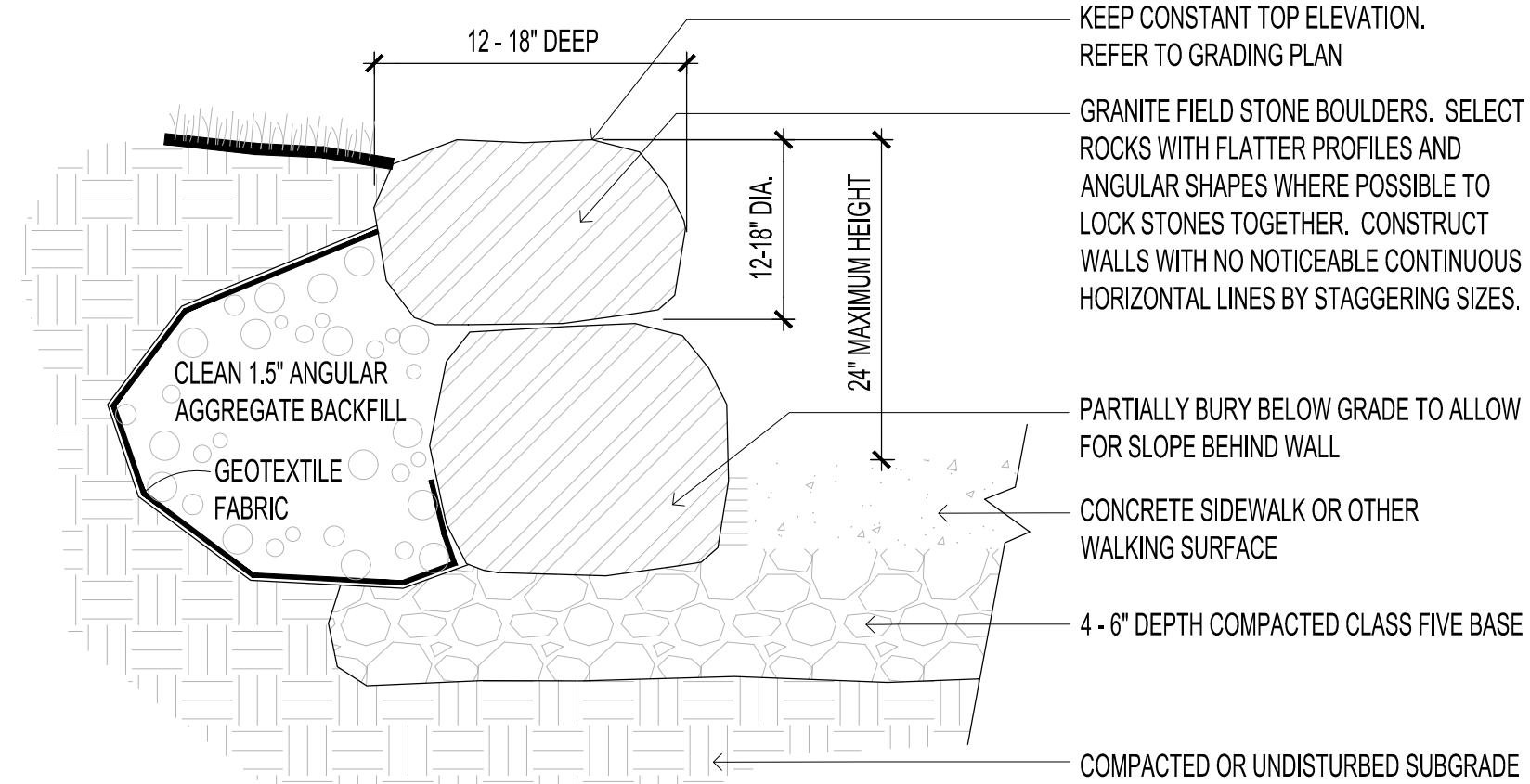




ALL CONIFEROUS TREES SHOWN ARE PART OF BID ALTERNATE IOG-1. THE BASE BID IS NOT SIGNIFICANTLY IMPACTED BY THE ACCEPTANCE OR DENIAL OF THE ALTERNATE. THE TREES WILL BE PLANTED ALL OR NONE PENDING THE DECISION ON THE ALTERNATE.



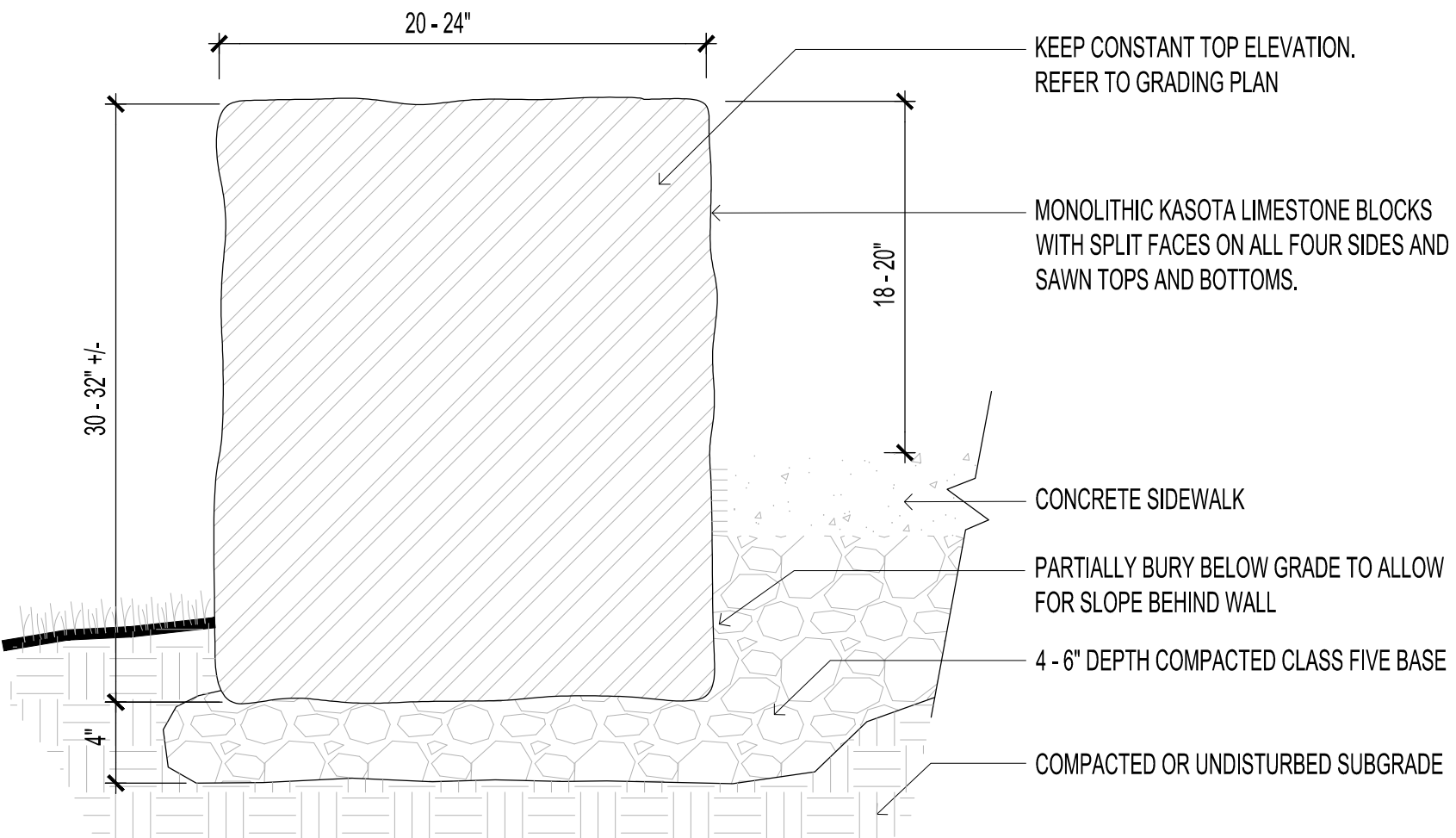
1
IOG-1 LIMESTONE STEPPING STONES
SCALE: 1/2" = 1'-0"



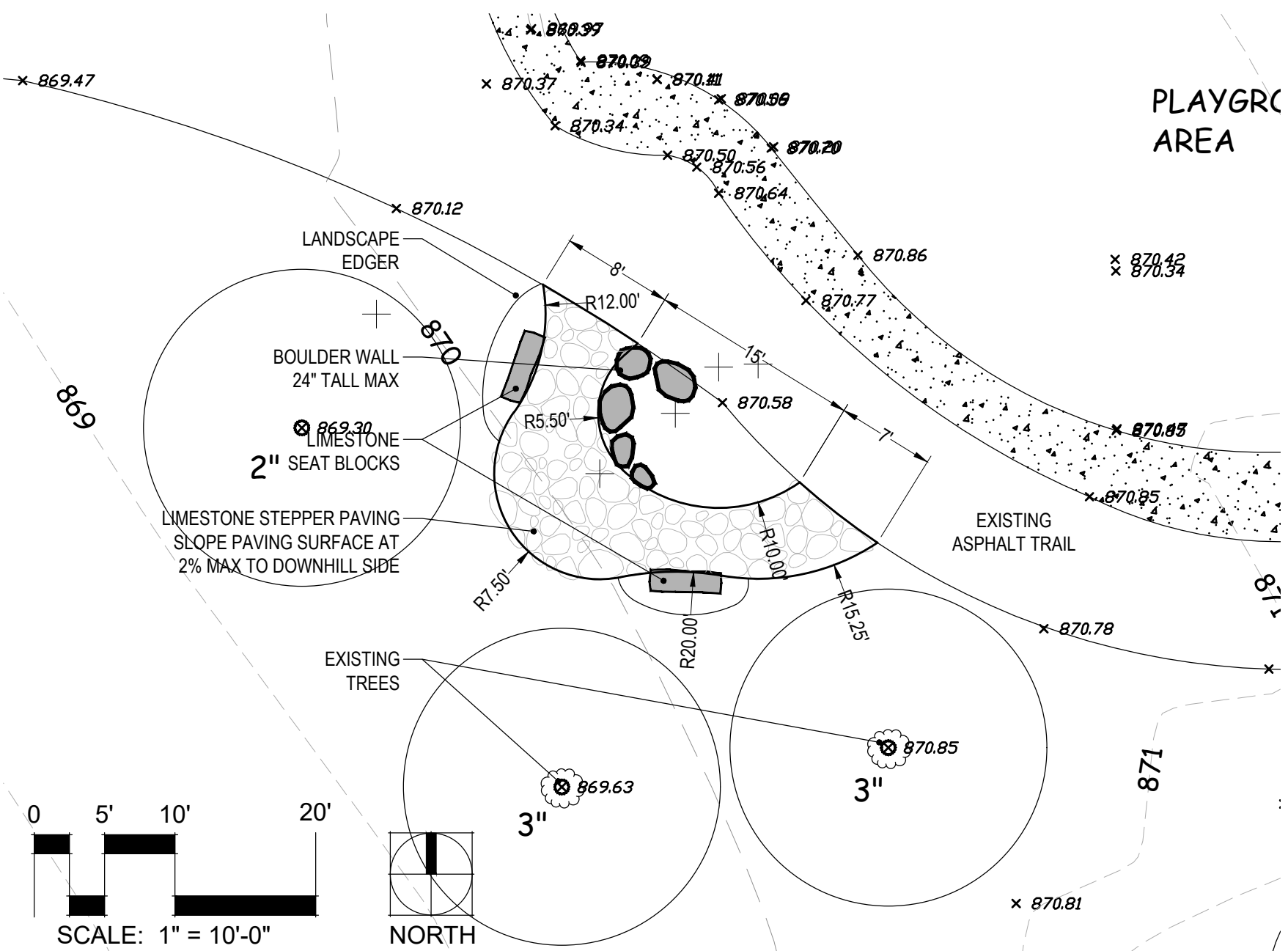
2
IOG-1 SHORT GRANITE FIELDSTONE RETAINING WALL
SCALE: 1 1/2" = 1'-0"

SYM	QTY	COMMON NAME	SCIENTIFIC NAME	SIZE	CONT	COMMENTS
EVERGREEN TREES						
BHS	5	BLACK HILLS SPRUCE	Picea glauca densata	5-6' HGT	B&B	FULL FORM
COL	8	COLORADO SPRUCE	Picea pungens	5-6' HGT	B&B	FULL FORM
PON	5	PONDEROSA PINE	Pinus ponderosa	5-6' HGT	B&B	FULL FORM
WHT	3	WHITE PINE	Pinus strobus	5-6' HGT	B&B	FULL FORM

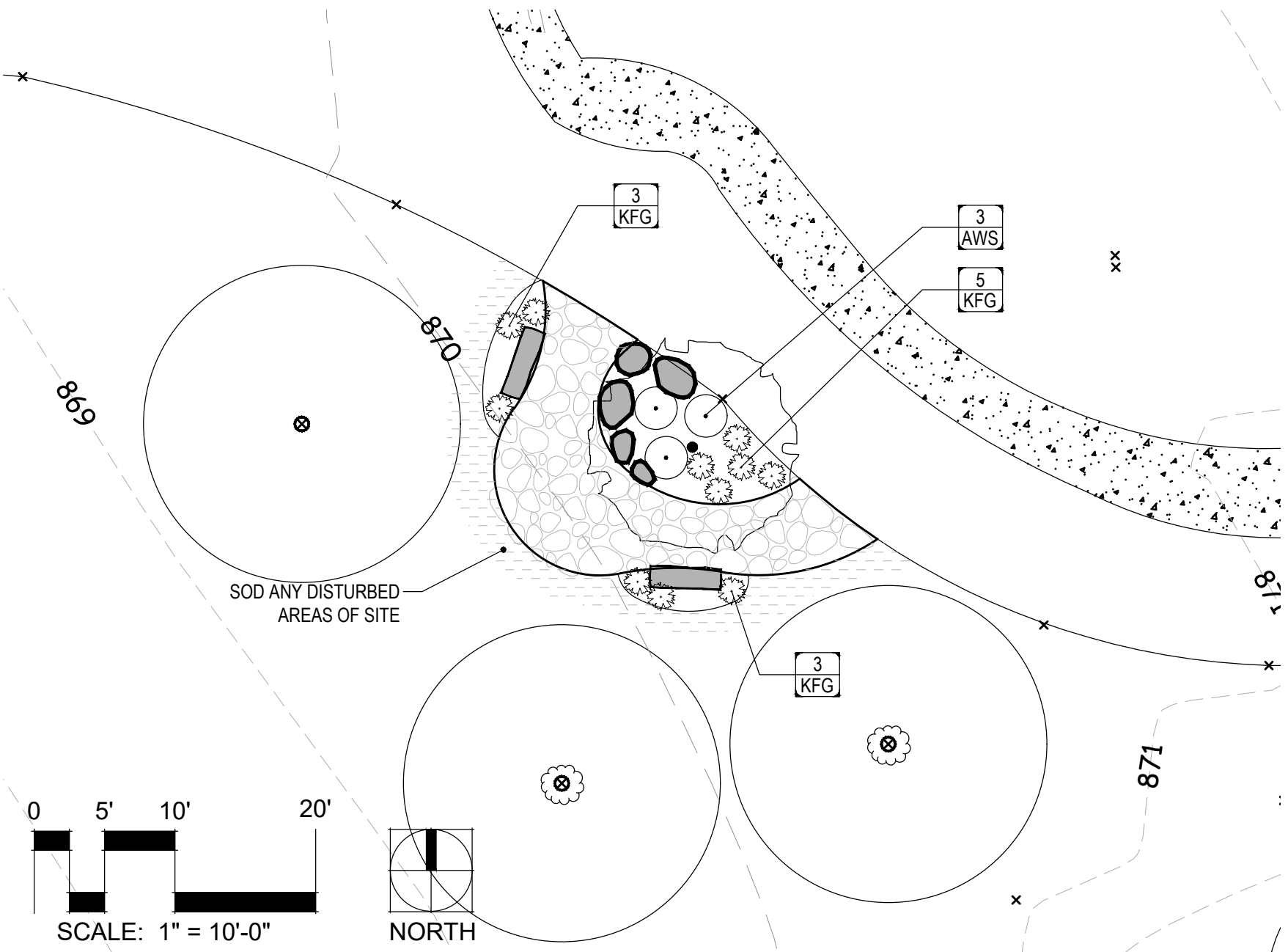
ALTERNATE IOG-1 PLANTING SCHEDULE (THIS PAGE ONLY):



3
IOG-1 MONOLITHIC LIMESTONE SEAT WALL
SCALE: 1 1/2" = 1'-0"



SEATING AREA LAYOUT:



SEATING AREA LANDSCAPING:

SYM	QTY	COMMON NAME	SCIENTIFIC NAME	SIZE	CONT	COMMENTS
ORNAMENTAL TREES						
SSC	1	SPRING SNOW CRABAPPLE	Malus x 'Spring Snow'	1.5" CAL	B&B	FULL FORM
ORNAMENTAL TREES						
AWS	3	ANTHONY WATERER SPIREA	Spiraea x bumalda 'Anthony Waterer'	18" HGT.	POT	48" O.C.
PERENNIALS AND GRASSES						
KFG	11	KARL FOERSTER GRASS	Calamagrostis x acutiflora 'Karl Foerster'	1 GAL	POT	24" O.C.

BASE BID PLANTING SCHEDULE (THIS PAGE ONLY):

GRAPHIC	COMMON NAME	MIX	RATE
SEED & SOD			
SOD	BLUEGRASS BLEND - SEE SPECS		
HYDROSEEDDED TURF	MNDOT #25-131 - COMMERCIAL TURF MIX		200 lbs PER ACRE

TURF SCHEDULE:

LAYOUT AND DIMENSIONS:
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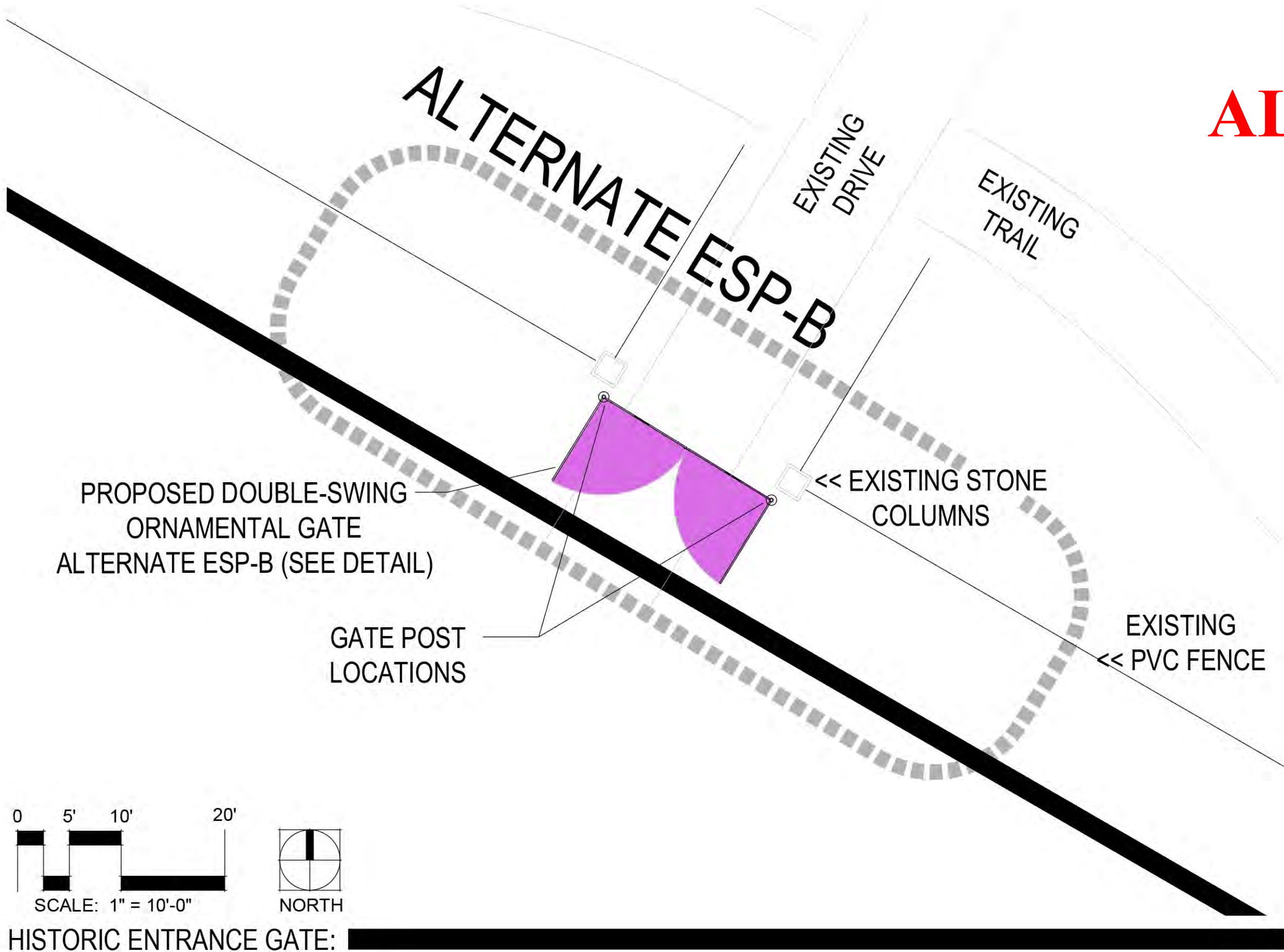
ADA ACCESSIBILITY:
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ALTERNATES:
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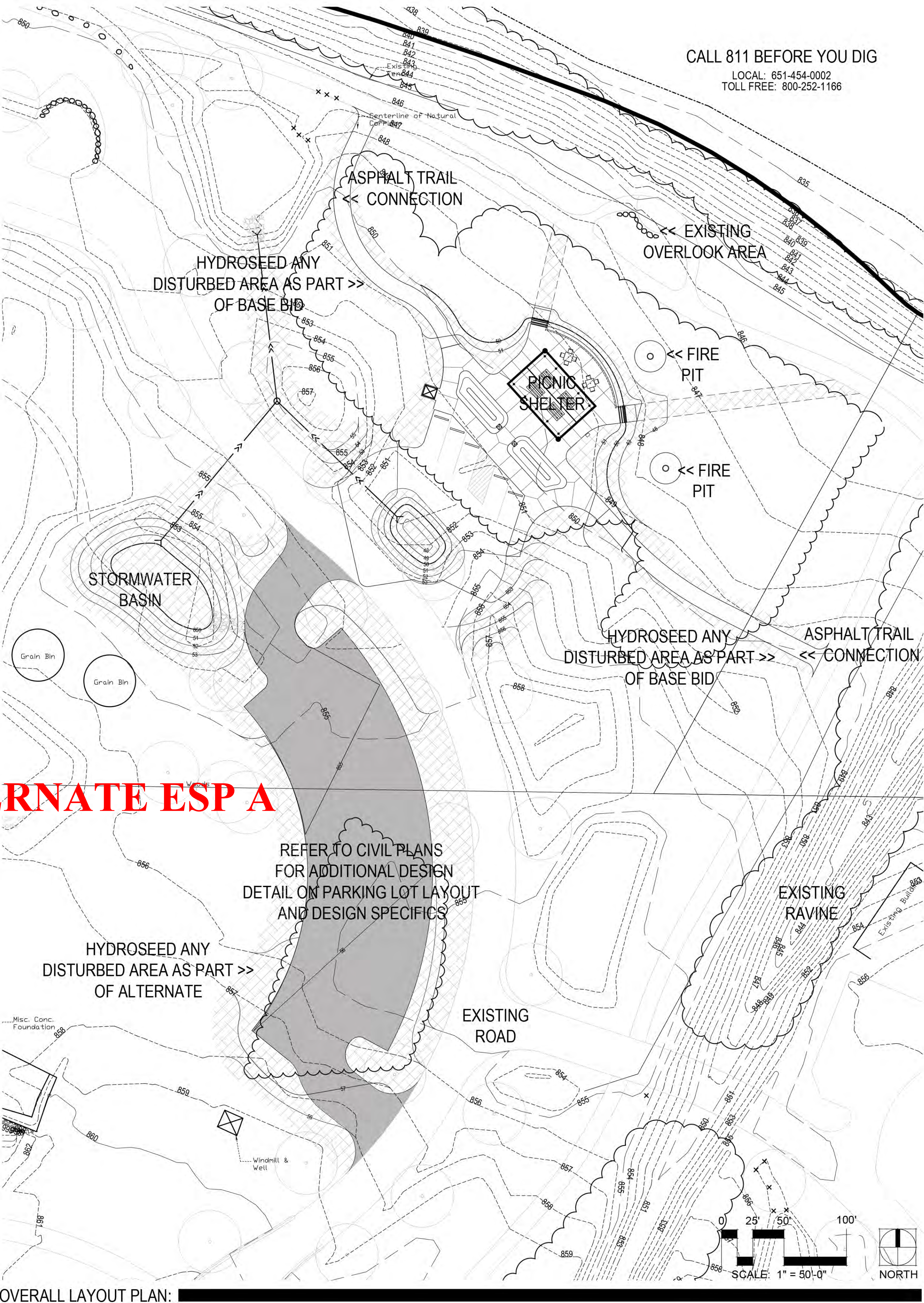
ENLARGEMENT PLANS:
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CIVIL DESIGN:
The parking areas require a higher level of grading and design detail. Refer to the civil plans included in this document package.

GENERAL NOTES:



ALTERNATE ESP A



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Registration #: 26017

Signature: Paul Kangas

Project #:	24-103
Date:	03-03-2025
Revision:	--
Drawn By:	PK
Checked By:	PK

Sheet Title:
ELSIE STEPHENS
ENLARGEMENT
PLANS

Sheet Number:

ESP-2
167

ITEM:

DCM Farms

APPLICANT:

Tom Dehn, Sundance Woods, LLC

PREPARED BY:

Jon Sevald, Community Development Director

POLICY DECISION / ACTION TO BE CONSIDERED:

Motion to Approve Rezoning, PUD, and Preliminary Plat of DCM Farms.

BACKGROUND:

The project proposes 253 single-family homes and two outlots for future commercial development. The project is located at the northwest intersection of Fernbrook Lane and 113th Avenue. The project requires a Zoning Map Amendment and Preliminary Plat for a Planned Unit Development (PUD). The project will be zoned R-3 *Single Family and Attached Residential* with a PUD overlay. This is similar to the adjacent Sundance Greens development. PUD's allow flexibility from City Code requirements (deviations) in return for a public benefit. Proposed deviations include reduced lot sizes and setbacks. Proposed public benefits include construction of the 114th Ave roundabout and trails.

CRITICAL ISSUES:

1. PUD
Deviations include: 70% of lots are narrower than 62', whereas 30% is permitted in R-3 district. Decreased minimum lot size, width, front and rear yard setbacks.

Public Benefits include: Construction of 114th Ave roundabout, and contributions toward 117th Ave roundabout. Park land dedication. Increased HOA amenities.
2. Utilities & Alley
Staff recommends ROW be dedicated for an alley behind the existing Fernbrook homes, and the alley partially constructed (serving 11421, 11431 Fernbrook) or fully constructed at the time the 114th roundabout is constructed. Sewer and water utilities to be extended under/adjacent to alley.
3. Stormwater
Multiple ponds are internally trapped within the proposed site. Redundant storm sewer is being required to allow for secondary outlets for overflows and equalizer pipes if the primary storm sewer piping fails. These additional pipe runs may result in reconfigurations to the site.

ANALYSIS:

Comprehensive Plan

Guided sewered *Low Density Residential* with a minimum density of 2 units per acre.¹ Proposed Net Density is 3.1 units per acre.

The Developer withdrew an application to amend the Comprehensive Plan, applicable to Outlots L and K (future commercial).²

EAW

Prior to withdrawing the Comprehensive Plan amendment, an Environmental Assessment Worksheet (EAW) was completed. The City Council accepted the EAW, making a Negative Declaration for an Environmental Impact Statement (EIS) on March 11, 2025.

Zoning Map Amendment

Rezone from *A-1 Agricultural* to *R-3 Single Family and Attached Residential* with PUD overlay. The applies to residential lots.

Rezone from *A-1 Agricultural* to *P-R Public Recreation* District. This applies to Outlot A; Area 21 neighborhood park.

Outlots L and K (future commercial) are to remain zoned A-1 Agricultural.

R-3 Zoning

*The City may approve the rezoning only if it finds that the development satisfies all of the requirements in this section and all of the following requirements:*³

(a) The rezoning to R-3 is an effective treatment of the development possibilities on the project site and the development plan provides for the preservation or creation of unique amenities.



Staff notes:

There are no unique amenities preserved or created. Staff recommends:

- HOA gazebo/dock on Pond #4.
- HOA gazebo between Pond #2 and sidewalk.
- Landscaped median on 114th Ave.
- HOA benches along trail.
- Entrance monument.

¹ 2040 Comprehensive Plan, Table 3: Future Land Use Map. Table 4: Future Land Uses.

² February 6, 2025 Planning Commission meeting.

³ City Code 1001.05, Subd 5(5)(b) (*General standards for approval*)

(b) The rezoning to R-3 and associated development plan is prepared in a manner that harmonizes with an existing or proposed development in the areas surrounding the project including connections to natural resources, open space and trails.

Staff notes: The project connects to Brayburn Trails to the north and Sundance Greens to the south. Trails eventually will connect to Three Rivers Park District trails at Rush Creek (future underpass).

(c) The R-3 rezoning and development plan, using a range of lot sizes, provides better adaptation to physical and aesthetic conditions of the site.

Staff notes: The project includes 110 lots (43%) that are less than 55' wide. 55' is the minimum lot width in the R-3 district.

(d) The R-3 rezoning and development plan provides a better mix of lot sizes, house styles in an overall integrated design to achieve a higher quality development.

Staff notes: There are six lot categories, ranging from 40' – 75' widths.

Lot Width	#	%	
40'	33	13%	70% < 62'
45'	35	14%	
50'	42	17%	
55'	66	26%	
65'	72	28%	30% ≥ 62'
75'	5	2%	

The R-3 was intended to take the place of PUD's by allowing flexibility of design standards. The Code provides a menu of options, intending to be identified during the Concept Plan review.⁴ Options were not chosen during Concept Plan review. The City Council/Planning Commission should (1) confirm if Staff's analysis of the options is correct; (2) discuss with the Applicant which other options should be chosen.

All R-3 developments shall incorporate **4 of the following** elements into the development plan. These elements shall be identified during the concept plan review process and incorporated into the development plan at time of Preliminary Plat.

YES. Traill loop.	Public or private open space accessible and useable by the neighborhood and surrounding neighborhoods
--------------------------	---

⁴ City Code 1001.05, Subd 5(5)(a)(1)(a)

CITY COUNCIL REGULAR MEETING

YES, 3.2 acres for park	Increased park land dedication beyond the required park dedication amount when land is required by the ordinance
YES. Landscape corridor along Fernbrook, and along 114th Ave.	Expansion of existing open space or open space corridors and/or linking open space corridors beyond borders of the site
	Preservation of existing natural resources, woodlands and unique topographical features if they exist
YES. Minimum 35' required.⁵ 50' proposed along Fernbrook.	Increased landscape buffer along roadways beyond minimum requirements of the ordinance
	Increased internal landscaping throughout the site beyond minimum requirements of the ordinance
	Private parks furnished with commercial grade playground equipment approved by City Staff
	Enhanced pedestrian scale and decorative street lighting
YES. Proposed trails exceed the need ID'd in Comprehensive Plan.⁶	Construction of trails (above what is required by ordinance)
	Sidewalks are provided on both sides of the street;
	Recreational facilities, pool or other on site amenities which serve the entire development;
Yes. Details not provided.	Monument signage with decorative lighting, and enhanced entry landscaping surrounding the monument;
	Water feature at entry or used in storm water ponds;
	Architectural detail beyond minimum requirements of the ordinance;
Minimum single-family detached lot size shall be 6,500 square feet. Single-family lot widths shall be a minimum of 55 feet provided all single-family lot widths in the development area average to 62 feet in width as measured from the required front setback and no more than 30% of the lots shall be less than 62 feet wide. Required elements include the following:	
Category 1: Choose 2 of the following:	
Yes. Minimum 35' corridor required, 50' proposed.	Public or private open space (above what is excluded in net calculation);
Yes. Pay Park & Trail Dedication fees + land. Code requires 12% dedication for 2.6 – 5 units p/acre density (11 acres).⁷ 3.2 acres proposed (3.5%).	Increased park land dedication beyond the required park dedication amount when land is required by the ordinance;
	Expansion of existing open space or open space corridors and/or linking open space corridors beyond borders of the site;

⁵ City Code 10024, Subd 7 (Screening, Buffering, and Fencing)

⁶ 2040 Comprehensive Plan, Figure 7.9, Comprehensive Trails Plan

⁷ City Code 1002.08, Subd 10 (Dedication of Lands for Public Purposes).

	Preservation of existing natural resources and woodlands (as mapped as the greenway corridor on the Land Use Plan) beyond minimum net calculation or required by ordinance.
Category 2: Choose 1 or more of the following:	
	Site amenities: private parks, enhanced pedestrian scale and decorative street lighting, tot lots, trails (above what is required by ordinance), recreational facilities, community center, pools or other on site amenities which serve the entire development.
Category 3: Choose 1 of the following:	
	Implementation of storm water reuse for common areas and individual lots irrigation;
Yes. Monument Sign.	Multiple development wide enhanced entry features including the following elements: monument signage with decorative lighting, water feature and enhanced entry landscaping surrounding the monument;
	Architectural detail beyond minimum requirements;
When a development contains a mixture of attached and detached dwelling units a transition area shall be provided through means of landscaping berming, buffering, or other manner.	
3.1 net density	Density. The minimum net density for the total development shall be 2 units per acre with a maximum density of 4 units per net acre. When calculating net density exclude from gross acres wetlands and water bodies, public park dedication, arterial streets and natural resources mapped as the Greenway Corridor on the Comprehensive Land Use Plan.

PUD

PUD's are intended to allow deviations from City Code in exchange for Public Benefit. In this case, the deviations are primarily the percentage of narrow lots (greater than 30%) and reduced setbacks. Public Benefits include, 114th Avenue roundabout, contributions toward future 117th Avenue intersection improvements, and providing a mix of housing types.

Staff recommends additional Public Benefits to include public focal points along trails (e.g. benches, pergola, dock/platform on pond(s), & shrubs).

Proposed deviations from R-3 standards include (highlighted):

	R-3 Single-Family	Proposed (40'/45'/50'/55' lots)	Proposed (65'/75' lots)
Maximum % of lots less than 62' wide.	30%	70%	30%
Minimum lot size	6,500 sq ft	4,000 sq ft	7,908 sq ft
Minimum lot width at setback	55' with all lots meeting overall average of 62'	40'	65'
Minimum lot frontage	50'	40'	65'
Minimum corner lot frontage	10' wider than adjacent interior lot	47'	66'

Maximum impervious surface	50%	55%	35%
Setbacks:			
Living area or side loaded garage	25'	25'	25'
Front porch (120 sq ft)	25'	25'	25'
Garage front	30'	25'	25'
Side yards	7.5' (for lots 62' and smaller) and 10' (for lots greater than 62')	7.5'	7.5'
Side yard corner lots	20'	25'	25'
Rear	30'	25'	25'
Maximum height (as measured from the midpoint on a hipped or pitched roof)	35'	35'	35'
Minimum setback to arterial street	50'	50'	50'
Decks and Attached Open Structures			
Front, side or rear to street	30' (50' to arterial)	25'	25'
Side	7.5'	7.5'	7.5'
Rear	15'	15'	15'

Traffic & Roundabouts

The Developer will install a roundabout at Fernbrook & 114th Ave, and reconfigure 113th Ave to connect to the roundabout. The county is supportive of the roundabout. The design has not been approved.

Fernbrook Ln (CR 121) has an Average Daily Trip (ADT) of 7,500 (2019) and has a 2040 forecast of 7,000 ADT at 117th Ave and 19,000 ADT at Rush Creek Parkway.⁸

The residential component of DCM Farms is estimated to generate 2,518 ADT. 1,788 ADT (71%) will access onto Fernbrook (CR 121).⁹

Traffic capacity is analyzed as a Level of Service (LOS) A – F. An LOS of D/E is considered acceptable. LOS F = stop & go traffic, greater than 50 second delay at unsignalized intersections and greater than 80 seconds at signalized intersections.¹⁰

⁸ 2040 Comprehensive Plan, Chapter 8 Transportation, Figure 6 Future (2040) Forecast Traffic Volumes

⁹ DCM Farms EAW, Appendix I Traffic Impact Study, Table 4-1; *Gross Weekday Trip Generation for Proposed Project*.

¹⁰ DCM Farms EAW, Appendix I Traffic Impact Study; 5.0 Traffic Analysis

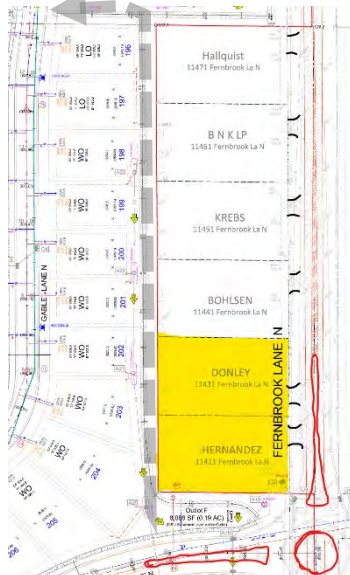
The existing (2024) Fernbrook & Rush Creek Parkway intersection has an LOS F for westbound peak-PM traffic (Elm Creek Road). Under the 2040-build scenario, the same intersection has an LOS F for all turning movements. The EAW recommends a roundabout.¹¹ The city plans a roundabout at Fernbrook & Rush Creek Parkway, but a funding source has not been identified.

The existing (2024) Fernbrook & 117th Ave intersection has an LOS D for westbound peak-PM traffic (neighborhood east of Fernbrook). Under the 2040-build scenario, the same intersection has an LOS of F for westbound, and D for eastbound traffic. The EAW recommends monitoring if improvements are needed.¹² The city has discussed a roundabout, but a funding source has not been identified to fully fund the project. The city has discussed requiring proportional funding from DCM Farms and Brayburn Trails East. This could be an escrow with a 10-year sunset (city has 10-years to install the improvement, or refund the escrow). A traffic analysis is needed to identify the proportional amount each project would be responsible for.

Sewer & Water

Staff recommends that the developer extend sewer & water behind the six existing homes on Fernbrook. Existing homeowners would have the option to connect at their expense.

Traffic & Alley



Staff recommends ROW be dedicated behind the existing six Fernbrook homes for an alley and that it be partially or fully built by the developer at the time the 114th Ave roundabout is installed. The preliminary layout of the roundabout includes a median which blocks lefthand turns for 11421 Fernbrook (Hernandez) and 11431 Fernbrook (Donley). An alley would allow an alternative access for these two homes. Further, an alley should improve access to the six homes when Fernbrook is expanded to a 4-lane road.¹³

It should be noted that the roundabout design has not been approved by Hennepin County. If the roundabout shifts south, this may change access to the existing homes. This should be resolved prior to Final Plat approval of this phase of the development.

¹¹ DCM Farms EAW, Appendix I Traffic Impact Study, 6.0 Conclusions and Recommendations.

¹² DCM Farms EAW, Appendix I Traffic Impact Study, 6.0 Conclusions and Recommendations.

¹³ 2040 Comprehensive Plan, Table 2: *List of Programmed and Planned Improvements*

Area 21 Park

The project dedicates 3.2 acres toward Area 21 Neighborhood Park, in addition to paying Park and Trail dedication fees. The southeast quadrant of the park is planned for a ballfield. Parking shown (21 stalls) is inadequate, whereas 35-40 stalls will be needed. Plans for Area 21 should be revised to extend the parking lot into the park. If the south end of the park cannot accommodate additional parking, alternatives include additional park land dedication and/or on-street parking.

COMMISSION REVIEW / ACTION (IF APPLICABLE):

The Planning Commission conducted a Public Hearing on February 6, 2025, and continued on March 6, 2025 meeting, recommending Approval. The Commission discussed:

- Design of 114th Ave roundabout.
- Staging of construction.
- Shifting the roundabout south as much as possible.
- Variety of houses and increased density.
- Concern about light pollution from roundabout lighting.
- Lack of access from DCM Farms onto 117th Ave.

The Park Commission discussed at its March 4, 2025 meeting, recommending;

- Benches and trash receptacles along trails.
- Gazebo/pier at Pond #4
- Gazebo at Pond #2
- Trail (vs. sidewalk) between 114th Ave and trail to Pond #4.
- Enhanced landscaping at key feature points.



*Change sidewalk to trail as highlighted.
Locate gazebos at red points.*

60/120-DAY RULE (IF APPLICABLE):

	60-Days	120-Days
Comprehensive Plan Amendment	Apr 15, 2025	Jun 15, 2025
Zoning Map Amendment	Apr 15, 2025	Jun 15, 2025
Planned Unit Development	-	Jun 15, 2025
Preliminary Plat	-	Jun 15, 2025

RELATIONSHIP TO COUNCIL GOALS:

Encourage Diversity and Manage Thoughtful Development

- *Create a variety of housing options*
- *Healthy Sector with services and job growth*

Maintain and Enhance the National and Rural Community Connection

- *Facilitate an interconnected trail system*
- *Provide and enhance public recreation space*
- *Promote Dayton's unique identity and community cohesion*

BUDGET IMPACT:

N/A

RECOMMENDATION:

Staff recommends Approval.

ATTACHMENT(S):

Aerial Photo

Comprehensive Plan Map

Zoning Map

Site Photos

Ordinance 2025-09

Resolution 20-2025

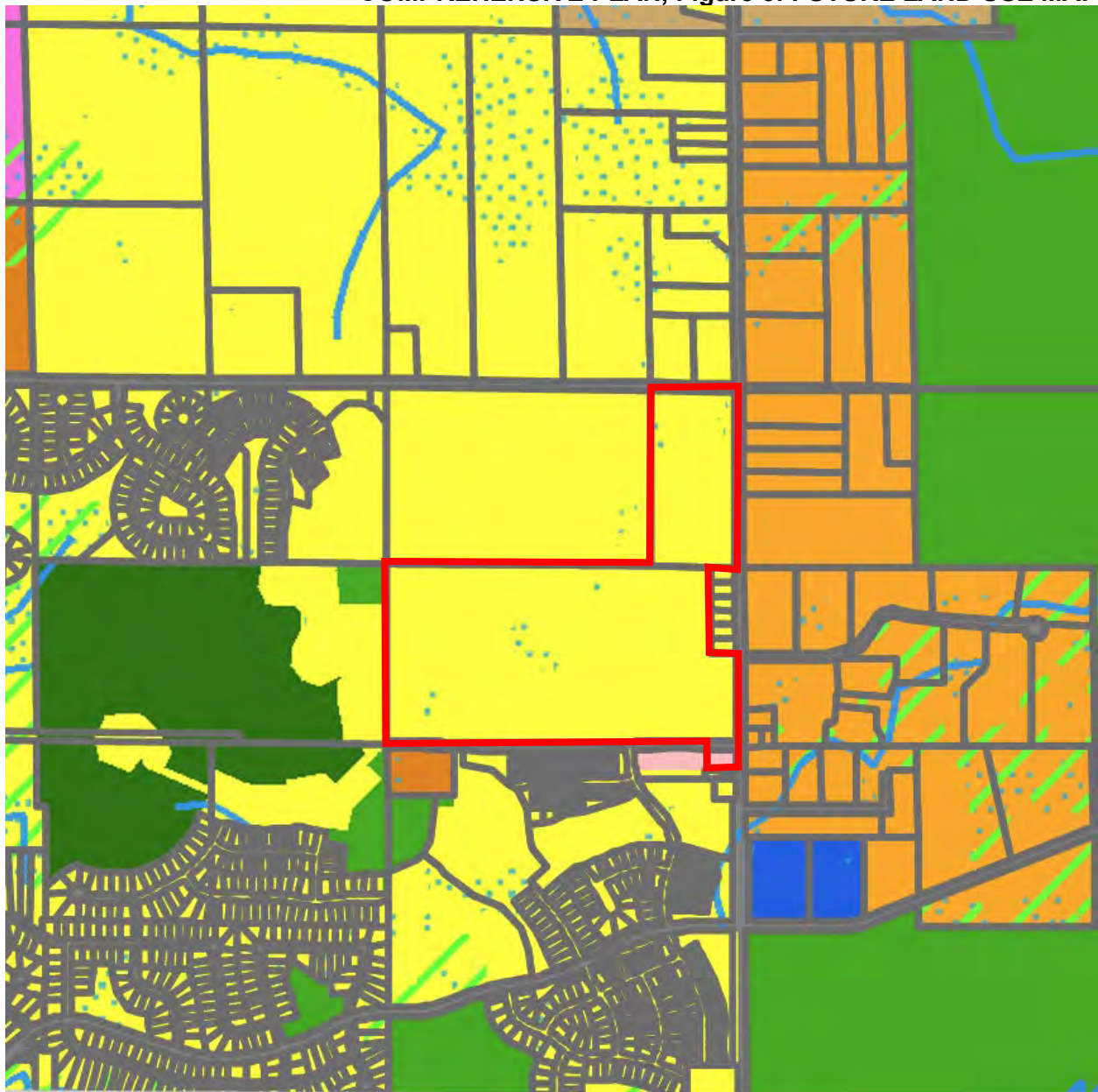
Engineering Review, Apr 2, 2025

Public Comments

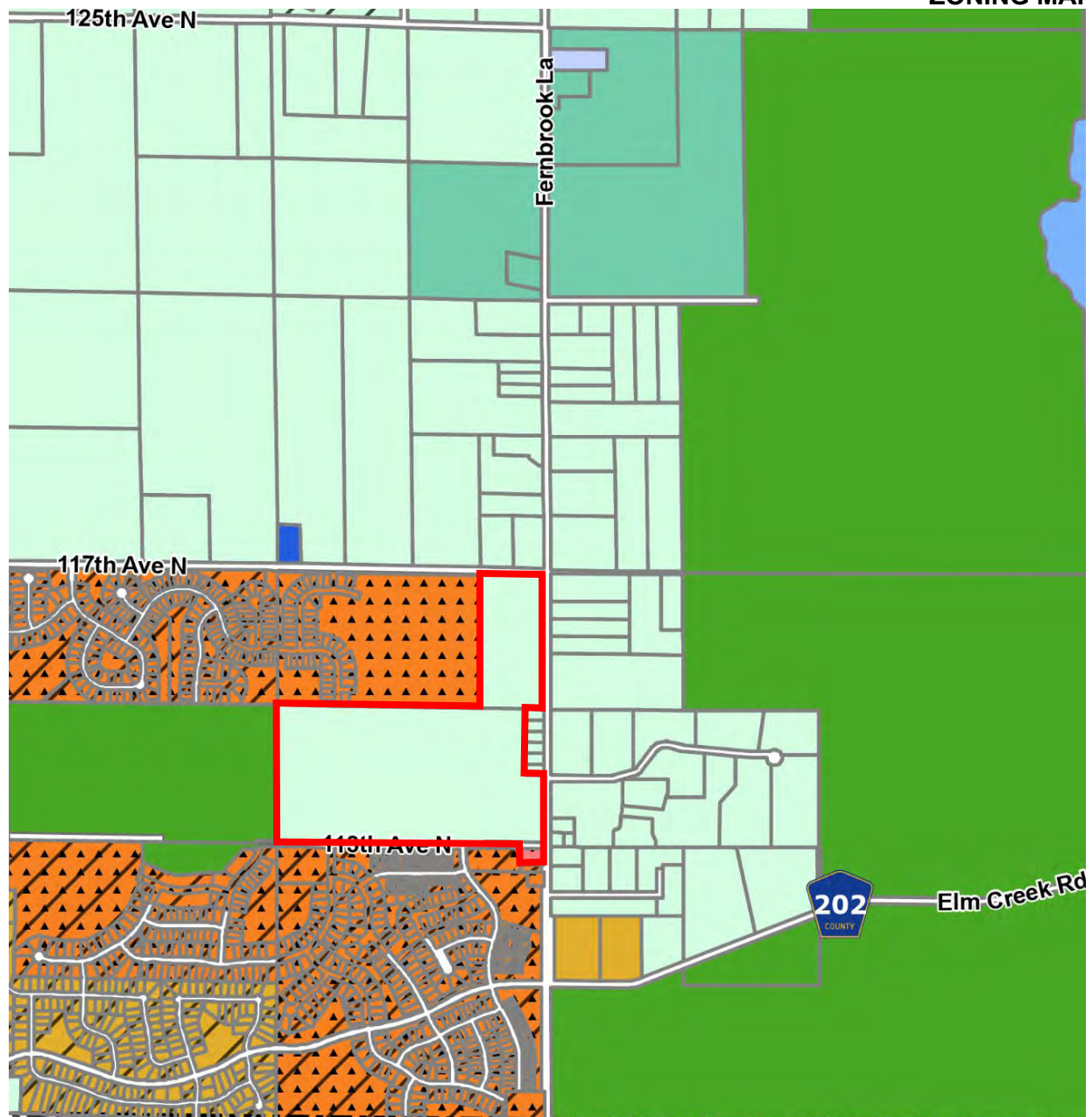
Plan Set, Feb 18, 2025



COMPREHENSIVE PLAN, Figure 3: FUTURE LAND USE MAP



ZONING MAP

**Legend**

- | | |
|-------------------------------------|---|
| A-1 Agricultural District | R-1A Single Family Residential |
| A-2 Agricultural District | R-2 Single Family District (90,000 Sf, Unsewered) |
| B-2 Neighborhood Business District | R-3 Single Family and Attached Residential |
| B-3 General Business District | R-E Single Family District (5 Ac, Unsewered) |
| B-4 Commercial/ Industrial District | R-M Medium Density Residential District |
| B-P Business Park District | R-MH Mobile Home District |
| ES Essential Service District | R-O Old Village Residential |
| GMU-4 Balsam Lane | S-A Special Agriculture District |
| GMU-5 Southwest Mixed-Use | GMU-3 Historic Village |
| I-1 Light Industrial District | City Boundary |
| P-R Public Recreation District | PUD |
| R-1 Single Family District | County Parcels |

SITE PHOTOS



Fernbrook Ln & 117th Ave (photo June 1, 2024). 117th overhead powerlines have been underground since photo was taken.



114th Ave & Fernbrook intersection, looking west (photo June 1, 2024).



Fernbrook & 113th Ave intersection, looking southwest (photo June 18, 2024).



SW corner of project, 113th Ave looking NE. Sundance Greens to right (photo June 1, 2024).



Farmstead along 113th Ave, looking north. All structures are to be removed (photo June 18, 2024).



View of Sundance Greens townhomes from farmstead looking south across 113th Ave (photo June 1, 2024).

ORDINANCE 2025-09

**CITY OF DAYTON
COUNTIES OF HENNEPIN AND WRIGHT
STATE OF MINNESOTA**

**AN ORDINANCE AMENDING THE DAYTON ZONING ORDINANCE BY AMENDING
ZONING DISTRICTS THEREIN**

THE CITY COUNCIL OF THE CITY OF DAYTON DOES ORDAIN:

SECTION 1. **AMENDMENT.** The zoning classification of the properties described in Section 2, as shown on the Zoning Map referred to in Section 1001.04, Subd 2, of the Dayton Zoning and Subdivision Code, is hereby amended from A-1 Agricultural to: R-3 Single Family and Attached Residential with PUD Overlay.

[insert legal description of residential lots]

SECTION 2. **AMENDMENT.** The zoning classification of the properties described in Section 2, as shown on the Zoning Map referred to in Section 1001.04, Subd 2, of the Dayton Zoning and Subdivision Code, is hereby amended from A-1 Agricultural to P-R Public Recreation.

Outlot A, DCM Farms

SECTION 3. **EFFECTIVE DATE.** This Ordinance shall be in full force and effect from and after its passage.

Adopted this 8th day of April, 2025, by the City of Dayton

Mayor, Dennis Fisher

ATTEST

City Clerk, Amy Benting

Motion by Councilmember _____, Second by Councilmember _____.
The Motion passes.

Published in THE PRESS on _____.

RESOLUTION 20-2025

**CITY OF DAYTON
COUNTIES OF HENNEPIN AND WRIGHT
STATE OF MINNESOTA**

**A RESOLUTION AMENDING THE COMPREHENSIVE PLAN, APPROVING A
PRELIMINARY PLAT FOR A PLANNED UNIT DEVELOPMENT OF DCM FARMS**

WHEREAS, the Applicant, Tom Dehn (Sundance Woods, LLC), submitted applications for approval of a Comprehensive Plan Amendment, and Planned Unit Development of “DCM Farms”. The applications were deemed “complete”, pending City Council Action on DCM Farms Environmental Assessment Worksheet, March 25, 2025, consistent with Minnesota Rule 15.99, Subdivision 3(e); and,

WHEREAS, the property is legally described as:

Parcel 1

The Southwest Quarter of the Northeast Quarter, Section 33, Township 120, Range 22, and the Southeast Quarter of the Northeast Quarter of Section 33, Township 120, Range 22, except that part thereof described as follows, to-wit: Commencing at the Northeast corner of said Southeast Quarter of the Northeast Quarter; thence West on the North line thereof, a distance of 209 feet; thence South and parallel with the East line thereof 627 feet; thence East and parallel with the North line thereof 209 feet; thence North on the East line thereof 627 feet to the point of commencement.

Abstract Property (Title Commitment File No. 60664)

Parcel 2

The East ½ of the Northeast ¼ of the Northeast ¼ of Section 33, Township 120, Range 22, Hennepin County, Minnesota.

Abstract Property (Title Commitment File No. 60665)

Parcel 3

The East 250 feet of the North 175 feet of the East Half of Southeast Quarter (E1/2 of SE1/4) of Section 33, Township 120, Range 22, Hennepin County, Minnesota, subject to right of public over the East 33 feet thereof.

Abstract Property

WHEREAS, Public Notice was published by THE PRESS on January 23, 2025 and mailed to property owners within 500’ of the subject property. The Planning Commission held a Public Hearing on February 6, 2025 and continued on March 6, 2025; and,

COMPREHENSIVE PLAN AMENDMENT

The application for a Comprehensive Plan Amendment was withdrawn by the Applicant (verbally). This Amendment is specific to Outlot L and Outlot K, intended for commercial use, but guided for sewered Low Density Residential. At the time development of the Outlots is proposed, an Amendment to the 2040 Comprehensive Plan will be required.

PLANNED UNIT DEVELOPMENT

WHEREAS, the Applicant requests the Zoning Map be amended from *A-1 Agricultural* to *R-3 Single-Family and Attached Residential* (underlying zoning), with an overlay district of *Planned Unit Development* (PUD); and,

WHEREAS, the purpose of a PUD is to *encourage a more creative and efficient development of land and its improvements through the preservation of natural features and amenities than is possible under the more restrictive application of zoning requirements. This section may allow deviations, under appropriate circumstances, to underlying ordinance provisions, if it is proven that public benefits are provided to mitigate any deviations* (City Code 1001.10, Subd 1 (Purpose); and,

WHEREAS, deviations from the R-3 district, and other code provisions shall include (City Code 1001.05, Subd 5(7) (minimum requirements):

	R-3 Single-Family	Proposed (40'/45'/50'/55' lots)	Proposed (65'/75' lots)
Maximum % of lots less than 62' wide.	30%	70%	30%
Minimum lot size	6,500 sq ft	4,000 sq ft	7,908 sq ft
Minimum lot width at setback	55' with all lots meeting overall average of 62'	40'	65'
Minimum lot frontage	50'	40'	65'
Minimum corner lot frontage	10' wider than adjacent interior lot	47'	66'
Maximum impervious surface	50%	55%	35%
Setbacks:			
Living area or side loaded garage	25'	25'	25'
Front porch (120 sq ft)	25'	25'	25'
Garage front	30'	25'	25'
Side yards	7.5' (for lots 62' and smaller) and 10' (for lots greater than 62')	7.5'	7.5'
Side yard corner lots	20'	25'	25'
Rear	30'	25'	25'
Maximum height (as measured from the midpoint on a hipped or pitched roof)	35'	35'	35'
Minimum setback to arterial street	50'	50'	50'
Decks and Attached Open Structures			

Front, side or rear to street	30' (50' to arterial)	25'	25'
Side	7.5'	7.5'	7.5'
Rear	15'	15'	15'

WHEREAS, consistent with City Code 1001.10, Subd 3(1), A rezoning will be required of all Planned Unit Developments. The rezoning will be applied as an overlay to the underlying zoning district and reflected as such on the official Zoning Map. The City may approve the Planned Unit Development only if it finds that the development satisfies all of the following standards:

- a. The Planned Unit Development is consistent with the Comprehensive Plan of the City.

Finding: *The PUD is consistent with the Comprehensive Plan, pending inclusion of sufficient landscape buffers, and commercial site plan review to occur at the time of further subdivision of Outlots L & K (commercial project).*

- b. The Planned Unit Development is an effective and unified treatment of the development possibilities on the project site and the development plan provides for the preservation or creation of unique amenities such as natural streams, stream banks, wooded cover, rough terrain, manmade landforms or landscaping and similar areas.

Finding: *There are no unique natural amenities to preserve. The property has been farmed for many decades. The project creates several stormwater ponds (feature), and trail connectivity to adjacent neighborhoods and contributes land towards a Neighborhood Park. The project includes a 50' landscaped buffer along Fernbrook Lane.*

- c. The Planned Unit Development can be planned and developed to harmonize with any existing or proposed development in the areas surrounding the project site. The development plan shall not have a detrimental effect upon the neighborhood or area in which it is proposed to be located.

Finding: *The PUD includes 253 single-family detached homes, with a residential density of 3.1 units per net acre. This is not uncharacteristic to the adjacent Brayburn Trails and Sundance Greens developments.*

The PUD includes 10 acres of commercial-retail. The commercial component is characteristic of the neighborhood considering its proximity to Sundance Entertainment Center. The commercial-retail is identified as Outlots K & L on the Preliminary Plat, intended for illustrative purposes only. Further review shall occur at the time of commercial development.

The PUD is uncharacteristic to the adjacent existing unsewered neighborhood (0.4 – 5+ acre lots). The project properties are in the “current” 2040 [Sewer] Staging Plan, subject to development. The PUD will include adequate buffering and screening from adjacent residential properties. The PUD includes the extension of sewer/water, which may serve six adjacent homes along the west side of Fernbrook Lane.

- d. The Planned Unit Development provides transitions in land use in keeping with the character of adjacent land use and provides variety in the organization of site elements and building design.

Finding: *The PUD includes transitions in land use such as stormwater ponds (open space viewshed) along Fernbrook Lane “framing” Dehn’s Country Mannor and the proposed gas station/convince store with direct frontage. Other commercial-retail components are interior to the project, 300”+ from Fernbrook Lane resulting in a more destination type retail/service area (e.g. limited visibility from the Fernbrook corridor).*

The PUD provides a wide variation in lot size and housing product, which would not otherwise occur in R-3 zoning.

- e. The tract under consideration is under single ownership or control.

Finding: *The project is under control of the Applicant.*

- f. Public benefits shall be included in each development and considered as part of the review of the overall Planned Unit Development and as an opportunity to support any deviations from the primary zoning ordinance provisions and performance standards. Public benefits, that may be considered, include but are not limited, to the following:

1. Preservation or creation of increased public or private open space (above what is excluded in net calculation).

Finding: *The PUD does not include creation of significant open space beyond what would be required under R-3 zoning. The PUD includes a looped trail which traverses Drainage & Utility easements, and Outlot D (stormwater pond). Due to the size of the project (91 acres), it is likely a looped trail would occur without the benefit of a PUD.*

The PUD can incorporate public/private open space in the commercial-retail component. Recommendations have be provided by the Planning Commission (March 6, 2025), and Park Commission (March 4, 2025).

2. Increased park land dedication beyond the required park dedication amount when land is required by the ordinance.

Finding: *The PUD includes dedication of Outlot A (3.2 acres) for public park land, in addition to paying full Park and Trail Dedication fees.*

3. Expansion of existing open space or open space corridors and/or linking open space corridors beyond borders of the site.

Finding: *The PUD includes a trail corridor along the overhead powerline corridor, and provides trail connections between Brayburn Trails and Sundance Greens neighborhoods.*

4. Preservation of existing natural resources, the sites natural topography, existing buffers and woodlands (as may be mapped as the greenway corridor on the land use plan) beyond minimum required by ordinance.

Finding: *There are no natural resources or unique features to preserve.*

5. Site amenities: private parks, enhanced pedestrian scale and decorative street lighting, tot lots, trails (above what is required by ordinance), recreational facilities, community center, pools or other on-site amenities which serve the entire development.

Finding: *The PUD does not identify any private amenities or recreational facilities not required by City Code or the Comprehensive Plan (Figure 7.7 Comprehensive Park Plan, Figure 7.9 Comprehensive trail plan). Conditions of this Resolution include requiring amenities (Two gazebos, one with a pier. Benches along trails. Enhanced landscaping at trail intersections), as recommended by the Park Commission (March 4, 2025).*

6. Stormwater re-use system for common area and individual lots irrigation system.

Finding: *The PUD does not address stormwater/irrigation re-use systems.*

7. Multiple development wide enhanced entry features including the following elements: monument signage with decorative lighting, water feature and enhanced entry landscaping surrounding the monument.

Finding: *The PUD does not address entry features.*

- g. The Planned Unit Development will not create an excessive burden on parks, schools, streets, or other facilities and utilities that serve or are proposed to serve the Planned Unit Development.

Finding: *The PUD (includes future commercial) will generate 10,890 average daily trips (ADT). Peak hour (7:30-8:30 AM) = 1,123 ADT. The Applicant will construct a roundabout at Fernbrook and 114th Avenue and contribute funds towards future improvements at Fernbrook and 117th Avenue. The Fernbrook and Rush Creek Parkway intersection (off-site) currently functions at a Level of Service of F (A-F scale) (westbound) and will continue to do so after this project (east & westbound). The PUD will create an excessive burden on the Fernbrook Lane (Co Rd 121) & Rush Creek Parkway intersection.*

NOW, THEREFORE, in consideration of the Staff Report, public testimony, and Planning Commission recommendation, the City Council APPROVES the Planned Unit Development of DCM Farms with the following conditions:

1. Landscaping and buffering along Fernbrook Lane, 114th Avenue, and 117th Avenue shall meet or exceed the minimum standards of City Code, and shall preserve or provide a landscaped viewshed of open space (stormwater ponds) and landscaped buffers of sufficient width and height (berming along Fernbrook).
2. Prior to Final Plat approval, the Landscape Plan, dated February 24, 2025 and associated plans shall be revised to include amenities as recommended by Advisory Commissions, and confirmed by the City Council. Such amenities shall exceed those required by the underlying R-3 district design standards. It is understood that the commercial-retail component is intended to be platted as Outlot K & L, to be subdivided at a future date, to include Site Plan review at that time. However, as a PUD, it is intended that commercial site planning be cohesive with the neighborhood such that the “cohesiveness” should include design guidelines at time of PUD approval. The commercial-retail component shall be included as a PUD. The B-2 zoning district is the PUD’s guideline.

3. Permitted, Conditional, and Interim uses shall be consistent with those of the R-3 district (residential lots). Permitted, Commercial, and Interim uses for Outlots K & L are to be determined at the time of rezoning.

PRELIMINARY PLAT

WHEREAS, the Applicant requests Approval of the Preliminary Plat of DCM Farms consisting of 253 single-family lots; and,

NOW, THEREFORE, in consideration of the Staff Report, public testimony, and Planning Commission recommendation, the City Council APPROVES the Preliminary Plat of DCM Farms with the following conditions:

1. Prior to Final Plat approval, the Applicant shall revise plans to comply with the City Engineer's letter, dated April 2, 2025.
2. The Applicant shall dedicate Outlot A as park land, in addition to paying full Park and Trail Dedication fees.
3. The Applicant shall fully fund the Fernbrook Lane and 114th Avenue roundabout, and related improvements. Details will be provided in the Development Agreement.
4. The Preliminary Plat shall be revised to include right-of-way to accommodate a roundabout at Fernbrook Lane and 117th Avenue. The Applicant shall contribute funds towards future improvements to this intersection. Funds shall be proportional to estimated traffic contribution. Details will be provided in the Development Agreement.
5. Prior to Final Plat approval, plans shall be revised to include a gazebo and pier on Pond #4, a gazebo at Pond #2. Additional landscaping (shrubs and perennials) at/near the gazebos and entrance monument. The 114th Ave median shall include landscaping. The sidewalk along Glacier Ln between 114th Ave and trail connecting to Outlot L shall be changed from a sidewalk to an 8' trail.

Adopted this 25th day of March, 2025, by the City of Dayton

Mayor, Dennis Fisher

ATTEST

City Clerk, Amy Benting

Motion by Councilmember _____, Second by Councilmember _____.
The Motion passes.

To:	Jon Sevald	From:	Jason Quisberg, Engineering Nick Findley, Engineering Ben Otto, Engineering
Project:	DCM Farms Preliminary Plat	Date:	4/2/2025

Exhibits:

This Memorandum is based on a review of the following documents:

1. Preliminary Plat Plans by Sathre-Bergquist, Inc., dated 1/6/2025, 33 sheets
2. DCM Farms SWMP by AE2S, dated 2/21/2024, 2051 sheets
3. Alta Survey by Sathre-Bergquist, Inc, dated 3/25/2024, 5 sheets
4. Landscape Plans by Pioneer Engineering, dated 12/18/2024, 5 sheets

Comments:General

1. Consistent with the review process, a comment response letter shall be provided in response to the following comments provided in this Memorandum in which the applicant provides a written response to each item.
2. In addition to engineering related comments per these plans, the proposed plans are subject to addition planning, zoning, land-use, and other applicable codes of the City of Dayton.
3. Final approval by the Elm Creek Watershed Management Commission must be attained before any site grading or activity may commence.
4. For any site activity (demo, grading, utilities, etc.) no closures or restrictions of any kind shall be imposed upon the public use of 113th, 114th, and 117th without the City's permission and Fernbrook without the City's and County's permission. Should any lane restrictions be necessary, the Contractor shall notify the City at least 48 hours in advance and provide a Traffic Control Plan.
5. Improvements are shown within adjacent properties to both the north and west of the site. Ensure necessary agreements are in place prior to work taking place.
6. Publicly and privately maintained facilities (streets, utilities, detention ponds, etc.) will need to be identified clearly, including maintenance responsibilities (City, HOA, etc.). Regardless of if the area is public or private it will have to be built to city standards.
7. Development is currently taking place on adjacent sites, coordination and changes may be required as design/construction continues.
8. Along the eastern edge of the site there are existing overhead utilities. The undergrounding of these utilities is to be evaluated, and applicable costs discussed.
9. Coordination will be required as the park plans develop for the area shown in the northeast corner of the site.
10. Include all relevant detail plates with future submittals.

Plat

11. The previously requested 50 x 50 right of way triangle has been provided. The city is in the process of looking into configurations for improvements to the 117th and Fernbrook intersection. It is anticipated additional right of way may be required, which may impact the proposed design of this project. Actual needs are still being determined; potential plat modifications will be coordinated.
12. Ensure all trails not located within city owned outlots have easement over the entirety of the trail. The easements shall have specific language regarding trail related pHOA agreement and other documents, but the easement will still be required to be filed with the county.
13. Multiple locations show less than 10' of drainage and utility (D/U) easement on both sides of proposed storm utilities. The list below is to provide examples and is not inclusive.
 - o Northeast corner of Lot 70
 - o Southeast corner of Lot 69
14. The proposed site plan does not appear to include an alley easement along the back of the existing lots along Fernbrook. If a future alley is to be accommodated appropriate easements including specific language related to the alley will be required. The extension of utilities along the alley corridor as a part of the proposed work should be discussed. Additional discussion with the Planning Department is required.

Transportation

15. The access location to Outlot L will be determined when the land use is identified. We recommend the currently proposed access and associated turn lane striping is removed from the plans.
16. 113th/114th shall be an Urban Collector meeting all of the design standards laid out in the detail plate including the width of street and right of way.
 - o The right of way proposed is acceptable as proposed except the 80' ROW shall continue through Outlot K and the 40' road width shall be extended to the western edge of the property.
17. Provide street drain tile per standard detail plate STO-13A.
18. Currently profiles are not provided for the streets proposed within this development. Ensure the slopes, curves, design speed, and other design considerations meet the requirements of the appropriate standard detail. Profiles will be required as a part of the final plat submittal.

Site Plans

19. Provide no parking in cul-de-sac signs at the throat of proposed cul-de-sacs per the standard detail plate.
 - o No parking signs have been added. Revise to be singular "NO PARKING IN CULDESAC" sign in the location shown in STR-08.

20. Speed limit signs are to be provided at the entrance to the proposed residential development (Kingsview and Glacier Lane), along 113th/114th, and exiting the proposed roundabout (both north and south) of the proposed roundabout.
21. Provide centerline and fog line striping along 113th/114th Ave.
 - o East of Glacier fog line striping has been added but it appears a center double yellow is missing. Center double yellow and fogline striping is required for the portion of the street located west of Glacier Lane.
22. The proposed roundabout at the intersection of Fernbrook and 114th Ave provides a site layout with limited grading or other information. Further evaluation, as the City and County provide input, will have to be completed.
23. Along the south side of the roundabout proposed curb, where it ties into the existing Fernbrook corridor, if the drainage flows towards the transition provide ribbon curb. The concern is washouts from the concentrated flow when it leaves the curb.
24. Remove the trail stub proposed north of 11471 Fernbrook Lane and provide curve in lieu of the 90-degree bend shown in the trail currently.

Grading /Stormwater

25. Show all existing overland flow path (drainage arrows) on existing conditions drainage figure.
26. The current plans do not show filtration/abstraction in accordance with ECWMC rule D 3.C. The applicant may wish to discuss with the watershed on if rules are met or if alternative compliance is needed.
27. Final plat will require rational method calculation tables for storm sewer. These calculations should show at a minimum the following:
 - a. Drainage areas
 - b. Runoff coefficient
 - c. Rainfall intensity
 - d. Pipe Cover
 - e. Velocities
 - f. Pipe capacity
 - g. Individual inlet inflows
 - h. Cumulative flows
 - i. Matching crowns where possible
 - j. Spread calculations including bypass flows
28. Provide an inlet drainage area map matching the rational method tables.
29. Submit storm profiles during final plat submittal. Final stormsewer design will be reviewed when final plat profiles are submitted showing detailed information. Additional revisions to plans may be required.
30. Inlets F23 to F22 are shown on the plans but not provided in the storm sewer table. V6 is provided in the storm tables but is not shown on the plan sheets. Ensure the table and the plansheets are consistent.
31. Provide casting type for each structure as a part of the label or in a structure table.

32. Show all EOF labels and overflow direction. EOF elevations at all low road point (sags) and ponds need to be shown.
33. Pond 2 EOF is shown at an elevation of 928.0. Houses around the pond shall be raised to have a minimum separation of 1' between the EOF and the low opening or provide piped EOF at 1' above the 100-yr HWL elevation.
34. Provide redundant equalizer pipe between Pond 3 and Pond 4.
35. A minimum of 3.0' of cover underneath paved surfaces and 2.0' of cover in non-paved areas for storm sewer is required. This will be reviewed as a part of the final plat submittal when profiles are provided but an example of where this is not met is structure F8.
36. Provide sumps in the first manhole upstream of ponds that is located within the street.
37. Provide horizontal separation of a minimum of 8' between the proposed equalizer pipe and storm run I2-I1.
38. The storm table shows connecting Pond #4 and #5, while the plans do not show those ponds are connected. Also, the length of run shown in this table may also require a midspan structure to allow for jetting and other maintenance activities.
39. Move proposed storm sewer running along Lots 7, 8, and 9 to be along the property line with appropriate easement.
40. Pond 4 does not show an EOF therefore Pond 3 EOF elevation of 928 would dictate the LO of adjacent homes. Provide a minimum of 1' of separation between the EOF and LO of adjacent homes around Pond 4. Proposed EOF may need to be lowered to accommodate homes proposed for Brayburn Trails East on north side of pond.
41. A minimum of 1' of freeboard between the HWL and EOF and an additional 1' from the EOF to the top of berm is required. For example, Pond 5 only has 0.1 feet of freeboard. The applicant should adjust the ponds, berm, or trail as necessary to meet this requirement.
 - o The request for a variance has been considered and will not be allowed. The freeboard requirements shall be met.
42. Provide double inlets at all sag points during final plat where spread calculations exceed ½ driving lane + shoulder.
43. Multiple storm sewer runs (U1, U2, A1, A2, R1, R2, and R3) associated with Pond 1 are not shown in the detailed plansheet view, revise to include. Specifically, the legend is covering this area, making it only visible on the overall plansheet.
44. Provide backyard sump connections where lots do not back up to a pond or wetland. An example of this is along the park area.
45. Provide profiles for all non-street trails showing they are in ADA compliance (less than 5%).
46. The P8 watersheds with connected impervious fractions are shown as vacuum swept. All impervious should be calculated as non-swept.
47. Provide pedestrian ramp details including slopes and spot elevations for all pedestrian ramps.

48. Near Lot 248 grading is shown at 2:1 near the tie in, revise grading to ensure a smooth transition is maintained.
49. Grading along 114th Ave N, near the proposed entrance to Outlot L does not match the site plan.
50. Grading along drainage swales to be a minimum of 2% and a maximum of 4:1 in maintained areas. Multiple areas are shown as less than 2%, if 2% is not able to be maintained a perforated pipe swale needs to be installed per STO-13. Multiple areas show greater than 4:1 slope in maintained areas.
 - o A request was made to allow for 1% along the home between the gutters, with the areas taking drainage from the gutters being at 2%. This would be allowable but a perforated pipe swale meeting STO-13 would still be required within the area at 1%.
51. There are multiple areas where there appears to be a high point in conflict with drainage arrows, an example of this is in the backyards of Lots 30 and 31. Revise to ensure drainage is shown clearly.

Watermain/Sanitary Sewer

52. Any/all existing septic systems and private wells on the property shall be removed and abandoned in accordance with applicable rules and regulations as they are determined to be unnecessary to service the existing homes. Plans shall depict the removal/abandonment of these systems and future connections to utilities.
53. Utility profiles will be required as a part of the final plat. They are to provide all necessary design information including but not limited to rim, invert, slopes, crossings, fittings, hydrants, etc.
54. Ensure any proposed drop structures in accordance to standard detail plate SAN-03, including the use of a liner.
55. It appears that the rim elevations are not accurate in the sanitary sewer table.
56. Using a consistent slope for sanitary sewer runs are recommended for constructability.
57. Ensure sanitary sewer structures are located outside of trails and drive lanes.
58. Provide midspan valves between the location listed below to limit residents affected during shutdowns.
 - o Harbor Lane between 115th and tie into northern development.

Landscape

59. Grading greater than 4:1 is shown in landscape buffer area along the northwestern edge of the site.

End of Comments

From: cgoodman101@comcast.net
To: [Jon Sevald](#)
Subject: Concept Plan DCM Farms
Date: Monday, September 23, 2024 8:22:27 AM
Attachments: [image002.png](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good morning, Jon.

Pleasure to chat with you last week.

I intended on going to the meeting tomorrow, but looking at my calendar, I have a Twins game I have to go to so I'll be unable to attend the meeting tomorrow.

I just wanted to make sure as a homeowner in the Sundance Greens development I would be opposed to any type of apartment plan in this development. I think it would be safe to say that a majority of new residents would be opposed to this type of development as well.

If you could keep me in the loop on any meetings regarding this development, thanks.

 	<p>Chris C Goodman</p> <p>Phone: (763-493-5621) Mobile: (612-708-7795) Email: cgoodman101@comcast.net</p> <p>10928 Harbor Lane No Dayton, MN 55369</p>
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11320 Fernbrook Ln. N.

Osseo, MN 55369

Jan.11, 2025

City of Dayton

Attn.: Jon Sevald

City of Dayton

12260 S. Diamond Lake Rd.

Dayton, MN 55327

Dear Jon

I live across the street from the DCM site. I am against the building of a gas station/convenience store there. All the current houses in this neighborhood have wells. That is the only place we get water from. This gas station will be built next to a holding pond. Holding ponds fail with alarming regularity. The two already in our neighborhood (next to Allen Dehns house and the Church on the corner of Fernbrook and Elm Creek Road) have already presented problems. Currently there are 5 houses in the neighborhood with water problems either on their property or in their houses.

When does the city plan to bring city water and sewer to the homes along and near 113th and Fernbrook Lane? If no plans are made, then you are forcing the residents of these homes to rely only on groundwater. Water is necessary to life. This groundwater provides these parents and children with water to drink, water to cook with, wash dishes with, water to shower with, wash their hair with and bathe in. This ground water is also used to water gardens, water pets and livestock, and to swim in. These wells provide life to the residents. So if the City allows a company to set up shop with the potential to pollute this life line to the citizens, who is responsible? The residents poisoned surely are not. They did not want it. The business is responsible, and the developer is responsible, and will be held responsible. The city is especially responsible, as they are not giving the residents any alternative to protect themselves. Also, there is no plan for commercial development in this area on the 2040 comp. plan. So either you stick with that comp plan or you just throw the whole thing out the window. In that case, the residents are free to do as they please with their property because there is no plan.

Does the city have the responsibility to protect its residents? The proof is a resounding yes. The city has speed limits. The city plows roads. The city has a police department. The city has a fire department. The city has all kinds of rules and regulations. Just recently a man got ticketed for having 3 boats in his back yard. (Does the city think that a person having 3 boats in their back yard is worse than a gas station poisoning the wells of a dozen people at the minimum?) This all says that the city accepts responsibility to protect the health and security of the residents. With six or seven other gas stations within 2-5 miles, is the city doing its job protecting the safety and security of these residents if it allows a gas station in the middle of a neighborhood where all the residents have no choice but to rely on groundwater that will in all likelihood get poisoned? And you can't say it won't. There are currently at least 5 properties in this neighborhood recently battling water problems on their land and/or in their houses. Leaking holding ponds have already occurred at two relatively new locations in this neighborhood.

Would you want a gas station next to a holding pond across the street from your well?? Every time it rains, the pollution flows into the holding pond. Every time it snows the plows push the garbage and pollution into the ponds.

There are currently 4 gas stations within 2-5 miles of Fernbrook Ln. and 113th, (one by the elementary school, one at the trailer park, one at 113th in the industrial area off Co. Rd. 81, and one by Target), another under construction at I94 (another Kwik Trip) and yet another developer wants to put one on the freeway by his apartment complex and Dayton Parkway (which makes 2 at I94 and Dayton Parkway). Counting the one proposed by Tom Dehn, that will be 7 total. All within a 2-5 mile radius of 113th and Fernbrook Lane. 7 gas stations within 2-5 miles of 113th and Fernbrook LN. Let that sink in. SEVEN GAS STATIONS IN SOUTH DAYTON. Does the City really have a need for 7 gas stations/convenience stores and all south of S. Diamond Lake Rd. **with 6 being south of 117th** ? Do we really need one in the middle of a group of homes that use groundwater as their only source of water?

Let's talk about the noise, traffic and the lights. The constant noise of motors turning off and turning on. The constant glare of lights beaming through my windows. I won't be able to have my windows and doors open for any fresh air. The noise and the traffic will be unbearable. What about that traffic? We were at the Kwik trip last Monday afternoon and the pumps were all in use. The parking in front on the store was almost unavailable. I have pictures of that:



On a Monday afternoon at approximately 1 pm. There was also a man standing outside to store holding a HOMELESS sign, and every time a person approached the store he would shout out "HOMELESS!". Is this what you want in the middle of a housing development or put in amongst houses that rely on groundwater for their lives? I urge every one on the council to go take a look at that and then imagine it on **a two lane road** among homes that have to put up with the noise, the lights and the pollution.

I believe that this gas station/convenience store would be better off closer to the industrial sector, not amongst people trying to enjoy their lives in houses that they worked very hard to have. How would you like all this next to your house? Just imagine that.

Keith and Marcia Grover



From: [Nadine Johnson](#)
To: [Jon Sevald](#)
Subject: FEB 06: Planning Commission Comments (please add to meeting packet)
Date: Saturday, February 1, 2025 3:34:20 PM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Mr. Sevald:

We would like to submit the following letter of concern and opposition to the Dayton City Planning Commission for the upcoming session on February 6, 2025. We are out of town and not able to be there in person. Thank you for sending the notification and for giving us the time and space to contribute.

Nadine and Dan Johnson
13620 114th Avenue N
Dayton, MN 55369

February 01, 2025

Dayton City Planning Commission
12260 South Diamond Lake Rd
Dayton, MN 55327

Subject: Opposition to Proposed Mixed-Use Subdivision PUD

Dear Dayton City Planning Commission:

Thank you for your time and commitment to planning for the long-term success and identity of our city. We appreciate the careful consideration you give to development proposals to ensure they align with the city's overarching goals. With that in mind, we urge you to reconsider the proposed mixed-use subdivision PUD (proposed by Mr. Dehn) and evaluate whether it truly reflects the vision and character of our community. Below are our primary concerns regarding this development:

Road Concerns:

- The increased traffic volume on Fernbrook Lane (Cty Rd 121) will exacerbate congestion, creating safety and efficiency issues for existing residents in the area, but also for those throughout Dayton as this is a main thoroughfare going north/south.
- The proposed new roundabout intersection at 114th Avenue is too small to accommodate the anticipated increase in traffic, potentially leading to more bottlenecks instead of improved flow.

- The proposed roundabout is poorly located, creating unnecessary disruption to traffic patterns and making access difficult for nearby properties.
- Has a comprehensive traffic study been conducted to support the necessity and functionality of this design on a main county road?
- Existing homes along Fernbrook Lane will experience significant difficulty entering and exiting their driveways due to the increased traffic bottleneck. We all experience the traffic bottleneck and safety issues at the Fernbrook Lane (Cty Rd 121) / Territorial roundabout which has been known to back up to the intersection at 81 (and down the turn lanes) on the south and to the top of hill near Rush Creek Pkwy on the north.
- **Proposed Solution:** Remove the exit point at 114th and instead construct a larger, more capable roundabout at the intersection of Fernbrook / Rush Creek / Elm Creek to better accommodate traffic flow and safety. This minimizes the exit points on Fernbrook and reduces safety risks. The residents in this new proposed development can drive through the existing neighborhood and flow out in a safer and more efficient manner.

Commercial / Retail Concerns:

- The proposed retail spaces do not align with the best use of zoning for this area, potentially leading to underutilized or vacant commercial properties.
- Studies show that small retail strips in predominantly residential areas have high vacancy and bankruptcy rates, raising concerns about long-term sustainability.
- The potential increase in traffic volume from commercial businesses will overwhelm current road infrastructure, which is not designed to handle a commercial hub of this size.
- The roads leading into and out of this development are not built to sustain the projected business traffic, leading to further congestion and potential safety hazards.

Housing Concerns:

- The addition of 260+ housing units will introduce well over 500+ new vehicles into a small area, placing excessive strain on Fernbrook Lane (Cty Rd 121), which is not designed for such capacity. This road is single-lane in both directions with a very small shoulder on each side.
- Does the city truly want to encourage an "overgrown" look with high-density housing that does not align with the existing character of the community?
- Would the developer consider increasing lot sizes and decreasing the number of housing units to better balance growth while preserving the city's existing feel?

We sincerely appreciate your willingness to listen to residents who care deeply about the identity and culture of our city. Thoughtful planning is essential to maintaining the unique charm and functionality of the city that we all love, and we urge you to weigh these concerns carefully before approving the proposed development.

Thank you for your time and consideration.

Sincerely,

Nadine and Dan Johnson
13620 114th Avenue N
NadineAJohnson@yahoo.com

Subject: DCM Farms

I would like to go on record that the Powers Residents at 11461 Fernbrook Lane N are opposed to having Commercial / Retail as part of the DCM Farms Plan.

1. The traffic on Fernbrook Lane has not been addressed to handle any type of commercial industry, let alone the traffic from the 267 detached residential homes that DCM Farms are proposing.
2. The 267 detached residential home could bring in traffic from an additional 500 vehicles,
3. Commercial traffic, pollution and litter from gas stations, Convenient store or any other retail dwelling could bring in additional traffic from cars, bicycles or walkers. This type of traffic would be a hardship on the the residences on Fernbrook, especially those that live at or near:
 - a. 11471 Fernbrook Lane
 - b. 11461 Fernbrook Lane
 - c. 11451 Fernbrook Lane
 - d. 11441 Fernbrook Lane
 - e. 11431 Fernbrook Lane
 - f. 11421 Fernbrook Lane
 - g. Also residents on the east side of Fernbrook across from the proposed commercial site
4. A resident at 11471 is having drainage issues that appear to be caused by previous residential buildings. Their sump pump runs 24/7 and fills up the ditch at 11461 preventing the 11461 resident from mowing.
5. Drainage behind 11451 Fernbrook Lane has issues when it rains and the snow melts, the field doesn't dry out for days.
6. There are also concerns for increased light pollution. This could also cause stress on nearby families trying to put children to bed or others just trying to get a good night sleep.
7. Put yourself in Mike and Sue Hernandez place, owning the property on 11421 Fernbrook Land, Having a commercial/retail site on the proposed Land next to their home would certainly be stressful and anoying not to mention the roundabout that is being proposed,
8. Have you all been out to see the DCM Farms site? Take a drive and walk the site and imagine your home next or near the site,
9. Also we noticed that the residents moving into DCM Farms only have one exit out of the site and the other exit would need to go through Brayburn residents and exit on 117th.
10. What are all the green lines on the map?

Thank you for your attention and we look forward to your comments.

Robert and Kathleen Powers
11461 Fernbrook Lane
763-420-4438
rknmp4750@gmail.com

From: [Sarah Jackson](#)
To: [Jon Sevald](#)
Subject: Sundance Woods
Date: Wednesday, February 12, 2025 10:22:57 AM

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Hi Jon,

I live in Sundance Greens, within 300 ft of the proposed rezoning at DCM Farms / Sundance Woods - on the north side of 112th Ave N. I'm writing to express my opposition to this rezoning and the building the residential and commercial space on this land.

The beautiful open space near my home is a large reason why I chose to buy in Dayton. I was considering other homes in Maple Grove, but ultimately wanted to be nearer to open green space instead of completely surrounded by commercial buildings, residential streets, traffic, and noise. The proposed rezoning of this space will negatively impact the enjoyment of my property, both short-term (during the lengthy construction process) and long-term (traffic, noise, loss of open green space). I also fear a decrease in property values as a result of this proposed rezoning.

Thank you,
Sarah Jackson
112th Ave N homeowner

February 13, 2024

Janet Scherer
11580 Fernbrook Ln N
Maple Grove, MN 55369

City of Dayton
Attn: Mr. Jon Sevald
City of Dayton
12260 S Diamond Lake Rd
Dayton, MN 55327

Re: **DCM Farms Proposal**

Dear Mr. Sevald,

I am Janet Scherer and live at 11580 Fernbrook Ln N. I have lived in Dayton for 37 years as a law abiding tax paying citizen. I have watched the February 6, 2025 Planning Commission Meeting and would like to mention some concerns I have with the proposed DCM Farms development. I believe the only appropriate use of the undeveloped land that is left of the farm field is for housing and amenities for the citizens who live there now and in the future.

✚ **10,890 additional** traffic trips per day from this proposed completed development is going to need some immediate attention. I believe the quality of life of residents regarding transportation will affect many in Dayton. For the next 5 years or more the current stop signs will remain in place and the new homebuyers and business employees will need to wait their opportunity to turn at the stop signs currently in place. You need to realize that. I am considering buying more “toys” so I can move around in the neighborhood. With a moped I can get to where I’m going if the roads are jammed. Perhaps I will build or purchase some sort of legal vehicle for winter so I can bypass the cars creeping along the County roads in a traffic jam. I was one of those people who crept home on 81 prior to its expansion. I just waited my turn to creep home Mon. - Fri. in the morning and afternoon rush hours. The completed development looks awesome for scooting around with various “toys” (*thinking...thinking*). It looks like a super fun racetrack I can zip around in with “toys”. The City of Osseo had a population of 2,669 as of July 1, 2024. This completed development is going to generate as many residents (if not more) as the population of Osseo, MN! I hope the children have plenty to keep them entertained but am unsure what is available to them in the future. Provide a safe place to play and be entertained. Bowling and golf are very close by and a plus.

✚ Please consider increasing lot sizes and decreasing the number of housing units for better harmony among residents. I feel very strongly the NE corner (117th & Fernbrook) portion of the proposal is too densely populated to provide harmony to the homeowners. That intersection is going to be **very, very** loud and be a perfect place for a deaf person to

purchase a home. I'm positive the buyers will be regretful of their purchase due to noise. It's very loud currently and being in my front yard is not pleasant. But we have to live with it and my back yard is where I want to be anyway. Please ensure that parking spots accommodate residents and their guests conveniently in the finished product.

- ✚ Please note the deer crossing sign and its location on Hennepin County 121. It is the only sign on the north side of 81 in Dayton or Champlin indicating a deer crossing. And they cross there. One winter night we heard a gunshot that got our attention. Injured deer was in our driveway that had to be put down. Officer on duty took care of it as needed and utilized the meat somehow. Good job and thankful it was removed from our driveway so quickly. Many deer have caused vehicle accidents and been killed on the 117th/Fernbrook area. And when it's icy it is risky for the officer or accident victim with a disabled vehicle to be out standing on Hennepin County 121.
- ✚ I have concerns with the added burden to local schools and community services such as fire, police, City of Dayton employees, the tax burden as well as the Trump Administration's current assault on the federal government.
- ✚ I have attached a photo of a park rental building in a small neighborhood park in Robbinsdale, MN. I feel something like it would be an amenity that would be very well received by all residents of DCM Farms. Limited parking spots around Robbinsdale's shelter rental keeps the attendee numbers down. The park shelter (photo attached) was used for a graduation party I attended and it had bathroom, small kitchen/sink area, chairs and tables to rent. I think that's just what needs to be included at DCM Farms if possible.

I feel the Mayor, City Council Members, Planning Commissioners and our City employees are doing a good job and have raised appropriate concerns on the DCM Farms development. I appreciate their work on the difficult issues we face now and in the future.

Best regards,

Janet Scherer

Law abiding tax paying citizen of Dayton, MN for 37 years

11580 Fernbrook Ln N

Maple Grove, MN 55369

jrscherer@embarqmail.com

Attachment



Park facility rental at Sanborn Park located behind North Memorial Medical Center in Robbinsdale, MN for small gatherings

From: [Terry Verness](#)
To: [Jon Sevald](#)
Subject: RE: questions on meeting site plan for DCM Farms.
Date: Tuesday, February 25, 2025 10:50:35 AM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)
[1.0 - Site Plan - Prelim.pdf](#)

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Good Morning

Is the next meeting regarding the site plan for DCM Farms in March on the 6th?

I want to stay informed, as I was at the meeting Feb 6th.
And have concerns, as do many of the residents on Fernbrook lane and the side roads running along the DCM farms development land

1. Traffic!
2. Commercial bldg.,. No. just No.
3. Stuffing 266 more homes onto 90 acres. Why. . The developments in process have open homes for sale. NO need for 266 more stuffed in homes on small lots. We are rural. That is not rural. Living.
4. Dayton/ Maple Grove, the county or someone already blocked off the access from the other development by 81 at the light . They built a road for the development and then Closed it.
5. Adding MORE traffic at the messy roundabout close to 81 along the new home builds and the apartments/ townhomes
It's a mess. Bad weather days. Backed up. People stuck waiting to get thru., it's a mess.... Yet they closed and TORE out the other road.... Why. Again. 266 more homes. Will affect all of this. Plus, if they do commercial bldg., we don't want it.
- 6.. Wear and tear on Fernbrook Lane. Adding additional traffic and congestion to an already BUSY road AND there was - accident just this morning next to Dehns Country Manor / and Sundance Road.

7. We all have Wells. We don't need more run off and ground contamination. We don't want a gas station, and other business crowding our rural life. I live backed up to the park reserve. We Want to maintain a park reserve lifestyle.

Thank you and if you have any information on the next steps and or planning meeting with DCM bldg.

Let us know.

I think its odd only 6 (ish) homes were told in advance of the bldg. and or planning. Seems wrong since its affecting EVERYONE living within the 4 / ish miles distance along Fernbrook and such

-thanks
Terry

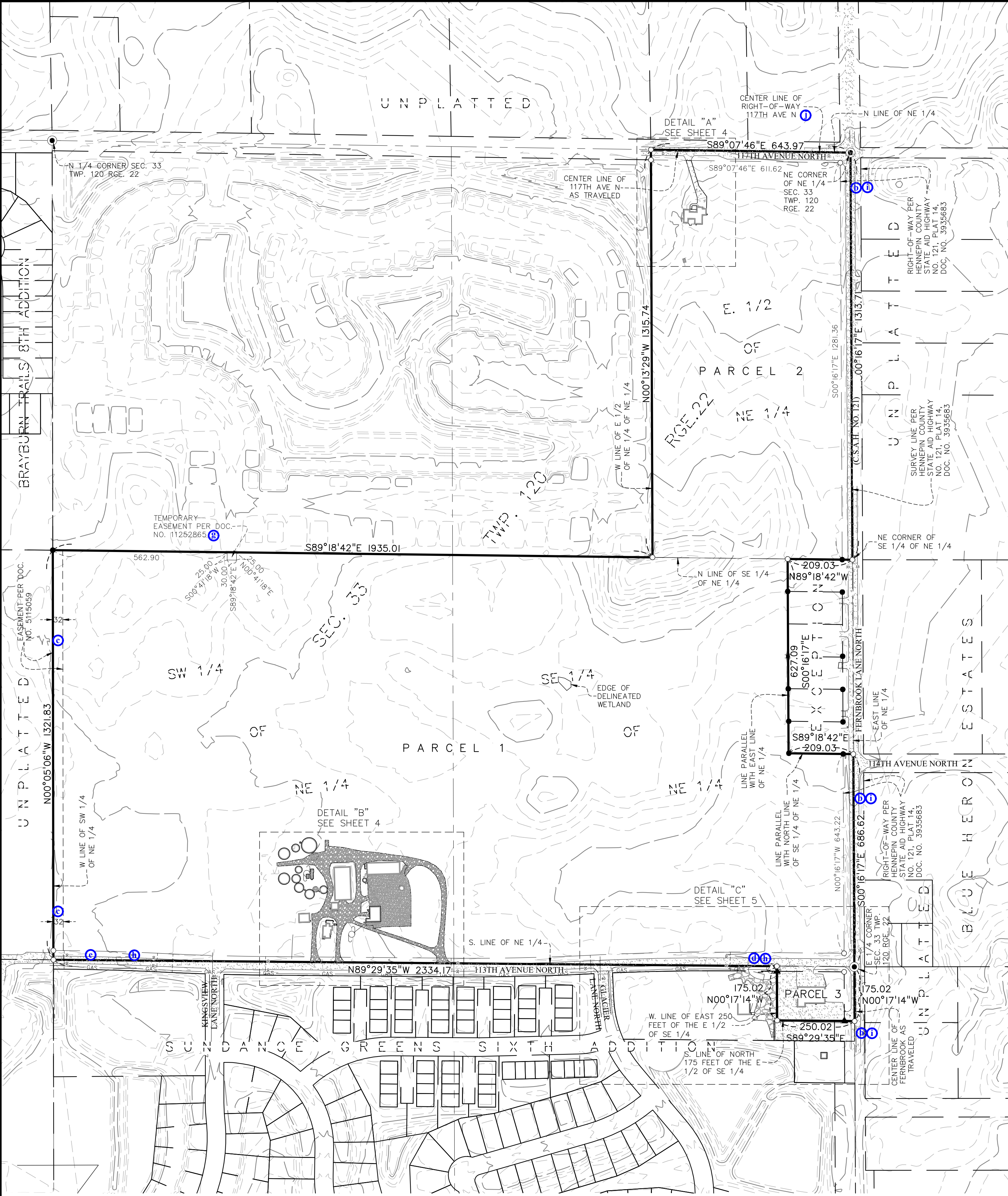
From: Jon Sevald <jsevald@cityofdaytonmn.com>
Sent: Tuesday, February 4, 2025 3:38 PM
To: Terry Verness <TERRY.VERNESS@SCPPOOL.COM>
Subject: RE: questions on meeting Feb 6th

Terry,

Attached is the site plan for DCM Farms.

The developer is proposing 266 single-family homes and about 10-acres of commercial/retail. The Comprehensive Plan guides the properties for Low Density Residential. The commercial/retail component is not consistent with this, which triggers the requirement of an Environmental Assessment Worksheet (EAW). The EAW explores potential environmental impacts of the development.

The Planning Commission will conduct a Public Hearing on the Preliminary Plat on February 6th at 6:30. The Commission will likely continue the Hearing at its March 6th meeting. This meeting will coincide with the EAW Public Hearing listed on the Public Notice advertisement you provided.



DESCRIPTION OF PROPERTY SURVEYED
(Per Schedule A of the herein referenced Title Commitments)

Parcel 1

The Southwest Quarter of the Northeast Quarter, Section 33, Township 120, Range 22, and the Southeast Quarter of the Northeast Quarter of Section 33, Township 120, Range 22, except that part thereof described as follows, to-wit: Commencing at the Northeast corner of said Southeast Quarter of the Northeast Quarter; thence West on the North line thereof, a distance of 209 feet; thence South and parallel with the East line thereof 627 feet; thence East and parallel with the North line thereof 209 feet; thence North on the East line thereof 627 feet to the point of commencement.

Abstract Property (Title Commitment File No. 60664)

Parcel 2

The East 1/2 of the Northeast 1/4 of the Northeast 1/4 of Section 33, Township 120, Range 22, Hennepin County, Minnesota.

Abstract Property (Title Commitment File No. 60665)

Parcel 3 (Surveyed per owners request but is not included in either referenced Title Commitments)

The East 250 feet of the North 175 feet of the East Half of Southeast Quarter (E1/2 of SE1/4) of Section 33, Township 120, Range 22, Hennepin County, Minnesota, subject to right of public over the East 33 feet thereof.

Abstract Property

ALTA/NSPS OPTIONAL TABLE A NOTES

(The following items reference Table A optional survey responsibilities and specifications)

- 2) **Site Address:** Parcel 1- 14800 113th Avenue North, Dayton, Minnesota 55369
Parcel 2- 14401 117th Avenue North, Dayton, Minnesota 55369
Parcel 3- 11281 Fernbrook Lane North, Dayton, Minnesota 55369
- 3) **Flood Zone Information:** X (area determined to be outside of the 0.2% annual chance floodplain) per Flood Insurance Rate Map, Community Panel No. 27053C0062F, effective date of November 4th 2016.
- 4) **Parcel Area Information:**
- | Parcel 1 | Parcel 2 | Parcel 3 |
|---|---|---------------------------------------|
| Gross Area: 3,271,232 s.f. ~ 75.097 acres | Gross Area: 847,180 s.f. ~ 19.449 acres | Gross Area: 43,754 s.f. ~ 1.004 acres |
| R/W Area: 91,694 s.f. ~ 2.105 acres | R/W Area: 63,516 s.f. ~ 1.458 acres | R/W Area: 9,357 s.f. ~ 0.215 acres |
| Wet Area: 1,090 s.f. ~ 0.025 acres | Net Area: 783,664 s.f. ~ 17.990 acres | Net Area: 34,397 s.f. ~ 0.790 acres |
| Net Area: 3,178,448 s.f. ~ 72.967 acres | | |
- *We do not affirmatively insure the quantity of acreage set forth in the description
- 5) **Benchmark:** Elevations are based on Hennepin County Control Point Name: OZ which has an elevation of: 918.40 feet (NAVD88). Contours were derived from a combination of field observations and LIDAR data from the Minnesota Department of Natural Resources.
- 6) **Zoning Information:** The current Zoning for the subject property is B-2 (Neighborhood Business District) and A-1 (Agricultural District) per the City of Dayton's zoning map dated June 2022. The setback, height, and floor space area restrictions for said zoning designation are as follows:

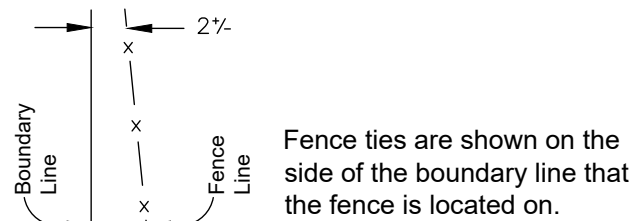
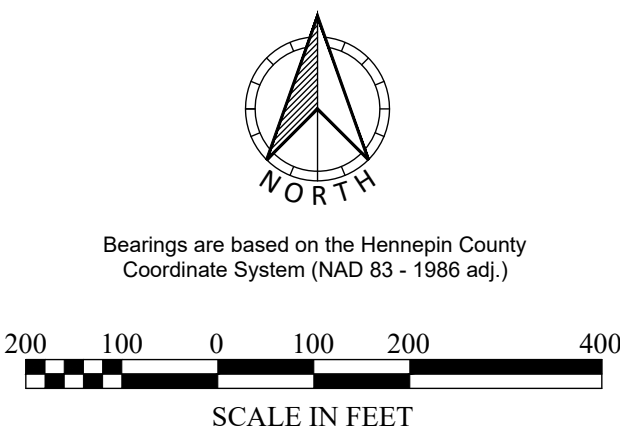
Principal Structure Setbacks B-2 - Street: 35 feet (Fernbrook Lane)
Parcel 1 & 2 Side Street: 15 feet (113th Ave)
Side: 15 feet
Rear: 15 feet
Height: 30 feet
Building Coverage: 50 percent of lot area
Hardcover: 75 percent of lot area

Principal Structure Setbacks A-1 - Street(s): 30 feet (Fernbrook Lane, 113th Ave, & 117th Ave)
Parcel 3 Side: 10 feet
Rear: 20 feet
Height: NA feet
Hardcover: 10 percent of lot area

*Please note that the zoning information shown hereon may have been amended through a city process. We recommend that a zoning letter be obtained from the Zoning Administrator for the current restrictions for this site. All setback information and hardcover data for planning and design must be verified by all parties involved in the design and planning process prior to any planning or construction.

We have not received the current zoning classification and building setback requirements from the insurer.

- 11) **Utilities:** We have shown the location of utilities to the best of our ability based on observed evidence together with evidence from the following sources: plans obtained from utility companies, plans provided by client, markings by utility companies and other appropriate sources. We have used this information to develop a view of the underground utilities for this site. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary. Also, please note that seasonal conditions may inhibit our ability to visibly observe all the utilities located on the subject property. A Gopher State One Call was submitted for this survey. Please reference Ticket No. 240320802 for a list of utility operators in this area.
- 12) **Wetland Delineation:** The wetland delineation was performed by Kjolhaug Environmental Services Company, Inc. Wetland was not flagged in the field.



SURVEY REPORT

This map and report was prepared with the benefit of a Commitment for Title Insurance issued by CHB Title, LLC as issuing agent for Old Republic National Title Insurance Company, File No. 60664, dated February 11, 2024.

- 1) We note the following with regards to Schedule B of the herein referenced Title Commitment:
- Item no.'s 1-9 are not survey related
 - Item no. 10 - Subject to Hennepin County State Aid Highway No. 121, Plat 14, filed as Document No. 3935683. **SHOWN HEREON**
 - Item no. 11 - Terms and conditions of Final Certificate for the perpetual easement and right of way over and across said parcels with the right to enter upon said parcels of land for the purposes of surveying for, constructing, operating, and maintaining an electric transmission system filed as Document No. 5115059. **SHOWN HEREON**
 - Item no. 12 - Terms and conditions of Easement for 113th Avenue Improvement, in favor of City of Dayton, as created in document filed July 7, 1987, as Document No. 5294406. **SHOWN HEREON**
 - Item no. 13 - Terms and conditions of Easement for 113th Avenue Improvement, in favor of City of Dayton, as created in document filed July 7, 1987, as Document No. 5294407. **SHOWN HEREON**
 - Item no. 14 - Terms and conditions of Easement for 113th Avenue Improvement, in favor of City of Dayton, as created in document filed July 7, 1987, as Document No. 5294408. **DOES NOT AFFECT SUBJECT PROPERTY**
 - Item no. 15 - Terms and conditions of Temporary Easement Agreement, filed December 20, 2023, as Document No. 11252865. **SHOWN HEREON**
 - Item no. 16 - Subject to 113th Avenue North as laid out and traveled. **SHOWN HEREON**
 - Item no. 17 - Subject to Fernbrook Lane North (County Road 121) as laid out and traveled. **SHOWN HEREON**
- 2) Observations/Comments noted hereon per field survey such as (but not limited to): access, occupation, and easements and/or servitudes:
- Features on the site were located to the best of our ability. Due to seasonal conditions at the time of this certification additional features may not have been visible and therefore not shown hereon.

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 - Item no. 10 - Subject to Hennepin County State Aid Highway No. 121, Plat 14, filed as Document No. 3935683. **SHOWN HEREON**
 - Item no. 11 - Subject to Fernbrook Lane North (County Road 121) as laid out and traveled. **SHOWN HEREON**
 - Item no. 12 - Subject to 117th Avenue North as laid out and traveled. **SHOWN HEREON**
- 2) Observations/Comments noted hereon per field survey such as (but not limited to): access, occupation, and easements and/or servitudes:
- Features on the site were located to the best of our ability. Due to seasonal conditions at the time of this certification additional features may not have been visible and therefore not shown hereon.
 - We have shown the right-of-way of 117th Avenue North across the north part of the site. We have surveyed it as a right-of-way that extends 33 feet south from the centerline of the traveled road. This is per the historic practice of providing 66 feet of right-of-way on the roads that develop via prescriptive rights. Based upon contemporary case law this right-of-way could be construed to be more or less width based upon a determination of what area is actually being utilized for highway purposes including drainage and possibly slopes. We believe the original intent was for the road to follow the section line, therefore we determined the right-of-way using the section line as the centerline of the road.

SURVEY LEGEND

● CAST IRON MONUMENT	⊕ PIEZOMETER	WOE WALKOUT ELEVATION
○ IRON PIPE MONUMENT SET	⊖ POWER POLE	FFE FIRST FLOOR ELEVATION
● DRILL HOLE FOUND	< GUY WIRE	GFE GARAGE FLOOR ELEVATION
⊗ CHISELED "X" MONUMENT SET	⊠ ROOF DRAIN	TOF TOP OF FOUNDATION ELEV.
⊗ CHISELED "X" MONUMENT FOUND	⊠ LIFT STATION	LOE LOWEST OPENING ELEV.
⊗ REBAR MONUMENT FOUND	⊕ SANITARY MANHOLE	CONCRETE
⊗ PK NAIL MONUMENT SET	⊕ SANITARY CLEANOUT	BITUMINOUS
⊗ PK NAIL MONUMENT FOUND	⊕ STORM MANHOLE	BUILDING SETBACK LINE
⊗ PK NAIL W/ ALUMINUM DISC	⊕ STORM DRAIN	CTV
⊗ SURVEY CONTROL POINT	⊕ CATCH BASIN	CONCRETE CURB
⊗ A/C UNIT	⊕ FLARED END SECTION	CONTOUR EXISTING
⊗ CABLE TV PEDESTAL	⊕ TREE CONIFEROUS	CONTOUR PROPOSED
⊕ ELECTRIC TRANSFORMER	⊕ TREE DECIDUOUS	GUARD RAIL
⊕ ELECTRIC MANHOLE	⊕ TREE CONIFEROUS REMOVED	DT DRAIN TILE
⊕ ELECTRIC METER	⊕ TREE DECIDUOUS REMOVED	ELC ELECTRIC UNDERGROUND
⊕ ELECTRIC OUTLET	⊕ TELEPHONE MANHOLE	FENCE
⊕ YARD LIGHT	⊕ TELEPHONE PEDESTAL	FIBER OPTIC UNDERGROUND
⊕ LIGHT POLE	⊕ UTILITY MANHOLE	GAS UNDERGROUND
⊕ FIBER OPTIC MANHOLE	⊕ UTILITY PEDESTAL	OHU OVERHEAD UTILITY
⊕ FIRE DEPT. HOOK UP	⊕ UTILITY VAULT	TREE LINE
⊕ FLAG POLE	⊕ WATERMAIN MANHOLE	SANITARY SEWER
⊕ FUEL PUMP	⊕ WATER METER	STORM SEWER
⊕ FUEL TANK	⊕ WATER SPIGOT	TEL TELEPHONE UNDERGROUND
⊕ PROPANE TANK	⊕ WELL	RETAINING WALL
⊕ GAS METER	⊕ MONITORING WELL	UTILITY UNDERGROUND
⊕ GAS VALVE	⊕ CURB STOP	UTL WATERMAIN
⊕ GAS MANHOLE	⊕ GATE VALVE	TRAFFIC SIGNAL
⊕ GENERATOR	⊕ HYDRANT	RAILROAD TRACKS
⊕ GUARD POST	⊕ IRRIGATION VALVE	RAILROAD SIGNAL
⊕ HAND HOLE	⊕ POST INDICATOR VALVE	RAILROAD SWITCH
⊕ MAIL BOX	⊕ SIGN	SATELLITE DISH
	⊕ SOIL BORING	WETLAND BUFFER SIGN

FIELD CREW	NO.	BY	DATE	REVISION
DM AK ABE PH	1	JPR	11/8/2024	WETLAND DELINEATION
DRAWN	2	RSM	12/20/2024	ADDED TOPO IN NW
JPR				
CHECKED				
CMT				
DATE				
2/18/24				

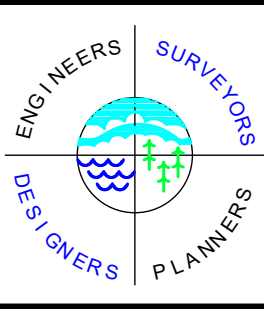
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To: Thomas A. Dehn, CHB Title, LLC and Old Republic National Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1 - 6(a), 7(a), 8, 11(b) and 16 of Table A thereof. The field work was completed on February 26, 2024.

Colyn M. Tvette, PLS Date of Plat or Map: March 25, 2024

Colyn M. Tvette, PLS Minnesota License No. 62269



SATHRE-BERGQUIST, INC.

14000 25TH AVENUE NORTH, SUITE 120
PLYMOUTH MN 55447 (952) 476-6000
WWW.SATHRE.COM

TWP:120-RGE:22-SEC.33
Hennepin County

DAYTON,
MINNESOTA

ALTA / NSPS LAND TITLE SURVEY

PREPARED FOR:
TOM DEHN

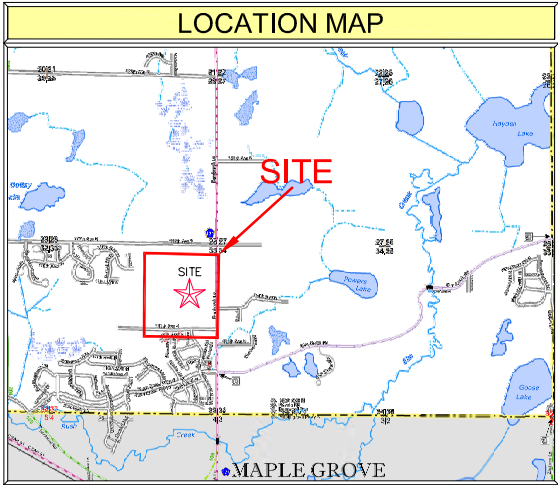
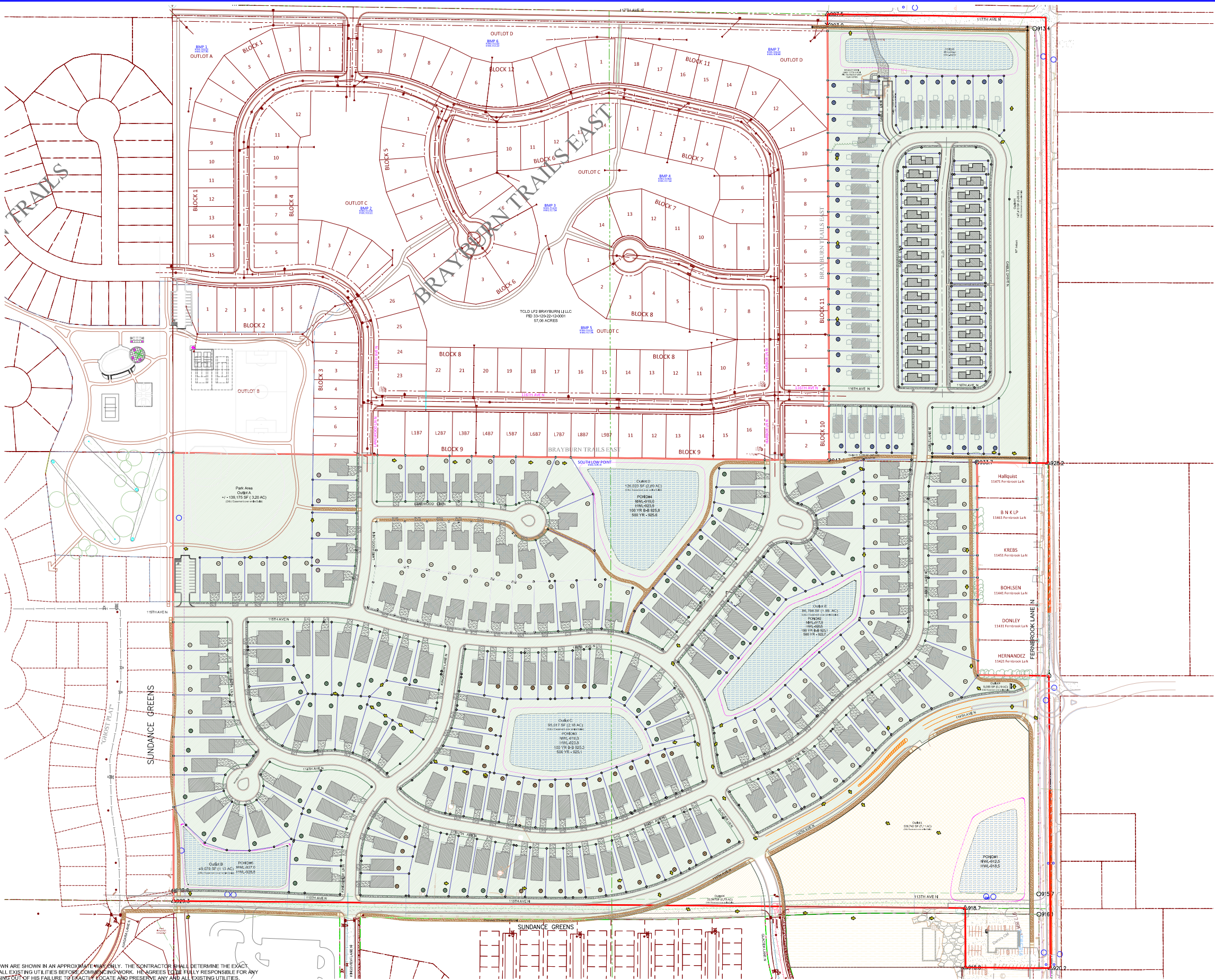
FILE NO.

19214-006

1

209

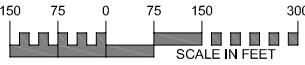
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SHEET INDEX TABLE	
SHEET	Description
SP	Site Plan
ALTA	ALTA Survey
PP	Preliminary Plat
UP	Preliminary Utility Plan
GP	Preliminary Grading Plan
EC	Preliminary Erosion Control Plan

DEVELOPMENT DATA	
PUD PLAN 253 Lots -	
40'	40' Lots - 33
45'	45' Lots - 35
50'	50' Lots - 42
55'	55' Lots - 66
65'	65' Lots - 72
75'	75' Lots - 5
Street: Public 60' ROW - 32' B-B CDS - 50' R 15.5' Island	
Private 28' B-B	
SETBACKS 40 / 45 / 50 / 55 FT LOTS Frontyard Setback: 25' Corner Setback: 25' Side yard Setback: 7.5'/7.5' Rear yard Setback: 25' Hardcover: 55%	
65 / 75 FT LOTS Frontyard Setback: 25' Corner Setback: 25' Side yard Setback: 7.5'/7.5' Rear yard Setback: 25' Hardcover: 35%	

PREPARED BY	PREPARED FOR
ENGINEER SATHRE-BERGQUIST, INC. 14000 25th Ave N, Suite 120 Plymouth, MN 55447 PHONE: (952) 476-6000 FAX: (952) 476-0104 CONTACT: ROBERT S. MOLSTAD, P.E. EMAIL: MOLSTAD@SATHRE.COM	DEVELOPER SUNDANCE WOODS, LLC 6701 Highway 10 NW Ramsey, MN 55303 CONTACT: TOM DEHN PHONE: (612) 328-2215 EMAIL: TOM.DEHN@POWERLODGE.COM



EXISTING UTILITIES SHOWN ARE SHOWN IN AN APPROXIMATE MANNER ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.

DRAWING NAME	NO.	BY	DATE	REVISION
DCM FARMS	1	RSM	02-18-25	CITY COMMENTS FROM PC MEETING
DRAWN				
RSM				
CHECKED				
ERJ				
DATE				
01-06-25				

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I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Robert S. Molstad, P.E.
Date: 01/06/25 Lic. No. 26428



SATHRE-BERGQUIST, INC.
14000 25TH AVE N #120 PLYMOUTH, MN. 55447 (952) 476-6000

CITY PROJECT NO.

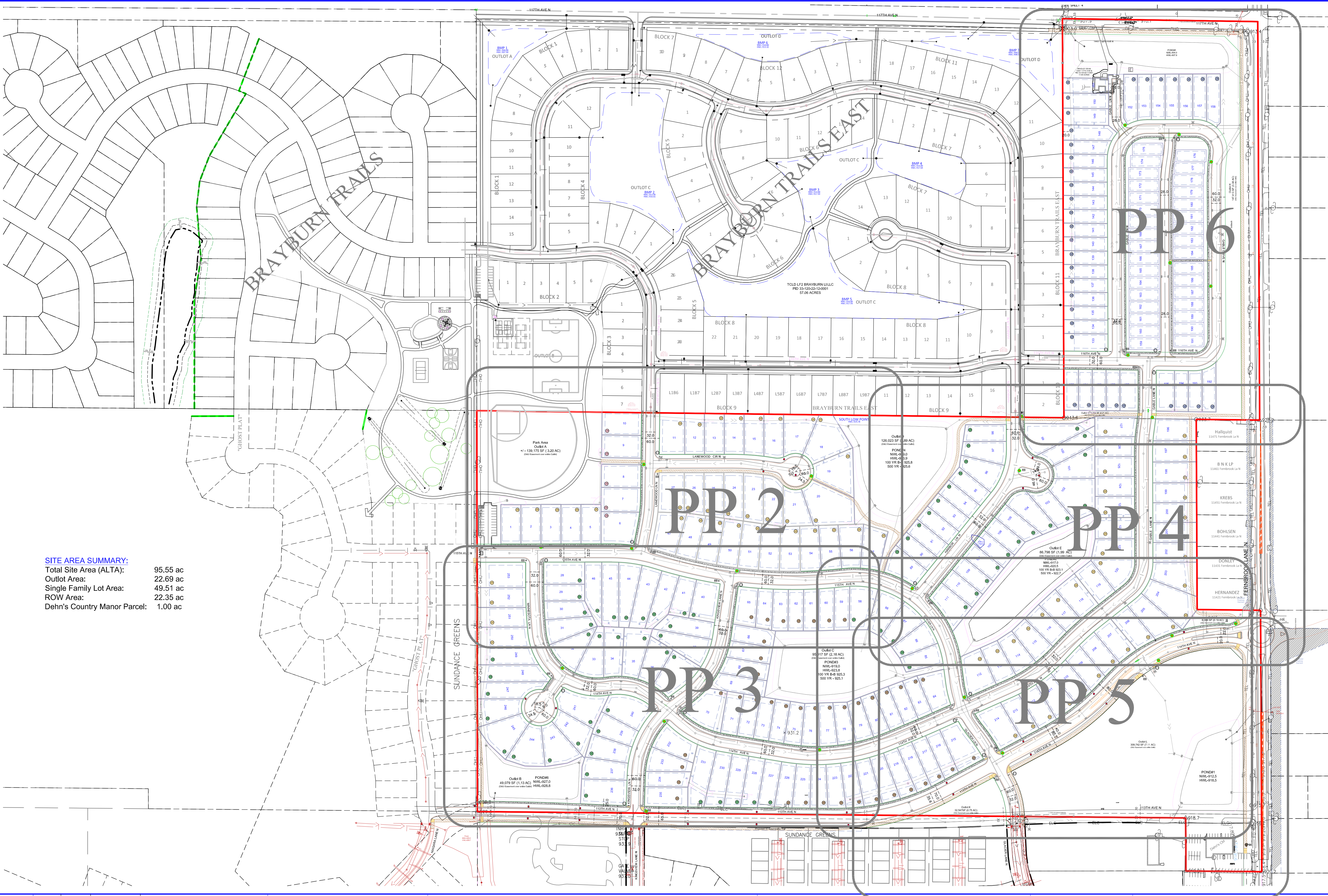
DAYTON,
MINNESOTA

SITE PLAN
DCM FARMS
SUNDANCE WOODS, LLC.

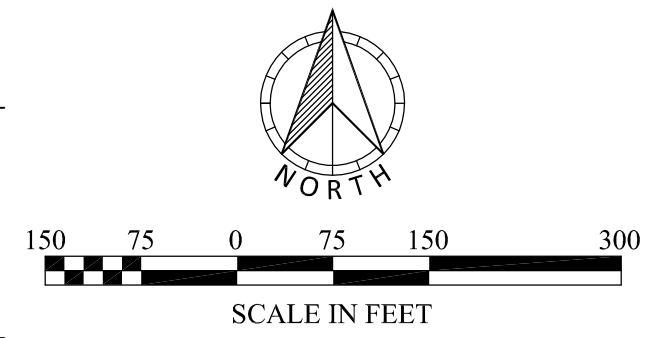
FILE NO.

19214-006

SP1



SITE AREA SUMMARY:
Total Site Area (ALTA): 95.55 ac
Outlot Area: 22.69 ac
Single Family Lot Area: 49.51 ac
ROW Area: 22.35 ac
Dehn's Country Manor Parcel: 1.00 ac



FIELD CREW	NO.	BY	DATE	REVISION
XXX	1	RSM	9/27/24	CITY COMMENTS 09/2024
DRAWN	2	RSM	10/17/24	PC MEETING LAYOUT CHANGE
XXX	3	RSM	2/19/25	PC MEETING - SYSB CDS REMOVAL
CHECKED				
XXX				
DATE				
XXXXXX				

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I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.
Dated this 19th day of December, 2024.
Daniel L. Schmidt
Daniel L. Schmidt, PLS
schmidt@sathre.com
Minnesota License No. 26147

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14000 25TH AVENUE NORTH, SUITE 120
PLYMOUTH MN 55447 (952) 476-6000
WWW.SATHRE.COM

TWP. 120 N. R. 22 E. SEC. 33
Hennepin County

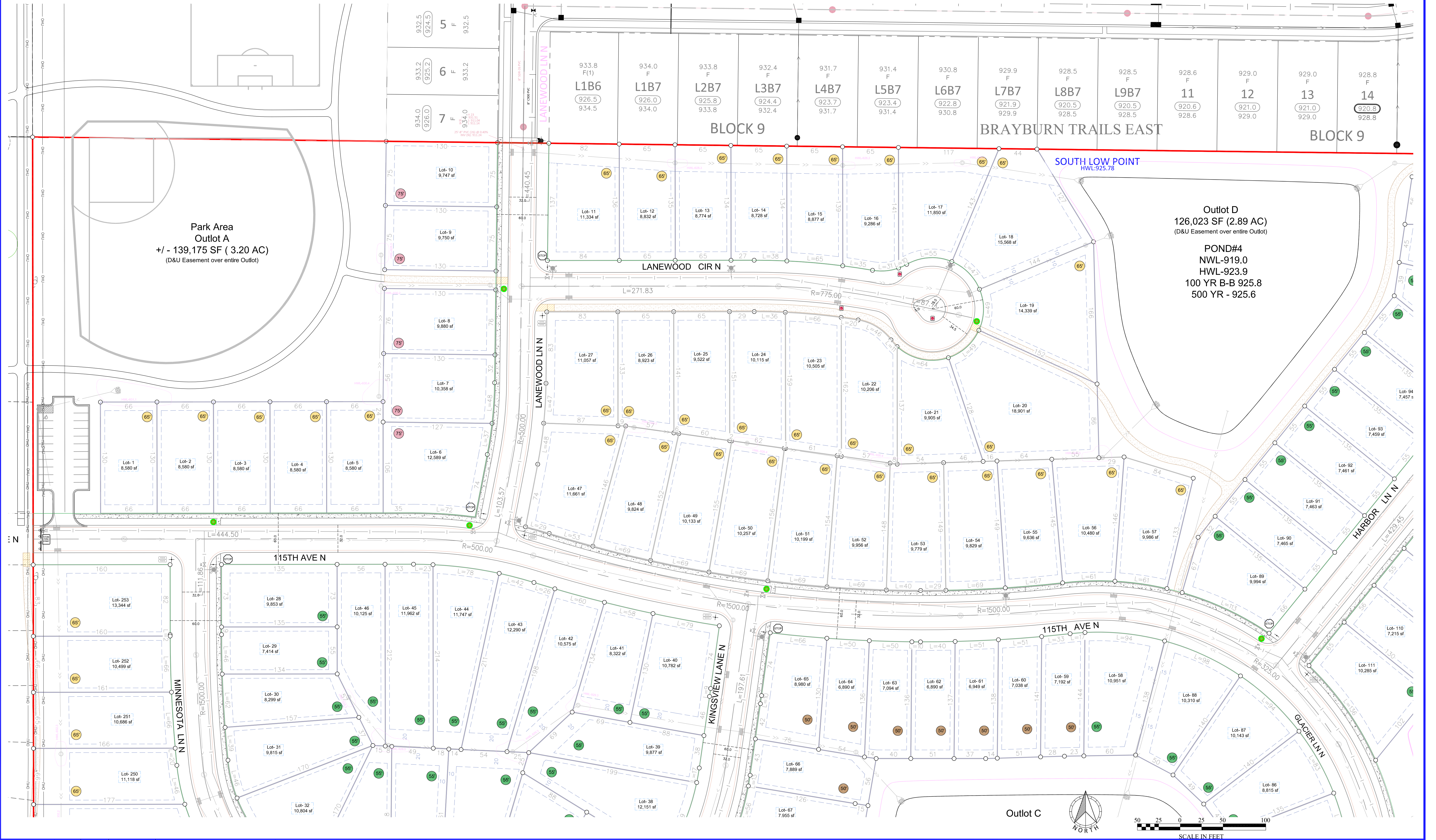
**DAYTON,
MINNESOTA**

PRELIMINARY PLAT - DCM FARMS

PREPARED FOR:
SUNDANCE WOODS, LLC.

FILE NO.
19214-006

PP1
PP6



FIELD CREW	NO.	BY	DATE	REVISION
XXX	1	RSM	9/27/24	CITY COMMENTS 09/2024
DRAWN	2	RSM	10/17/24	PC MEETING LAYOUT CHANGE
XXX	3	RSM	2/19/25	PC MEETING - SYSB CDS REMOVAL
CHECKED				
XXX				
DATE				
XXXXXX				

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Hennepin County

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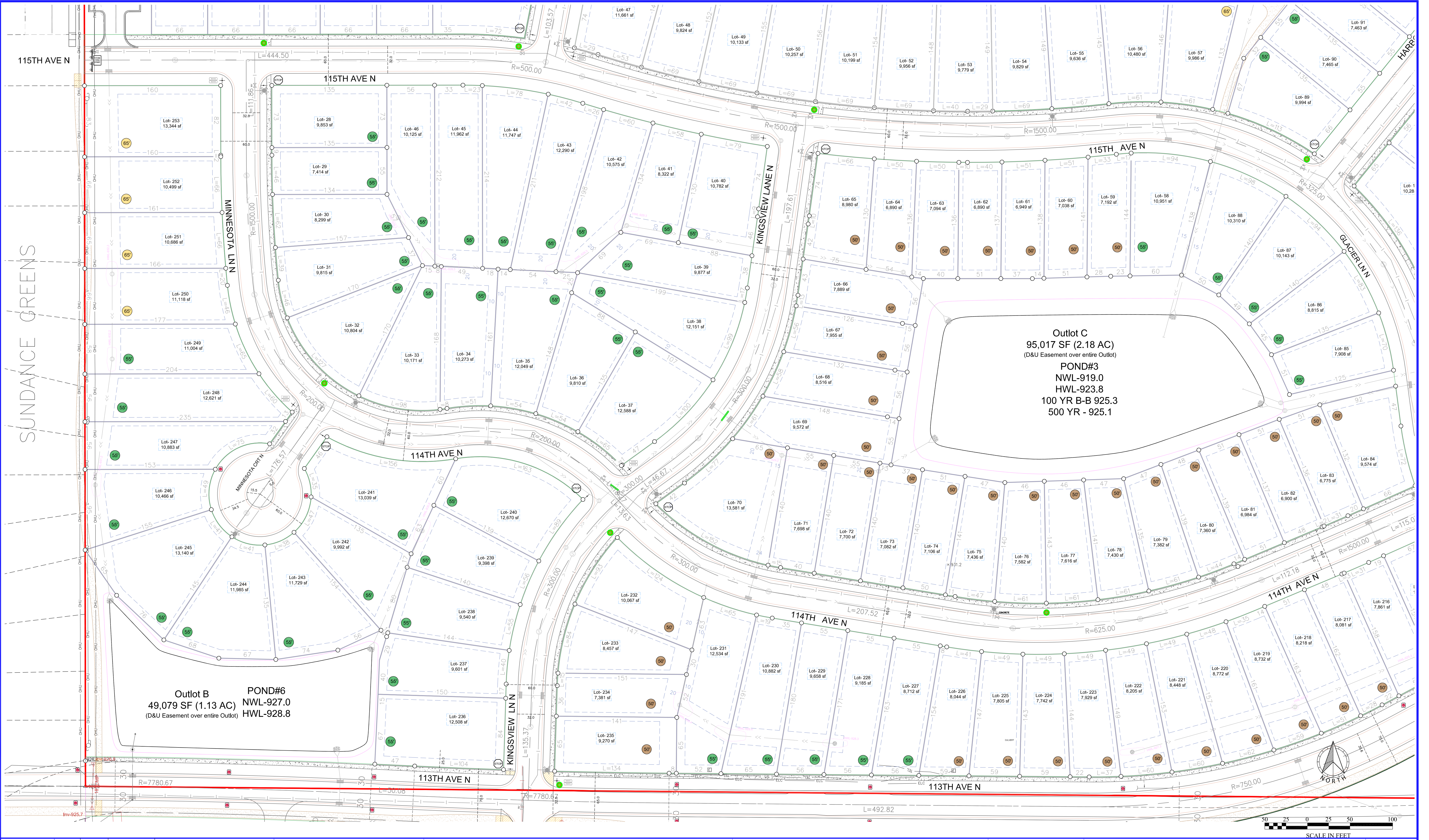
PRELIMINARY PLAT - DCM FARMS

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SUNDANCE WOODS, LLC.

FILE NO.
19214-006

PP2

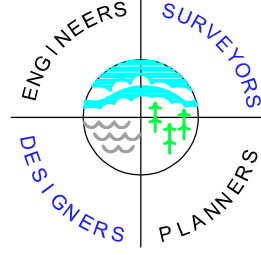
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FIELD CREW	NO.	BY	DATE	REVISION
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XXX	3	RSM	2/19/25	PC MEETING - SYSB CDS REMOVAL
CHECKED				
XXX				
DATE				
XXXXXX				

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Hennepin County

**DAYTON,
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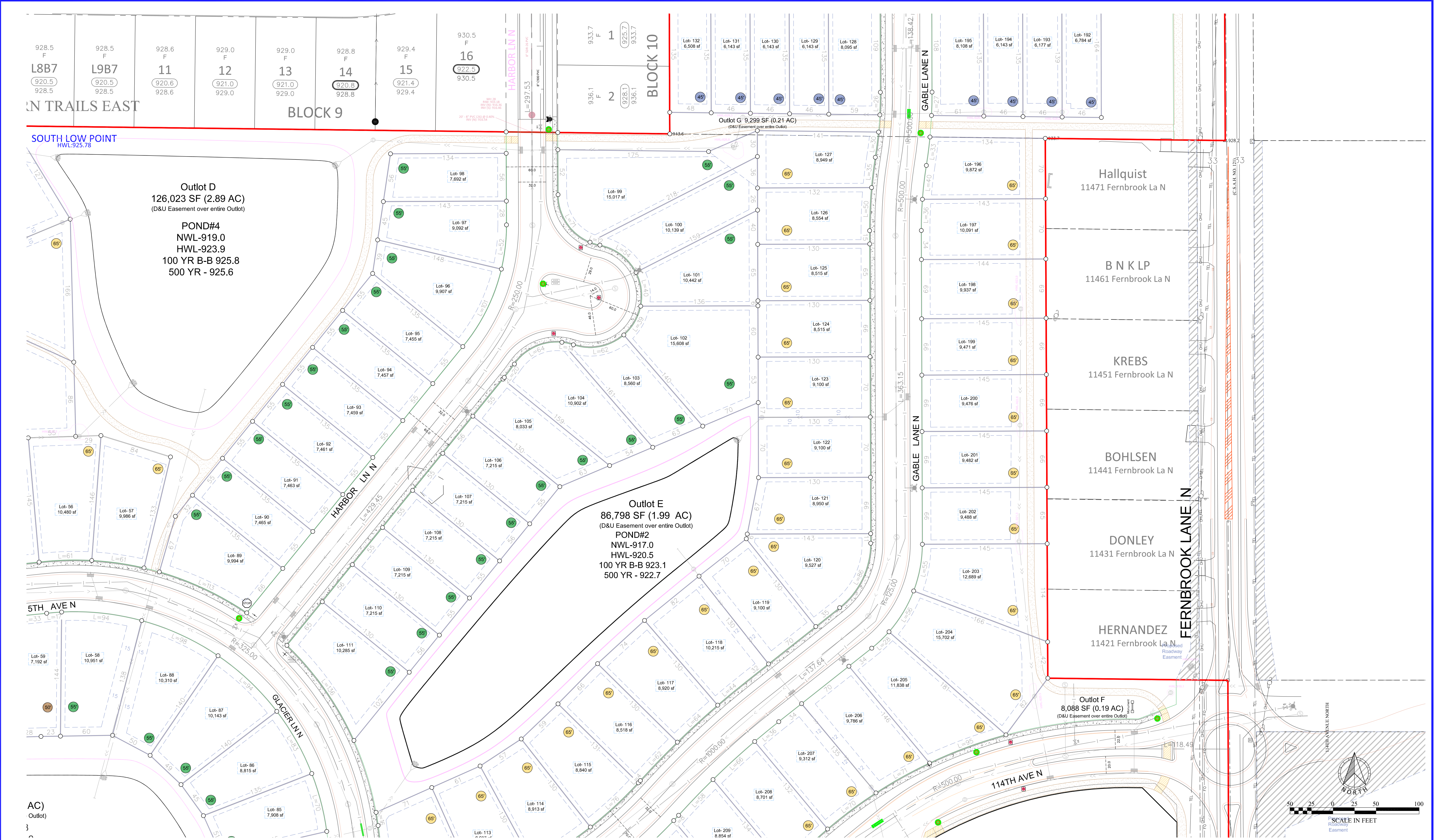
PRELIMINARY PLAT - DCM FARMS

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19214-006

PP3

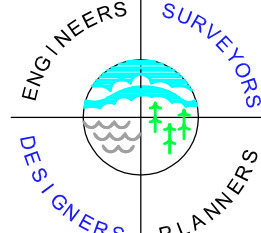
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FIELD CREW	NO.	BY	DATE	REVISION
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DRAWN	2	RSM	10/17/24	PC MEETING LAYOUT CHANGE
XXX	3	RSM	2/19/25	PC MEETING - SYSB CDS REMOVAL
CHECKED				
XXX				
DATE				
XXXXXXX				

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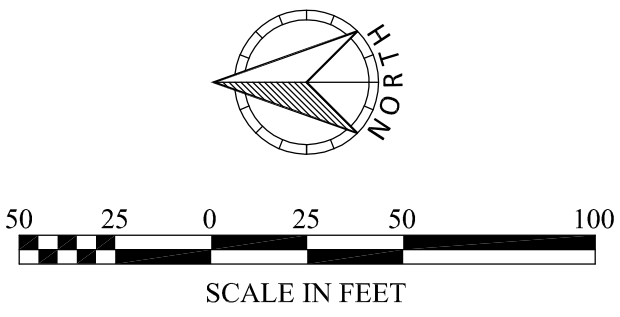
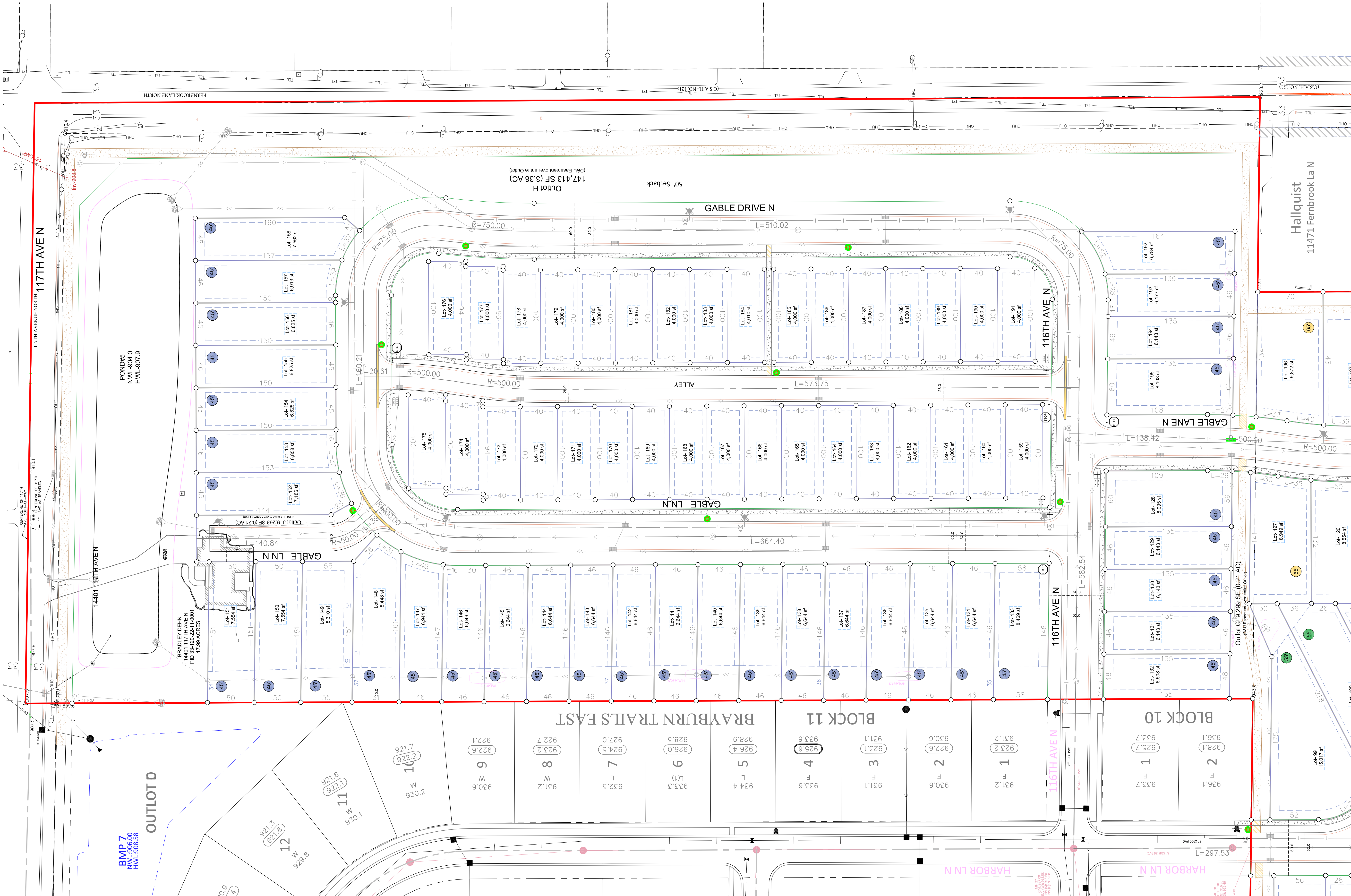
PRELIMINARY PLAT - DCM FARMS

PREPARED FOR:
SUNDANCE WOODS, LLC.

FILE NO.
19214-006

PP4

RP6



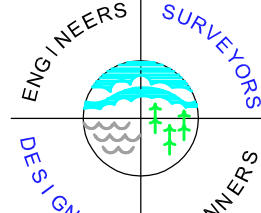
FIELD CREW	NO.	BY	DATE	REVISION
XXX	1	RSM	9/27/24	CITY COMMENTS 09/2024
DRAWN	2	RSM	10/17/24	PC MEETING LAYOUT CHANGE
XXX	3	RSM	2/19/25	PC MEETING - SYSB CDS REMOVAL
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TWP:120-RGE.22-SEC.33
Hennepin County

**DAYTON,
MINNESOTA**

PRELIMINARY PLAT - DCM FARMS

PREPARED FOR:
SUNDANCE WOODS, LLC.

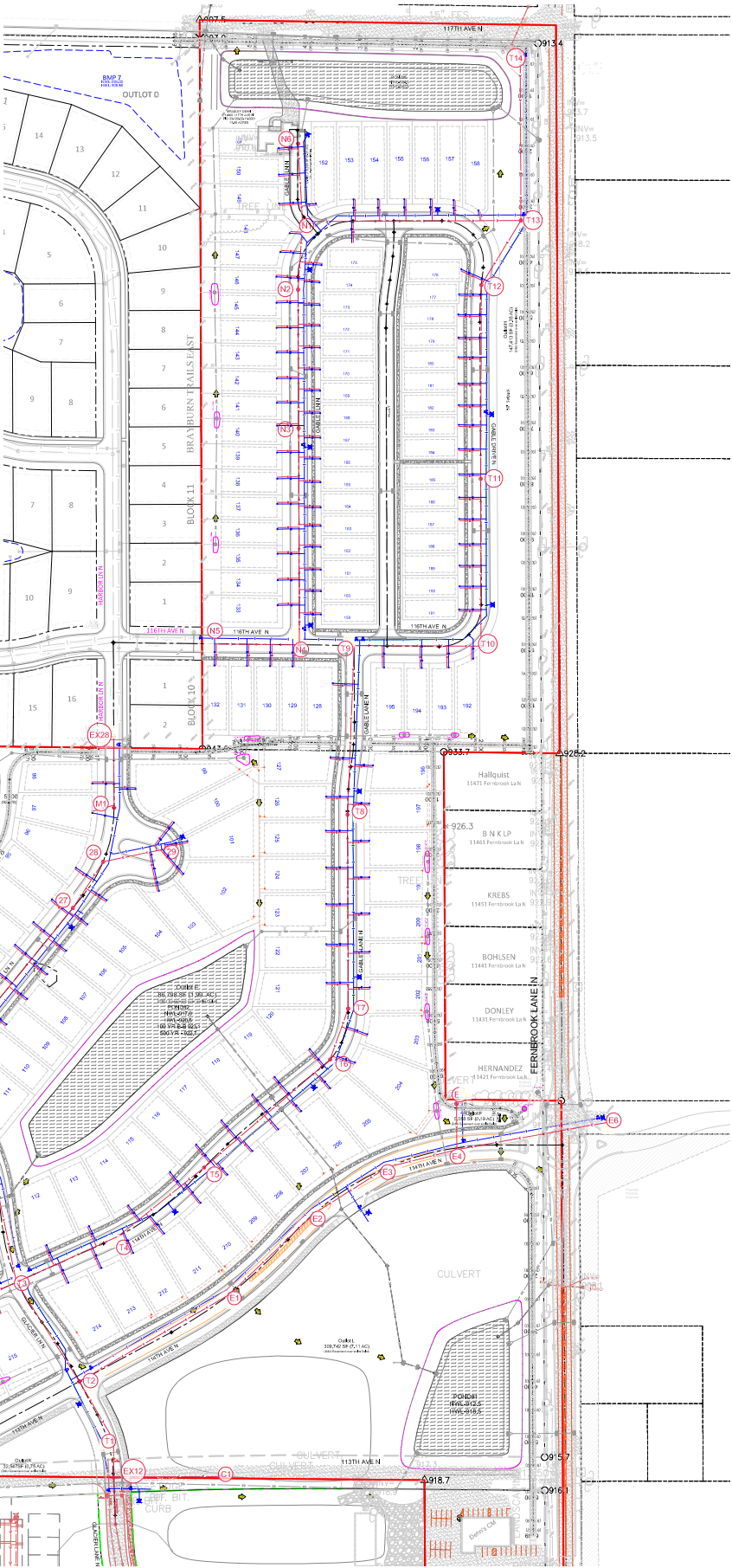
FILE NO.
19214-006

PP6

RP6

Sanitary Table									
Start Structure	Start Rim Elev	Start Inv	Size	Material	Length	Slope	End Structure	End Rim Elev	End Inv
1	913.7	913.00	8.0"	PVC SDR 26	236.8 LF	0.42%	T3	912.7	912.00
2	914.5	913.80	8.0"	PVC SDR 26	149.7 LF	0.47%	1	913.8	913.10
3	915.3	914.60	8.0"	PVC SDR 26	149.6 LF	0.47%	2	914.6	913.90
4	916.7	916.00	8.0"	PVC SDR 26	289.9 LF	0.45%	3	915.4	914.70
5	917.3	916.60	8.0"	PVC SDR 35	88.7 LF	0.56%	4	916.8	916.10
6	918.0	917.30	8.0"	PVC SDR 35	120.2 LF	0.50%	5	917.4	916.70
7	918.7	918.00	8.0"	PVC SDR 35	124.6 LF	0.48%	6	918.1	917.40
8	919.9	919.20	8.0"	PVC SDR 35	172.0 LF	0.64%	7	918.8	918.10
9	920.4	919.70	8.0"	PVC SDR 35	79.5 LF	0.50%	8	920.0	919.30
10	920.9	920.20	8.0"	PVC SDR 35	69.6 LF	0.57%	9	920.5	919.80
11	921.4	920.70	8.0"	PVC SDR 35	85.6 LF	0.47%	10	921.0	920.30
12	922.7	922.00	8.0"	PVC SDR 35	140.0 LF	0.86%	11	921.5	920.80
13	914.1	913.40	8.0"	PVC SDR 26	187.2 LF	0.75%	T3	912.7	912.00
14	914.7	914.00	8.0"	PVC SDR 26	99.6 LF	0.50%	13	914.2	913.50
15	915.4	914.70	8.0"	PVC SDR 26	117.6 LF	0.51%	14	914.8	914.10
16	917.7	917.00	8.0"	PVC SDR 26	161.9 LF	1.36%	15	915.5	914.80
17	923.2	922.50	8.0"	PVC SDR 35	219.8 LF	2.46%	16	917.8	917.10
18	926.2	925.50	8.0"	PVC SDR 35	248.1 LF	1.17%	17	923.3	922.60
19	928.5	927.80	8.0"	PVC SDR 35	257.4 LF	0.85%	18	926.3	925.60
20	919.0	918.30	8.0"	PVC SDR 35	82.2 LF	1.09%	6	918.1	917.40
21	919.7	919.00	8.0"	PVC SDR 35	99.5 LF	0.60%	20	919.1	918.40

Sanitary Table									
Start Structure	Start Rim Elev	Start Inv	Size	Material	Length	Slope	End Structure	End Rim Elev	End Inv
22	920.4	919.70	8.0"	PVC SDR 35	112.2 LF	0.53%	21	919.8	919.10
23	919.3	918.60	8.0"	PVC SDR 35	118.9 LF	1.01%	6	918.1	917.40
24	920.5	919.80	8.0"	PVC SDR 35	99.5 LF	1.11%	23	919.4	918.70
25	922.2	921.50	8.0"	PVC SDR 35	103.2 LF	1.55%	24	920.6	919.90
26	921.7	921.00	8.0"	PVC SDR 35	156.2 LF	0.77%	9	920.5	919.80
27	924.7	924.00	8.0"	PVC SDR 26	395.1 LF	2.33%	15	915.5	914.80
28	925.2	924.50	8.0"	PVC SDR 35	99.6 LF	0.50%	27	924.7	924.00
29	926.2	925.50	8.0"	PVC SDR 35	118.3 LF	0.76%	28	925.3	924.60
C1	904.7	904.00	8.0"	PVC SDR 26	192.4 LF	1.20%	EX12	902.4	901.70
E1	904.2	903.50	8.0"	PVC SDR 26	314.1 LF	0.48%	T2	902.7	902.00
E2	906.2	904.50	20.0"	PVC SDR 26	211.8 LF	0.42%	E1	905.3	903.60
E3	907.0	905.30	20.0"	PVC SDR 26	155.5 LF	0.45%	E2	906.3	904.60
E4	906.7	906.00	8.0"	PVC SDR 26	129.0 LF	0.46%	E3	906.1	905.40
E5	907.2	906.50	8.0"	PVC SDR 26	82.7 LF	0.48%	E4	906.8	906.10
E6	908.2	907.50	8.0"	PVC SDR 26	276.9 LF	0.51%	E4	906.8	906.10
M1	925.7	925.00	8.0"	PVC SDR 26	128.2 LF	6.66%	EX28	917.2	916.46
N1	907.8	907.10	8.0"	PVC SDR 35	394.6 LF	0.41%	T13	906.2	905.50
N2	908.4	907.70	8.0"	PVC SDR 35	123.1 LF	0.41%	N1	907.9	907.20
N3	911.9	911.20	8.0"	PVC SDR 35	250.0 LF	1.36%	N2	908.5	907.80
N4	919.8	919.10	8.0"	PVC SDR 35	391.0 LF	2.00%	N3	912.0	911.30
N5	920.7	920.00	8.0"	PVC SDR 35	156.6 LF	0.57%	N4	919.8	919.10



LEGEND		
DESCRIPTION	PROPOSED	EXISTING
BUILDING SETBACK LINE	BSBL	BSBL
GARAGE SETBACK LINE	GSBL	GSBL
PARCEL BOUNDARY LINE	PSBL	PSBL
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
RIGHT-OF-WAY		
SANITARY SERVICE		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
FLARED END SECTION WRAP-UP		
STORM STRUCTURE LABEL	CB H3	CB H3
DRAIN TILE W/CLEANOUTS		
SANITARY STRUCTURE LABEL		
SANITARY SEWER MANHOLE		
WATERMAIN		
HYDRANT		
GATE VALVE		

Sanitary Table									
Start Structure	Start Rim Elev	Start Inv	Size	Material	Length	Slope	End Structure	End Rim Elev	End Inv
N6	908.7	908.00	8.0"	PVC SDR 35	140.9 LF	0.57%	N1	907.9	907.20
T1	902.5	900.80	20.0"	PVC SDR 26	67.3 LF	0.16%	EX12	902.4	900.69
T2	902.7	901.00	20.0"	PVC SDR 26	122.4 LF	0.16%	T1	902.5	900.80
T5	903.7	902.00	20.0"	PVC SDR 26	198.8 LF	0.10%	T4	903.5	901.80
T6	904.1	902.40	20.0"	PVC SDR 26	299.7 LF	0.10%	T5	903.8	902.10
T7	904.3	902.60	20.0"	PVC SDR 26	97.4 LF	0.10%	T6	904.2	902.50
T8	904.8	903.10	20.0"	PVC SDR 26	350.0 LF	0.11%	T7	904.4	902.70
T9	905.2	903.50	20.0"	PVC SDR 26	305.5 LF	0.10%	T8	904.9	903.20
T10	905.5	903.80	20.0"	PVC SDR 26	228.8 LF	0.11%	T9	905.3	903.55
T11	905.9	904.20	20.0"	PVC SDR 26	301.9 LF	0.10%	T10	905.6	903.90
T12	906.4	904.70	20.0"	PVC SDR 26	349.9 LF	0.11%	T11	906.0	904.30
T13	906.7	905.00	20.0"	PVC SDR 35	136.5 LF	0.15%	T12	906.5	904.80
T14	907.1	905.40	20.0"	PVC SDR 35	303.6 LF	0.10%	T13	906.8	905.10
W1	912.7	912.00	8.0"	PVC SDR 26	186.1 LF	0.91%	EX23	911.0	910.30
W2	920.7	920.00	8.0"	PVC SDR 26	152.2 LF	5.19%	W1	912.8	912.10
W3	921.8	921.10	8.0"	PVC SDR 26	147.6 LF	0.68%	W2	920.8	920.10
W4	924.2	923.50	8.0"	PVC SDR 26	434.8 LF	0.53%	W3	921.9	921.20
W5	921.2	920.50	8.0"	PVC SDR 26	300.0 LF	2.80%	W1	912.8	912.10
W6	922.4	921.70	8.0"	PVC SDR 35	213.2 LF	0.52%	W5	921.3	920.60

EXISTING UTILITIES SHOWN ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.

DRAWING NAME	NO.	BY	DATE	REVISION
DCM FARMS	1	RSM	02-18-25	CITY COMMENTS FROM PC MEETING
DRAWN				
RSM				
CHECKED				
ERJ				
DATE				
01-06-25				

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I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Robert S. Molstad
Robert S. Molstad, P.E.
Date: 01/06/25 Lic. No. 26428



SATHRE-BERGQUIST, INC.
14000 25TH AVE N #120 PLYMOUTH, MN. 55447 (952) 476-6000

CITY PROJECT NO.

--

**DAYTON,
MINNESOTA**

PRELIMINARY SANITARY SEWER & WATERMAIN PLAN

DCM FARMS
SUNDANCE WOODS, LLC.

FILE NO.

19214-006

SW-1

217



LEGEND		
DESCRIPTION	PROPOSED	EXISTING
BUILDING SETBACK LINE	BSBL	BSBL
GARAGE SETBACK LINE	GSSL	GSSL
PARCEL BOUNDARY LINE		
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
RIGHT-OF-WAY		
SANITARY SERVICE		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
FLARED END SECTION WRAP-RAP		
STORM STRUCTURE LABEL	GB H3	GB H3
DRAINTILE W/ CLEANOUTS		
SANITARY STRUCTURE LABEL		
SANITARY SEWER MANHOLE		
WATERMAIN		
HYDRANT		
GATE VALVE		

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DRAWING NAME	NO.	BY	DATE	REVISION
DCM FARMS	1	RSM	02-18-25	CITY COMMENTS FROM PC MEETING
DRAWN				
RSM				
CHECKED				
ERJ				
DATE				
01-06-25				

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Robert S. Molstad
Robert S. Molstad, P.E.
Date: 01/06/25 Lic. No. 26472



SATHRE-BERGQUIST, INC.
14000 25TH AVE N #120 PLYMOUTH, MN. 55447 (952) 476-6000

CITY PROJECT NO.

**DAYTON,
MINNESOTA**

PRELIMINARY STORM SEWER PLAN

DCM FARMS
SUNDANCE WOODS, LLC.

FILE NO.

19214-006

SS-1

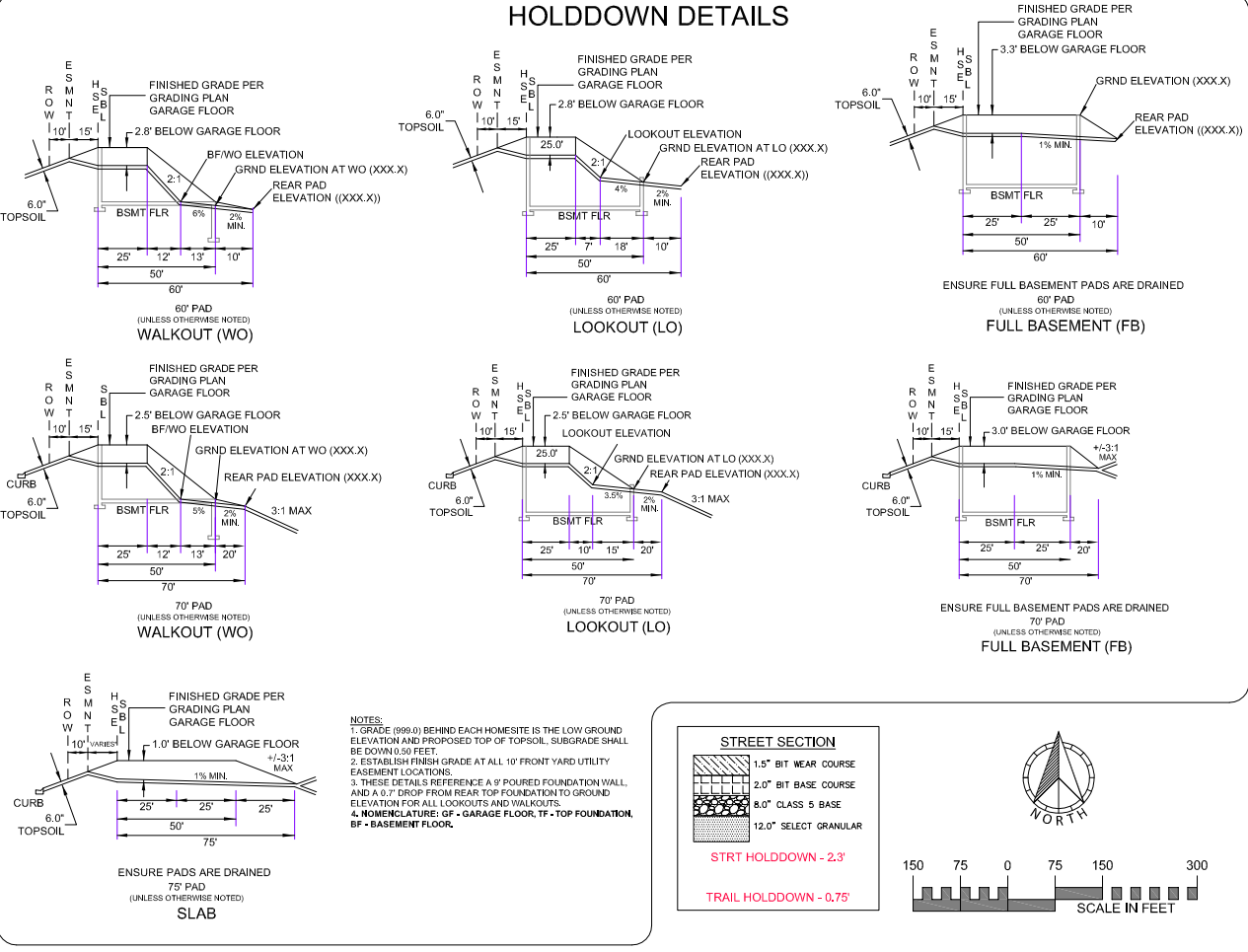
218



- GENERAL NOTES:
1. INSTALL SILT FENCE AS SHOWN ON PLAN, AS REQUIRED BY THE CITY OF DAYTON OR DIRECTED BY THE ENGINEER.
 2. THE WATER QUALITY POND MUST BE EXCAVATED AT THE BEGINNING OF GRADING OPERATIONS TO PROVIDE TEMPORARY STORM WATER DETENTION DURING CONSTRUCTION. SAND AND SILT MUST BE REMOVED FROM THE POND AS NECESSARY DURING CONSTRUCTION AND AT THE COMPLETION OF THE PROJECT.
 3. BEGIN GRADING, INSTALL PERFORATED RISER PIPE IN POND WHEN POND GRADING IS COMPLETE. TEMPORARY DRAINAGE PIPE SHALL BE USED FOR INTERMEDIATE DRAINAGE DURING THE CONSTRUCTION PERIOD AS NECESSARY AND DIRECTED BY THE ENGINEER. INSTALL SILT FENCE AROUND EXCAVATED PONDS.
 4. INSPECT POND, SILT FENCE, AND ROCK ENTRANCE BERM AFTER ALL RAINFALL EVENTS AS REQUIRED BY THE NPDES PERMIT.
 5. LINE ALL PONDS WITH A MINIMUM 3" ORGANIC SOILS & SEED SLOPES BETWEEN NWL AND 100 YR HWL WITH A WATER TOLERANT MIX, (OR AS NOTED)
 6. REMOVE PERFORATED RISER PIPE WHEN STORM SEWER AND OUTLET STRUCTURE FOR PONDS ARE INSTALLED.
 7. POND - 10' BENCH (1 FOOT) THEN 3:1 MAX
 8. LO & WO PADS 3:1 MAX. ALL OTHER SLOPES 3:1 MAX (UNLESS NOTED)
 9. THE GRADING CONTRACTOR IS RESPONSIBLE FOR ALL STORM WATER INSPECTIONS ACCORDING TO THE MPCA STORM WATER PERMIT. THIS INCLUDES BOTH WEEKLY INSPECTIONS AND INSPECTIONS DONE AFTER A 0.5" RAIN EVENT. A COPY OF THE INSPECTION REPORT MUST BE EMAILED TO THE ENGINEER AND DEVELOPER ON A WEEKLY BASIS.
 10. THE CONTRACTOR SHALL PLACE INLET PROTECTION DEVICES IN ACCORDANCE WITH THE CITY OF DAYTON FOR ALL STORM SEWER INLETS AND MAINTAIN THEM AS AN EFFECTIVE SILT CONTROL DEVICE. INLET PROTECTION SHALL BE REMOVED WHEN RESTORATION HAS BEEN ESTABLISHED.
 11. ALL RETAINING WALLS GREATER THAN 4' IN HEIGHT WILL REQUIRE A STRUCTURAL DESIGN, A BUILDING PERMIT & A FINAL INSPECTION REPORT.
 12. A 1'-2" CRUSHED ROCK ENTRANCE BERM SHALL BE PLACED AT THE SITE ENTRANCE, TO REPLACE SILT FENCE, AND MINIMIZE EROSION ON TO THE STREETS. THE ROCK BERMS SHALL BE THE WIDTH OF THE ENTRANCE AND 2 FEET HIGH WITH 4:1 SLOPES.
 13. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM THE BUILDING PAD AND STREET AREAS THROUGHOUT CONSTRUCTION.
 14. THE CONTRACTOR SHALL ATTEMPT TO PREVENT SOIL MATERIALS FROM LEAVING THE SITE BY EROSION AND VEHICLE WHEEL TRACKING. HE SHALL BE RESPONSIBLE FOR CLEANING OF STREET, BOULEVARD AND UTILITY FACILITIES THAT RECEIVE ANY ERODED OR TRACKED SOIL MATERIAL OR OTHER CONSTRUCTION DEBRIS OR MATERIAL.
 15. BUILDING PADS ARE A MIX OF 60", 70", & 75" (SLABS) DEEP. UNLESS OTHERWISE NOTED. THE FRONT AND REAR BUILDING PAD LINES ARE SHOWN ON THE PLAN. THE ENGINEER SHOULD BE CONTACTED IF THE CONTRACTOR HAS ANY QUESTIONS REGARDING BUILDING PADS.
 16. CONTRACTOR MUST COMPLY WITH CITY OF DAYTON WETLAND REPLACEMENT REQUIREMENTS.

- RESTORATION NOTES
- RESTORATION - 75 ACRES
- A. RESTORE ALL DISTURBED AREAS WITH 4" TO 6" OF TOPSOIL, OR EXISTING ON-SITE ORGANIC MTRL.
 - B. SEED WETLAND BUFFER AREAS WITH MNDOT 35-241 (MESIC PRAIRIE GENERAL, REPLACING MNDOT 310)
 - C. SEED POND SLOPES AND DETENTION AREAS WITH MNDOT 33-261 SEED MIX AT A RATE OF 100 LBS./ACRE AND FERTILIZE WITH 20-0-10 AT 100 LBS./ACRE. (VERIFY W/ CITY PUBLIC WORKS)
 - D. SEED BASIN AREAS WITH MNDOT 33-261 SEED MIX AT A RATE OF 35 LBS./ACRE AND FERTILIZE WITH 20-0-10 AT 100 LBS./ACRE. (VERIFY W/ CITY PUBLIC WORKS)
 - E. SEED ALL OTHER, DISTURBED AREAS WITH MNDOT 250 SEED MIX AT A RATE OF 100 LBS./ACRE AND FERTILIZE WITH 20-0-10 AT 100 LBS./ACRE, (UNLESS OTHERWISE NOTED)
 - F. ONLY PHOSPHOROUS FREE FERTILIZER IS TO BE USED ON SITE.
 - G. MULCH WITH TYPE 1 AT A RATE OF 2 TONS/ACRE AND DISC ANCHOR IMMEDIATELY AFTER PLACEMENT. USE WOODFIBER BLANKET ON ALL SLOPES 3:1 (FT) OR GREATER.
 - H. PLACE APPROVED STORM SEWER INLET PROTECTION IN OR AROUND ALL STORM SEWER INLETS AND MAINTAIN UNTIL STREET CONSTRUCTION IS COMPLETED. REFER TO CITY DETAILS ST-22 & ST-23 FOR APPROVED DEVICES.
 - I. MAINTAIN ALL SILT FENCE UNTIL TURF HAS BEEN ESTABLISHED.
 - J. RESTORATION WORK WILL BE COMPLETED WITHIN 72 HOURS OF GRADING COMPLETION.
 - K. SILT FENCE, BEFORE GRADING - 10,840 LF
AFTER GRADING - 5,405 LF
 - L. WOODFIBER BLANKET - 0 SY

- ON-SITE BMPs
1. NURP POND - NURP POND WILL BE UTILIZED TO MEET OR EXCEED QUALITY AND RATE CONTROL REQUIREMENTS.
 2. SKIMMERS - THE POND OUTLET STRUCTURE INCLUDES A SUBMERGED INLET PIPE TO ALLOW SKIMMING.
 3. RIP RAP - RIP RAP WILL BE UTILIZED AT ALL APRONS FOR ENERGY DISSIPATION AND PROVIDE SEDIMENT CONTROL. MUST BE INSTALLED OVER A SUITABLY GRADED FILTER MATERIAL OR FILTER FABRIC TO ENSURE THAT SOIL PARTICLES DO NOT MIGRATE THROUGH THE RIP RAP AND REDUCE ITS STABILITY.
 4. INLET PROTECTION - INLET PROTECTION WILL BE INSTALLED AND MAINTAINED IN ALL CATCH BASINS & REAR YARD STRUCTURES. REFER TO THE CITY DETAILS TO DETERMINE WHICH INLET PROTECTION DEVICE IS APPLICABLE.
 5. SOIL STABILIZATION SILT FENCE WILL BE INSTALLED ALONG DOWN GRADIENT GRADING LIMITS AND WOODFIBER BLANKET WILL BE UTILIZED ON ALL SLOPES 3:1 OR GREATER TO PROVIDE ADEQUATE STABILIZATION.
 6. BIOROLLS - BIOROLLS WILL BE INSTALLED ALONG REAR YARD SWALES TO PREVENT SEDIMENT FROM REACHING THE NURP POND AND ULTIMATELY DOWNSTREAM WETLANDS.
 7. FILTRATION/RETENTION AREAS - FILTRATION/RETENTION AREAS WILL BE UTILIZED TO REDUCE/RETAIN THE RUNOFF FROM THE INCREASED HARD SURFACE.
 8. STREET SWEEPING - STREET SWEEPING WILL BE DONE A MINIMUM OF ONCE PER WEEK OR MORE FREQUENTLY TO MINIMIZE DUST CONTROL AND VEHICLE TRACKING.
 10. PHOSPHOROUS FREE FERTILIZER - PHOSPHOROUS FREE FERTILIZER WILL ALSO BE USED ON SITE.



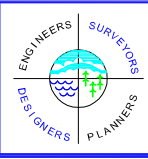
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DCM NAME	NO.	BY	DATE	REVISION
DRAWN	1	RSM	02-18-25	CITY COMMENTS FROM PC MEETING
RSM				
CHECKED				
ERJ				
DATE				
01-06-25				

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Robert S. Molstad
Robert S. Molstad, P.E.
Date: 01/06/25 Lic. No. 26428



SATHRE-BERGQUIST, INC.
14000 25TH AVE N #120 PLYMOUTH, MN. 55447 (952) 476-6000

CITY PROJECT NO.
--
DAYTON, MINNESOTA

PRELIMINARY GRADING PLAN
DCM FARMS
SUNDANCE WOODS, LLC.

FILE NO.
19214-006
GP1
219



PLANT SCHEDULE				
KEY	COMMON NAME/Scientific name	ROOT	QUANTITY	INSTRUCTIONS
OVERSTORY TREES				
	AUTUMN BLAZE MAPLE/Acer x freemanii 'Jeffersred'	3" B&B	64	
	SUGAR MAPLE/Acer saccharinum	3" B&B	51	
	RIVER BIRCH/Betula nigra 'Heritage'	10-12' B&B	62	Clump
	COMMON HACKBERRY/Celtis occidentalis	3" B&B	38	
	THORNLESS HONEYLOCUST/Gleditsia triacanthos var. inermis	3" B&B	53	
	NORTHERN PIN OAK/Quercus palustris	3" B&B	54	
	SENTRY LINDEN/Tilia americana 'Sentry'	3" B&B	42	
	SIENNA GLEN MAPLE/Acer x freemanii 'Sienna Glen'	3" B&B	63	
	SWAMP WHITE OAK/Quercus bicolor	3" B&B	54	
	PRINCETON ELM/Ulmus americana 'Princeton'	3" B&B	51	
	WHITESPIRE BIRCH/Betula platyphylla var. Japonica	10-12' B&B	28	Clump
EVERGREEN TREES				
	BLACK HILLS SPRUCE/Picea glauca densata	6' B&B	64	
	BALSAM FIR/Abies balsamea	6' B&B	37	
	WHITE SPURCE/Picea abies	6' B&B	51	
ORNAMENTAL TREES				
	JAPANESE TREE LILAC/Syringa reticulata	2" B&B	65	single or clump
	RED SPLENDOR CRAB/Malus 'Red Splendor'	2" B&B	52	
	PRAIRIE FIRE CRAB/Malus 'Prairie Fire'	2" B&B	67	
	SERVICEBERRY/Amelanchier laevis	8' B&B	38	Clump
	SPRING SNOW CRAB/Malus 'Spring Snow'	2" B&B	44	

LANDSCAPE DATA:

TREES REQUIRED: 8"/SF LOT
PROPOSED SINGLE FAMILY LOTS: 253
REQUIRED INCHES: 2,024
A MINIMUM OF 2 TREES PER FRONT YARD FOR SINGLE FAMILY
3 TREES/LOT PROPOSED TO MEET 8"/LOT
PROPOSED TREES:
OVERSTORY (3"): 506 (1,518")
ORNAMENTAL (2"): 253 (506")
TOTAL TREES: 759 (2,024")

BUFFER REQUIREMENT ALONG 113TH AVENUE:
35' WIDE LANDSCAPE BUFFER
6 TREES/100': 2,000 LF OF BUFFER
120 TREES REQUIRED
120 TREES PROPOSED
16 OVERSTORY, 104 CONIFER
BUFFER REQUIREMENT ALONG FERNBROOK LANE
35' WIDE LANDSCAPE BUFFER
6 TREES/100': 1,000 LF OF BUFFER
60 TREES REQUIRED
60 TREES PROPOSED
12 OVERSTORY, 48 CONIFER
BUFFER TREES ARE IN ADDITION TO THE 8"/LOT REQUIREMENT

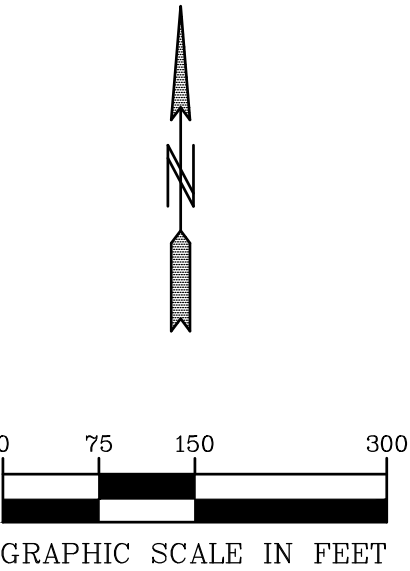
TOTAL TREES REQUIRED FOR YARD AND BUFFER REQUIREMENTS: 939
TOTAL TREES PROPOSED FOR YARD AND BUFFER REQUIREMENTS: 978
560 OVERSTORY
152 CONIFER
266 ORNAMENTAL

TREES TO BE PLANTED A MINIMUM OF 5' FROM PROPERTY LINES AND SHALL NOT CONFLICT WITH EXISTING PLANTINGS, SIDEWALKS, OR TRAILS.

FRONT YARD TREES MAY BE ADJUSTED TO ACCOMMODATE FINAL HOME DESIGNS AND DRIVEWAY LOCATIONS.

COMMERCIAL LANDSCAPE PLANS WILL BE COMPLETED AFTER BUILDINGS AND USES ARE FINALIZED.

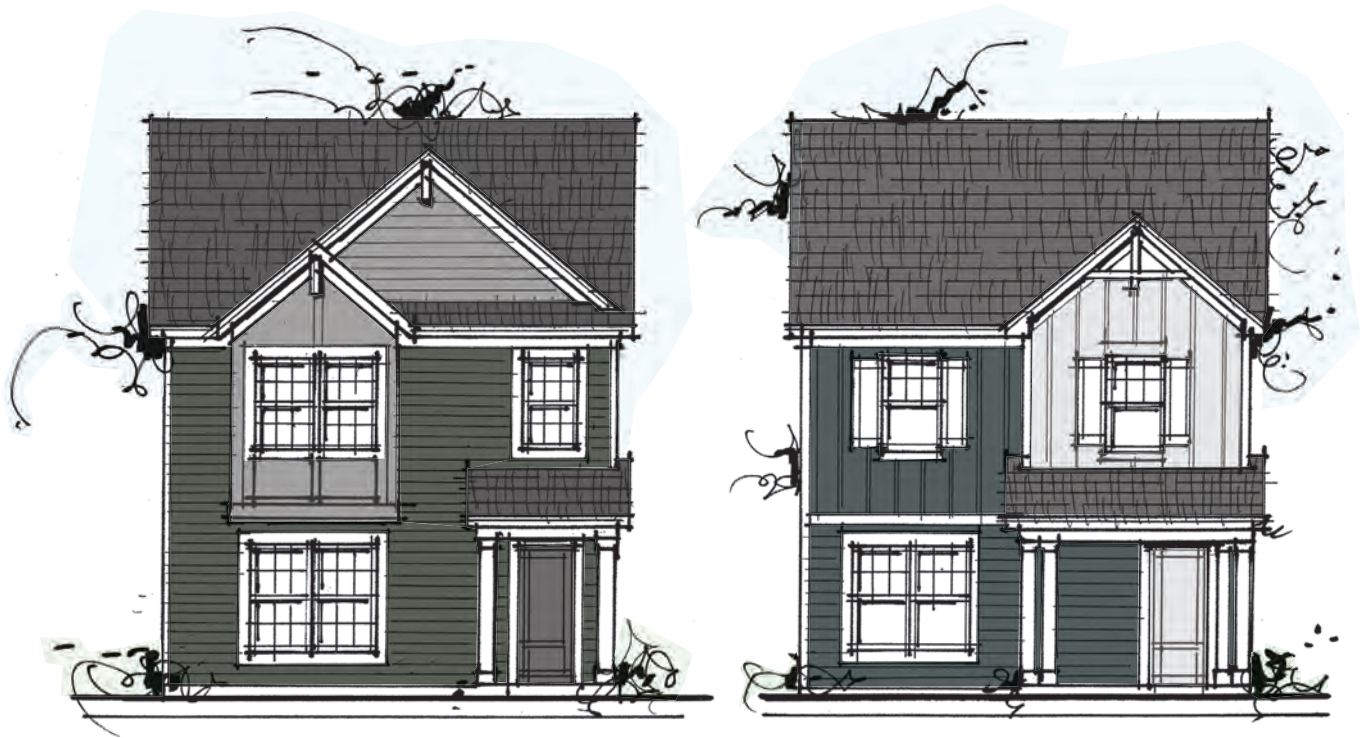
ENGINEERING AND SURVEYING BY SATHRE-BERGQUIST



DCM Farms

Dayton, Minnesota



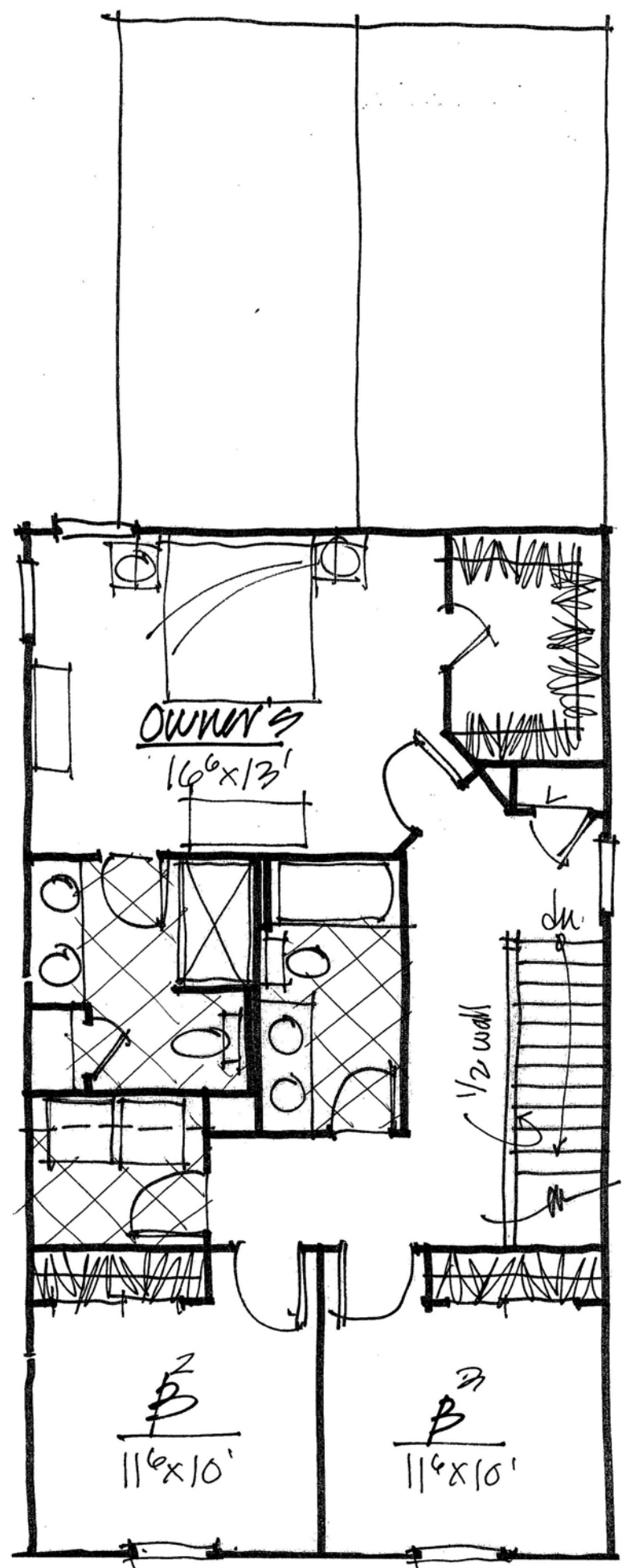
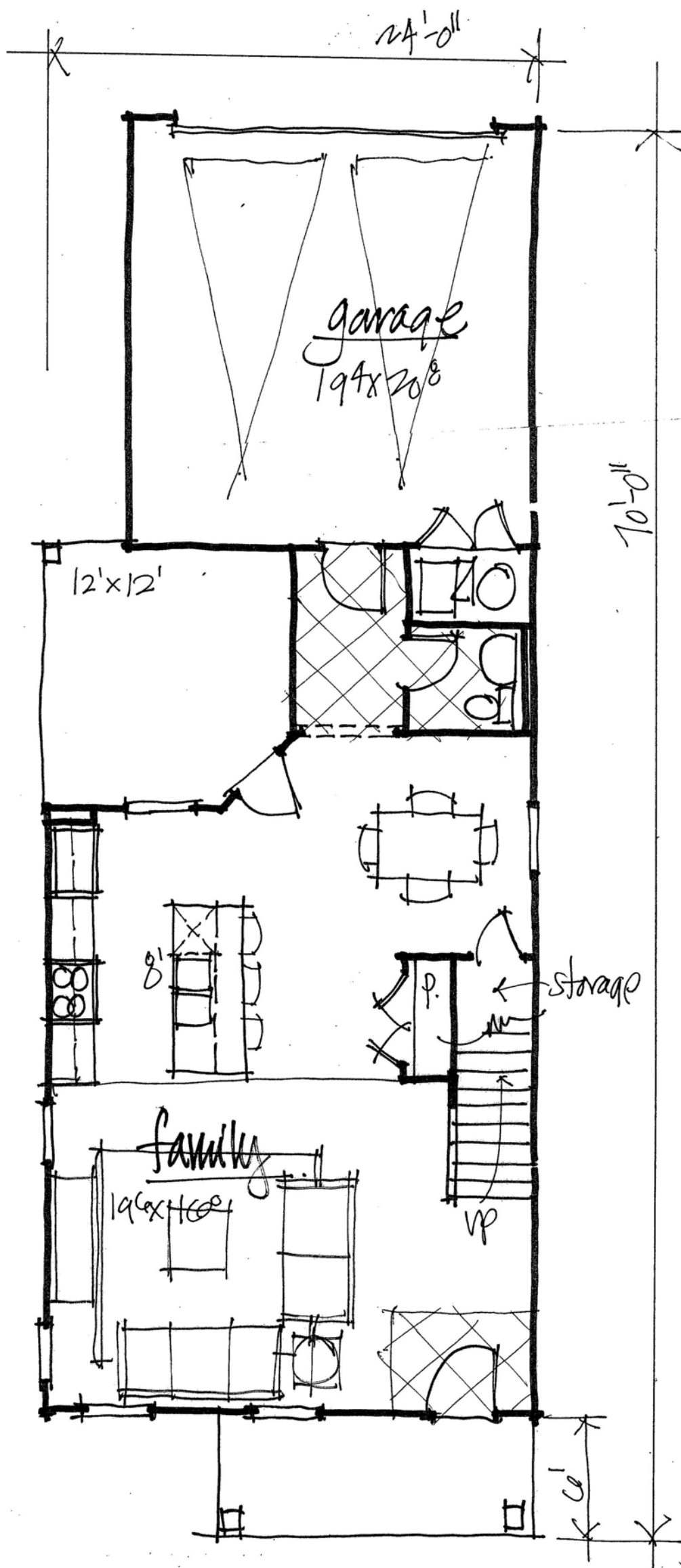


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Character Elevations
Alley Load SF
 M/I Homes Minneapolis





Plan Type 1 Alley Load SF 1860sf

M/I Homes Minneapolis

07-23-2024





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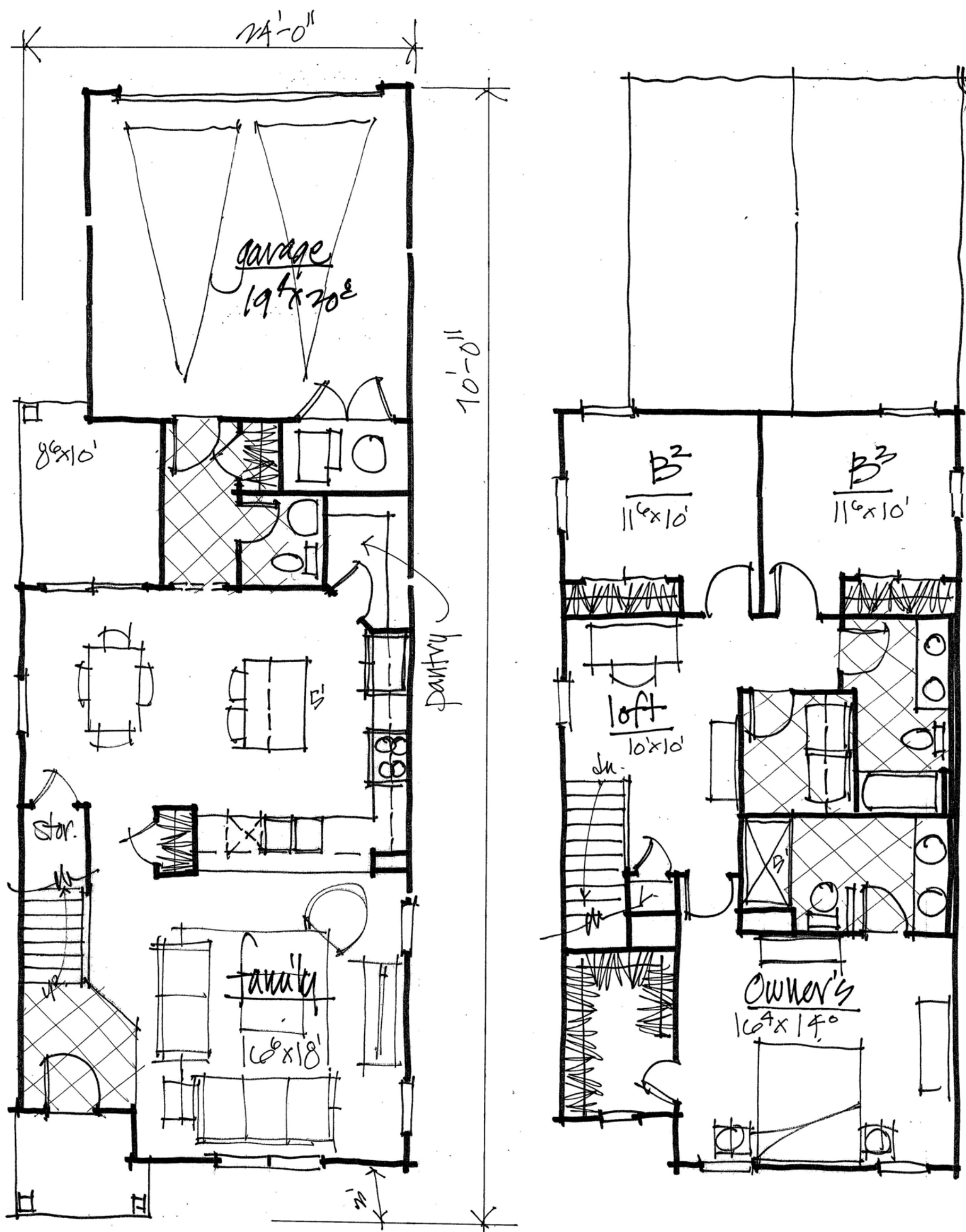


B

Character Elevations
Plan Type 1 Alley Load SF
M/I Homes Minneapolis

07-23-2024





Plan Type 2 Alley Load SF 2002sf

M/I Homes Minneapolis

07-23-2024





A

B

Character Elevations
Plan Type 2 Alley Load SF
M/I Homes Minneapolis

07-23-2024



PRESENTER:

Jason Quisberg

ITEM:

113th Avenue Trunk Sewer Extension

PREPARED BY:

Jason Quisberg, Engineering

POLICY DECISION / ACTION TO BE CONSIDERED:

Authorize Preliminary Design for the 113th Avenue Trunk Sewer Extension

BACKGROUND:

As has been discussed previously, the city trunk sewer line located just south and east of 113th Avenue, near CSAH 81, needs to be extended to service the area north of the Dayton Industrial Park (113th Avenue). This line will provide wastewater collection for the area, generally, east of The Cubes, west of East French Lake Road, north to, and beyond, 117th Avenue. This includes the parcels commonly referred to as the DDL properties – more recently associated with the Oppidan development application.

This project focuses on extending the sewer, from its current extent, to the proposed Oppidan development limits. The sewer would then be extended (north), by the developer, through the Oppidan site, as part of that project. And later extended further (north), to 117th Avenue, as the remaining DDL property is developed. A subsequent extension would be reviewed as development interest north of 117th Avenue is expressed.

Currently, two different alignments are being considered for this extension. The work proposed in the attached proposal is to determine the preferred alignment and complete a preliminary design for the extension. This includes data collection and coordination: soil exploration, a topographic survey, wetland delineations, and land rights (easements) appraisals. Using this information, both alignments will be analyzed such that the preferred alignment can be selected.

Upon completion of this effort, a proposal for the final design will be presented for Council for consideration.

PROJECT SCHEDULE

Depending on the alignment selected, the preferred construction timing may change. If the easterly alignment is selected, a winter 2025 construction may be targeted; if the westerly alignment (see sketch included in the proposal), we anticipate spring 2026 construction. This is primarily due to the prevalent surface and subsurface waters anticipated to be encountered if along the easterly alignment.

PROJECT COSTS & REVENUES

Efforts related to cost estimating for this project, to date, have been limited. For initial budgetary purposes, \$1-1.5M should be reasonable for the total project costs. This estimate will be refined upon our analysis and selection of the preferred alignment.

It is expected that this project will be funded using the City Sewer Fund, along with developer fee's associated with the Oppidan development, and potentially direct developer contributions towards the improvements.

OTHER

A short presentation will be given at the meeting. Council is encouraged to reach out with any questions prior to the meeting so that staff has an opportunity to prepare answers in advance.

BUDGET IMPACT:

See attached proposal

RECOMMENDATION:

Should Council choose to proceed with the project, approve the proposal for preliminary design services.

ATTACHMENT(S):

Engineering proposal



Stantec Consulting Services Inc.
One Carlson Parkway North, Suite 100
Plymouth MN 55447-4440

April 1st, 2025

Dayton City Council
12260 S Diamond Lake Rd
Dayton, MN 55327

Dear Dayton City Council,

Stantec has prepared a project scope, schedule, and budget for the 113th Avenue Trunk Sewer Extension. At this time, scope is limited to preliminary design, preliminary survey, and wetland delineation.

BACKGROUND AND IMPROVEMENTS

A trunk sewer extension from the existing stub south of 113th Avenue to the DDL Holdings LLC properties north of 113th Avenue is needed to support development on the DDL Holdings LLC properties, along with the future development north of 117th Avenue along French Lake Road. The initial opinion of probable project cost of the 113th Avenue Trunk Sewer Extension is approaching \$1,000,000 to \$1,500,000. This is a very high-level calculated cost that will need to be verified through a more detailed preliminary design, final design, and eventually public bidding if the project were to move forward. It is anticipated that funding for this would be a combination of city funds and developer contributions.

The project will explore two alignments from the existing stub to the DDL Holdings LLC properties. One alignment will run north from the current stub location and the other alignment running west, then north from the current stub location.

SCOPE OF WORK

The initial task associated with this project is preparation of preliminary design.

TASK 1 – PRELIMINARY DESIGN -\$44,000

Task 1 includes services related to the preparations of preliminary design for this project. This includes the collection of existing site data, alignment evaluation, preliminary design, and the production of an opinion of probable construction cost. The scope includes the following;

- Coordinate Geotechnical investigation (costs for the soil borings and geotechnical report are not included in this scope and will be invoiced directly to the City)
- Collection of existing site data/preliminary survey
- Wetland delineation
- Develop detailed opinion of probable costs/cost estimates
- Determine easement needs and coordinate appraisals of potential acquisitions
- Prepare preliminary design plan and profile sheets

Reference: 113th Ave Trunk Sewer Extension

Wetland Delineation

Stantec will perform a wetland delineation of the site. Because the study area includes agricultural fields, a desktop determination utilizing aerial photographs to identify farmed wetlands may be required following procedures defined in the Corps of Engineers / BSWR *Guidance for Offsite Hydrology/Wetland Determinations*. Areas identified as potential wetlands will be verified during a field visit.

For areas of the study area that are non-agricultural fields, Stantec will conduct a Level 2 wetland delineation of the area defined as the project area. The delineation will be conducted in accordance with the Corps of Engineers Wetland Delineation Manual and Midwest Regional Supplement.

A field investigation will be conducted to delineate all wetland boundaries within the project area. The delineation shall include an investigation of hydrology, soils, and vegetation to determine wetland boundaries and types. Corps data forms (Midwest Region) shall be completed for all upland and wetland data collection points. GPS data collection equipment will be used to record all wetland boundaries and data collection points (upland and wetland transects). Photographs of wetlands will be collected for inclusion in the wetland report. Field work will be conducted under growing season conditions.

Following the completion of field work, a wetland delineation report will be prepared. The report will include all required components as identified by the Corps/BWSR *Guidance for Submittal of Delineation Reports*. Components include all data forms, antecedent precipitation analysis, wetland area and type data, photographs, offsite data figures, wetland narrative, and wetland delineation figure.

Stantec will prepare the Joint Application Form, completing Parts 1-5, and Attachment A. The form will accompany the delineation report in a submittal to the Wetland Conservation Act LGU (City of Dayton) and U.S. Army Corps of Engineers for regulatory review and approval. Because wetlands regulated by the Department of Natural Resources (DNR) as Public Waters are present, DNR will be copied the report and application. Stantec anticipates one site visit will be conducted with regulatory staff to review the delineation.

Deliverables will include preliminary design drawings, opinion of probable construction cost, and wetland delineation report.

Upon completion of work included in Task 1, Council will have the opportunity to move forward with the project if desired. Should the project be ordered, the proceeding steps will be final design (including permitting), bidding, and construction.

COMPENSATION

The following is our anticipated budget. All tasks will be billed on a time and materials basis not to exceed the total fee listed without prior authorization from the City. Invoices will reflect the actual effort it takes to complete the scope of work proposed. The following are not included within the fee and are the City's responsibility: administrative review, application/permit fees, review fees, and reproduction fees.

No.	Task Name	Estimated Fee
1	Preliminary Design	\$44,000
	Estimated Total	\$44,000

Reference: 113th Ave Trunk Sewer Extension

ASSUMPTIONS

Note the following assumptions were made in preparation of this proposal. If any of these assumptions are found inaccurate, the level of effort required to complete the tasks as outlined may change, potentially with great significance:

1. Permitting is not included with this scope.
2. Geotechnical services are not included with this scope.
3. Land acquisition and appraisal services are not included with this scope.
4. The project will require future land rights/easement acquisition and wetland/environmental permitting.

SCHEDULE

It is expected preliminary design will be ready for Council review in Summer 2025. If the project moves forward, the remaining activities would be completed to allow a potential fall/winter 2025 construction start.

TERMS AND CONDITIONS

The scope of services will be performed in accordance with the Master Services agreement between Stantec and the City of Dayton. Please indicate your acceptance of this scope of work by signing the bottom of the next page.

We appreciate the opportunity to continue to work with the City of Dayton and to contribute to the success of ongoing infrastructure projects. Please do not hesitate to contact us with any questions.

Regards,

STANTEC CONSULTING SERVICES INC.



Jason Quisberg PE
Senior Associate, Senior Civil Engineer
Phone: 763-252-6873
Mobile: 952-334-0542
jason.quisberg@stantec.com



Mark Schroeder PE
Associate, Senior Civil Engineer
Direct: 651-395-5216
Mobile: 952-334-2838
mark.schroeder@stantec.com

Reference: 113th Ave Trunk Sewer Extension

By signing this proposal, the City of Dayton authorizes Stantec to proceed with the services herein described.

This proposal is accepted and agreed on the _____ of _____, _____.
Day Month Year

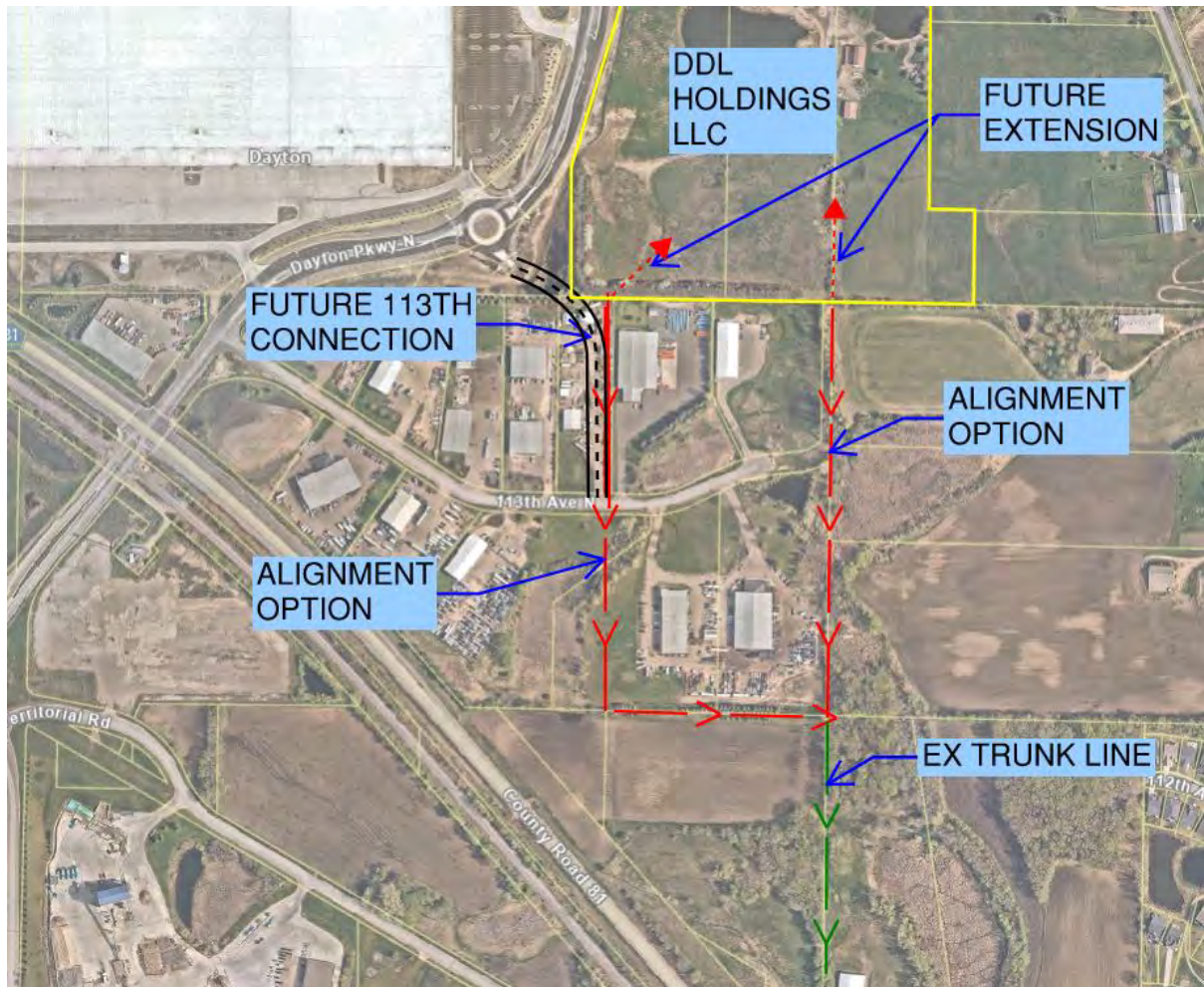
Per: _____
City of Dayton
Client Company Name

Print Name & Title

Signature

Reference: 113th Ave Trunk Sewer Extension

Attachment A: Project Location



PRESENTER: Christian Moring

ITEM: Water Trails Approval for Bidding

PREPARED BY: Marty Farrell

POLICY DECISION / ACTION TO BE CONSIDERED: Approve Water Trails Project for bidding.

BACKGROUND:

Park Commissioners and Staff expressed a desire to enhance the accessibility for residents, to the natural resources that we have available in the City of Dayton. One opportunity that has been discussed is how to best access the Mississippi and Crow Rivers, for the residents of the Dayton. One idea was to design a water trail system that would tie in with projects funded by Three Rivers Park District such as the Diamond Lake Regional Trail which would possibly have a trail head in the Goodin Park Area. The ultimate goal would be to build the water trail out incorporating our neighboring City's into the project, while also trying to invite support from other agencies that have an interest in improving access to the Mississippi and Crow Rivers.

Council approved the Water Trail Study in October of 2021. There have been numerous meetings with Stakeholder groups, Steering committee, presentations to the City Council and Park Commission, and an Open House for resident input. This has been an exhaustive process, that has taken a significant amount of time but has garnered a significant amount of interest from Agencies that have an interest and a presence in Dayton, such as the DNR, Three Rivers Park District, Friends of the Mississippi and the National Parks Service.

Some of the interest from these agencies includes; DNR have reviewed plans and see no issues with getting permits for the project and they want to actively start promoting the project on their web site, TRPD are very interested in incorporating the water trail into their location next to Goodin Park, which will serve as a trail head for the Mississippi Trail and Diamond Lake Trail, we have been working collaboratively on a concept. The National Parks Service have received grant funding for this project, and have indicated that they will be able to support Dayton in applying for other Federal Grant opportunities, NPS also wants to use the Dayton Water Trail as the starting point for their relaunch of their 72 miles of Mississippi Water Trail.

The Parks Commission voted unanimously for Council acceptance of the Water Trails Study. The Study was accepted by the council at the February 28th meeting in 2023.

Staff were notified in July of 2023 that our finding request was going to be \$850,000, significantly lower than the \$3,900,000 that we had asked for. With this in mind it was decided that we needed to limit the scope of the project, to the Elsie Stephens launch as this would fit within the revised funding that we received. Staff have been working with the Federal agencies to ensure that we meet all of the criteria to be able to access the funding once the project begins construction.

Staff have been working with the Department of Natural Resources to partner on a project at the existing DNR landing at the confluence of the Crow and Mississippi Rivers. The DNR are planning to realign their launch site to use the Crow river side as their access point, and potentially allow the City to use the existing Mississippi ramp as a Canoe/Kayak launch site. This would allow the City to have a put in point and a take-out point creating a significant stretch of the water trail. The DNR have a \$574,000 budget for this project, Staff is currently negotiating a cooperative agreement and a project scope with the Agency.

Three Rivers Park have applied for \$500,000 grant funding for a canoe kayak launch at their property adjoining Goodin Park.

Staff have also commissioned Stantec to conduct an environmental review of the site, which is a requirement of being able to access the funding from the Federal government, the study will be funded from the grant funding.

The Environmental review of the site has been completed and given a "No Historic Properties Affected" designation.

MSA presented the 90% plan set to the Parks Commission at their 4-1-2025 meeting for comments and questions. The Parks Commission recommended approval of the project to go out to bid.

CRITICAL ISSUES: Works toward achieving a Strategic Initiative identified by the City Council to "Maintain and Enhance the Natural and Rural Community Connection".

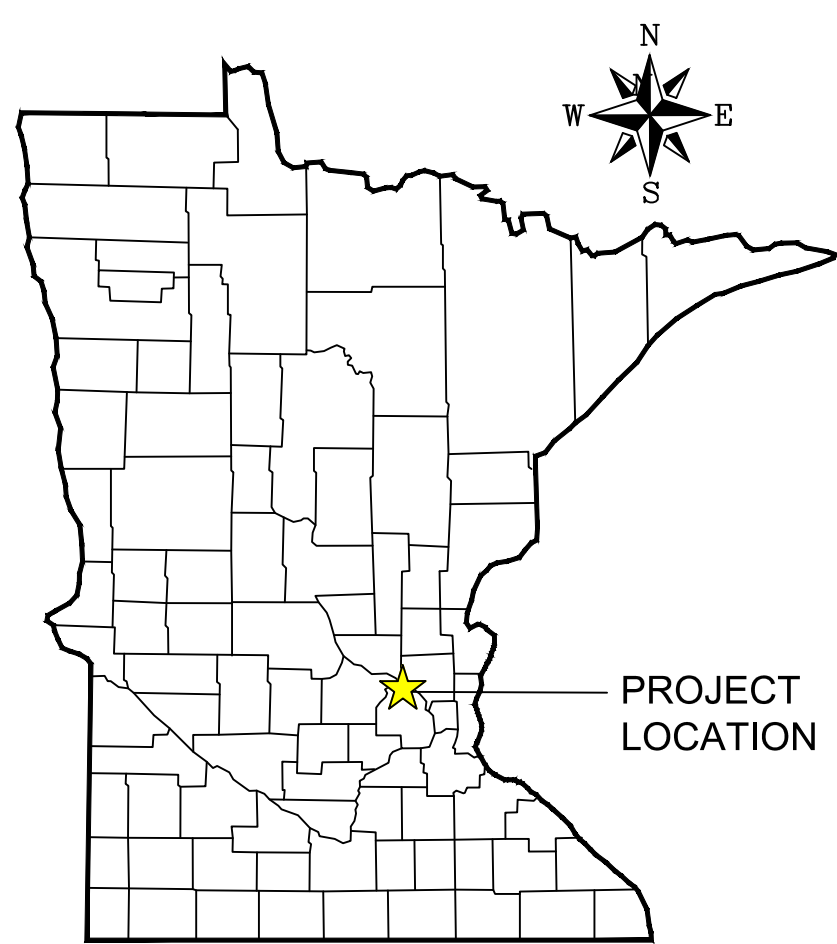
BUDGET IMPACT: Funded from CIP Park and Trail Development Fund 408, National Park Service Grant \$100,000, Federal Grant \$850,000, Department of Natural Resources \$574,000.

RECOMMENDATION: Approve Water Trails Project for Bidding

ATTACHMENT(S): Water Trail Plan Set, Cost Estimate, Renderings of the project.

ELSIE STEPHENS CANOE/KAYAK LAUNCH

CITY OF DAYTON HENNEPIN COUNTY, MINNESOTA



PROJECT
LOCATION



LOCATION MAP
NOT TO SCALE



MAP LINK

SHEET INDEX

G - GENERAL SHEETS

G100	TITLE SHEET
G101	EXISTING SITE PLAN

C - PLAN SHEETS

C101	EROSION CONTROL PLAN AND REMOVALS
C102	PROPOSED SITE PLAN AND PROFILE
C103	GRADING PLAN
C501	GENERAL DETAILS
C502	GENERAL DETAILS
C503	GENERAL DETAILS
C504	RAILING DETAILS
C505	EROSION CONTROL DETAILS
C506	EROSION CONTROL DETAILS
C507	SECTION VIEW
C508	SECTION VIEW

L - LANDSCAPE SHEETS

L101	PLANTING PLAN
L901	PLANTING DETAILS

S - STRUCTURAL SHEETS

S101	STRUCTURAL SCHEDULES AND FOUNDATION PLAN
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E - ELECTRICAL SHEETS

E001	ELECTRICAL SYMBOLS, ABBREVIATIONS & SCHEDULE
E100	ELECTRICAL SITE PLAN
E400	ELECTRICAL DETAILS

LEGEND

W	EXISTING WATER MAIN
→	EXISTING GATE VALVE & HYDRANT
○	WATER SERVICE & CURB STOP
→	PROPOSED WATERMAIN, VALVE, & HYDRANT
→	PROPOSED WATER SERVICE & CURB STOP
SAN	EXISTING SANITARY SEWER & MANHOLE
FM	EXISTING FORCEMAIN
SAN	EXISTING STORM SEWER & INLET
→	PROPOSED STORM SEWER & INLET
→	PROPOSED STORM SEWER & MANHOLE
→	PROPOSED SANITARY SEWER & MANHOLE
E	BURIED ELECTRIC
G	BURIED GAS & VALVE
TV	BURIED CABLE TELEVISION
T	BURIED TELEPHONE
FD	BURIED FIBER OPTICS
OH	OVERHEAD UTILITY
+	RAILROAD TRACKS
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
---	EXISTING SIDEWALK
---	PROPOSED SIDEWALK
---	EXISTING CULVERT PIPE
---	PROPOSED CULVERT PIPE
○	FENCE LINE
→	DRAINAGE ARROW
→	SILT FENCE
---	RIGHT-OF-WAY
---	BASELINE
---	PROPERTY LINE
~	TREE LINE
●	BENCHMARK
●	IRON PIPE
●	IRON ROD
▲	CONTROL POINT
○	UTILITY POLE & GUY
1 000.00	SOIL BORING
×	LIGHT POLE
×	PEDESTAL
×	STREET SIGN
×	MAILBOX
×	FLAGPOLE
☆	TREE - DECIDUOUS
☆	TREE - CONIFEROUS
×	TREE TO BE REMOVED

UTILITIES

GAS:

N/A

ELECTRIC:

EXCEL ENERGY
414 NICOLLET MALL
MINNEAPOLIS, MN 55401
P: (612) 330-5500

TELEPHONE:

N/A

SEWER & WATER:

N/A

CATV:

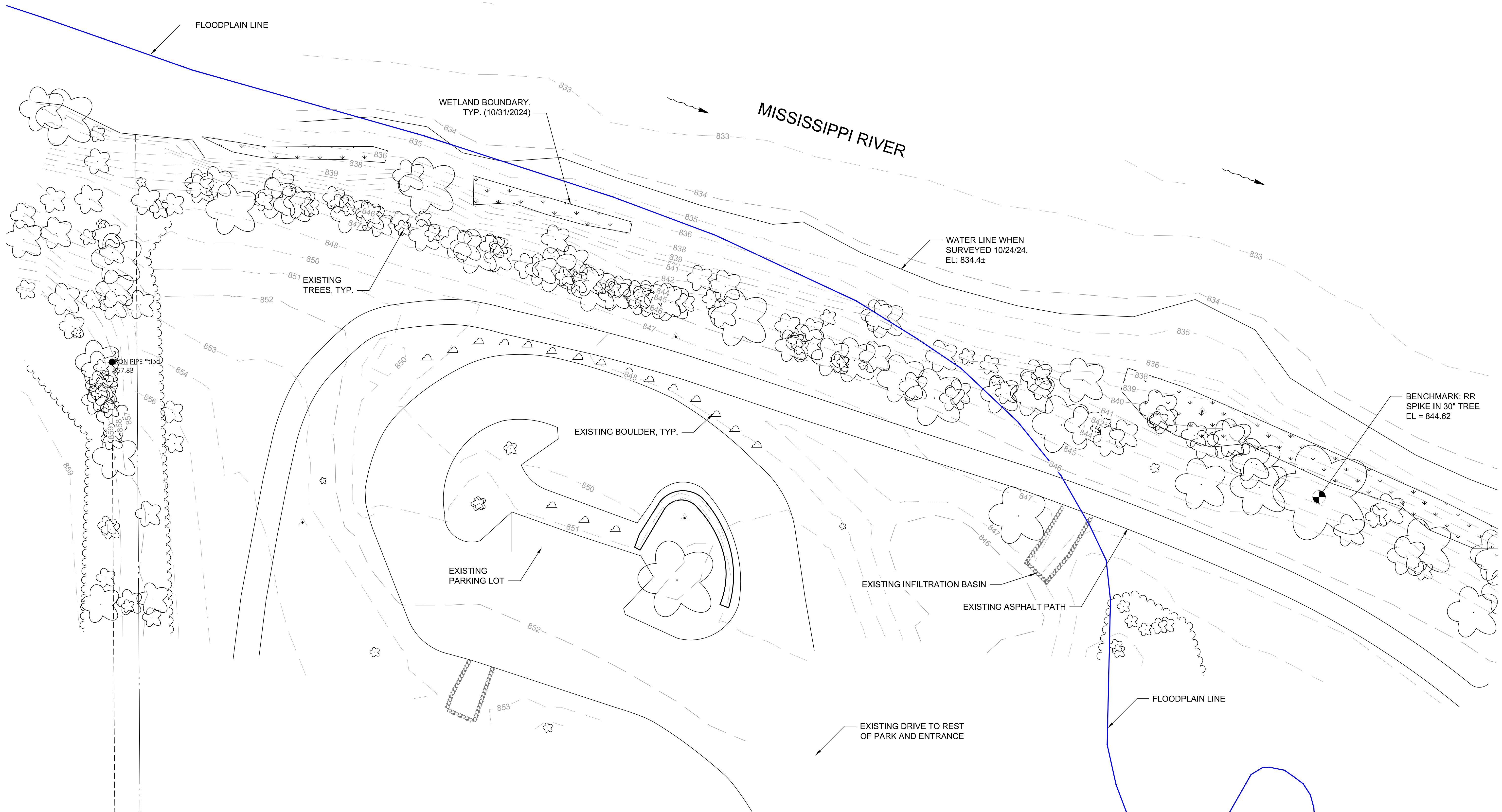
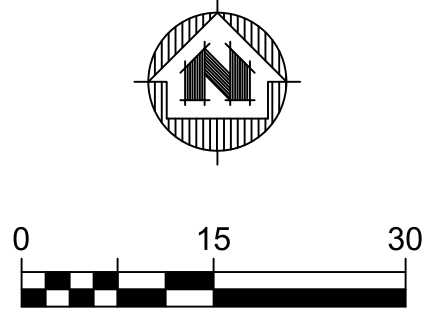
N/A

NOTE:
UTILITY LOCATIONS SHOWN ON PLANS ARE APPROXIMATE AND CONTRACTOR
SHALL HAVE APPROPRIATE UTILITY MARK EXACT LOCATIONS PRIOR TO
CONSTRUCTION.

PROJECT DATE:	DRAWN BY:	NO.	DATE	REVISION	BY
	JAH	.	.		
	DESIGNED BY:	CMM	.		
	CHECKED BY:	RG	.		
PLOT DATE: 3/25/2025 11:04 AM, G:\12\112021\112021001\CADD\construction documents\12021001 Title Sheet.dwg					

I HEREBY CERTIFY THAT THIS PLAN, REPORT, OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.	DATE Date	REGNO License No.

	ENGINEERING ARCHITECTURE SURVEYING FUNDING PLANNING ENVIRONMENTAL 60 Plato Blvd East, St. Paul MN 55107-1835 (612) 548-3132 www.msa-ps.com © MSA Professional Services, Inc.	ELSIE STEPHENS CANOE/KAYAK LAUNCH CITY OF DAYTON HENNEPIN COUNTY, MINNESOTA	TITLE SHEET	PROJECT NO. 12021001 SHEET G001
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PROJECT DATE:	NO.	DATE	REVISION	BY

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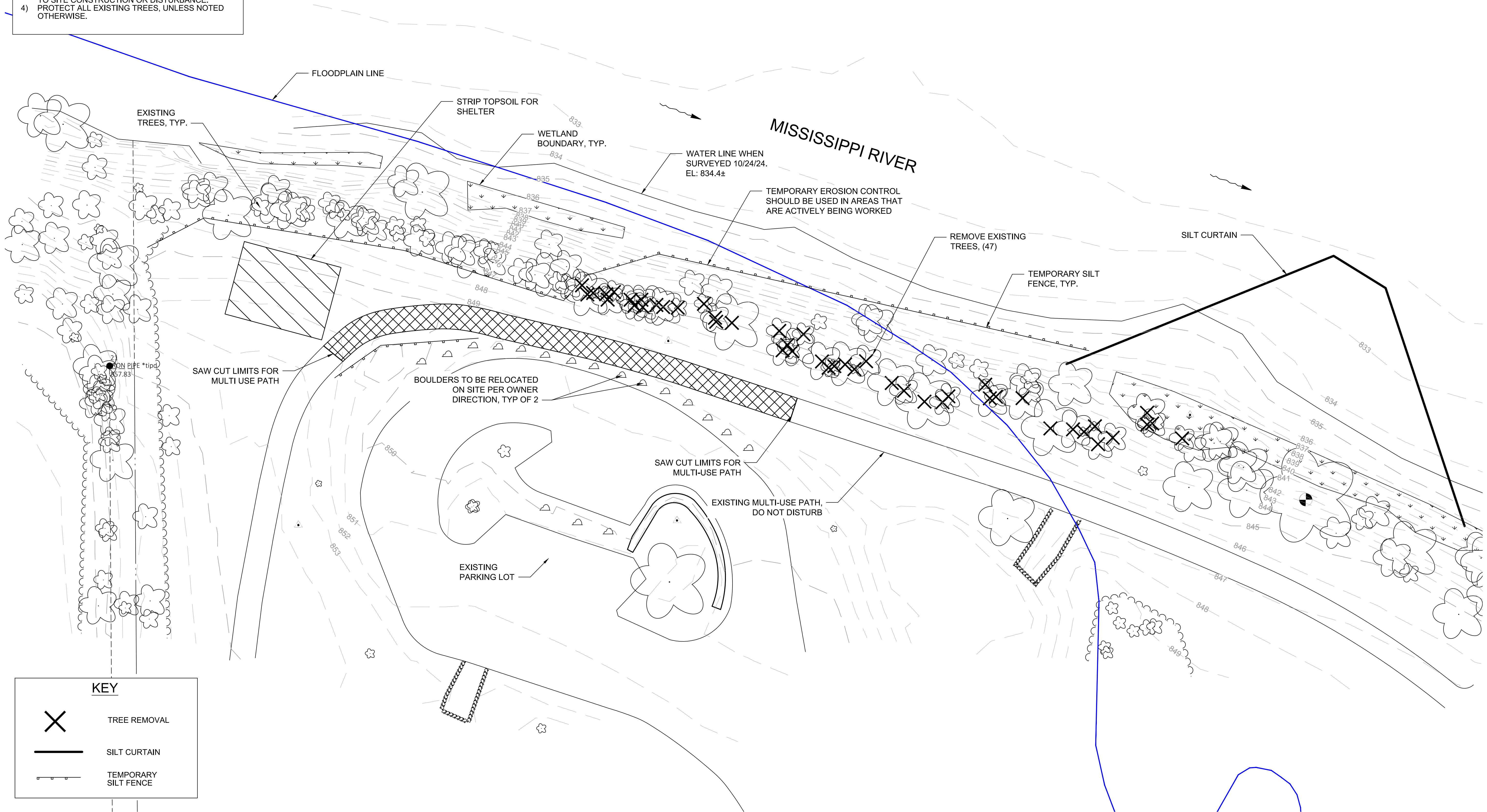
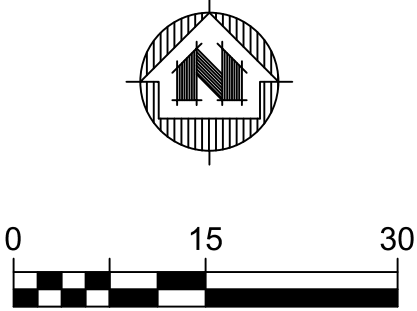
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(612) 548-3132 www.msa-ps.com
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ELSIE STEPHENS CANOE/KAYAK LAUNCH
CITY OF DAYTON
HENNEPIN COUNTY, MINNESOTA

EXISTING SITE PLAN

PROJECT NO.
12021001
SHEET
G101

- NOTES:
- 1) ALL EX. ELEMENTS/STRUCTURES WITHIN EXTENTS OF DISTURBANCE TO BE PROTECTED UNLESS OTHERWISE STATED.
 - 2) CONTRACTOR SHALL VERIFY ALL GRADES AND SLOPES FOR THE PROJECT SITE. IF THERE ARE ANY DISCREPANCIES, CONTRACTOR SHALL BRING THEM TO THE ENGINEER'S ATTENTION PRIOR TO CONSTRUCTION.
 - 3) ALL EROSION CONTROL SHALL BE IN PLACE PRIOR TO SITE CONSTRUCTION OR DISTURBANCE.
 - 4) PROTECT ALL EXISTING TREES, UNLESS NOTED OTHERWISE.



KEY

✕ TREE REMOVAL

— SILT CURTAIN

- - - TEMPORARY SILT FENCE

PROJECT DATE:	DRAWN BY:	NO.	DATE	REVISION	BY
	JAH	.	.		
	DESIGNED BY:	CMM	.		
	CHECKED BY:	RG	.		
PLOT DATE: 3/25/2025 11:04 AM, G:\12\120211\12021001\CADD\construction documents\12021001 Erosion Control Plan.dwg					

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	Date	License No.
	NAME	

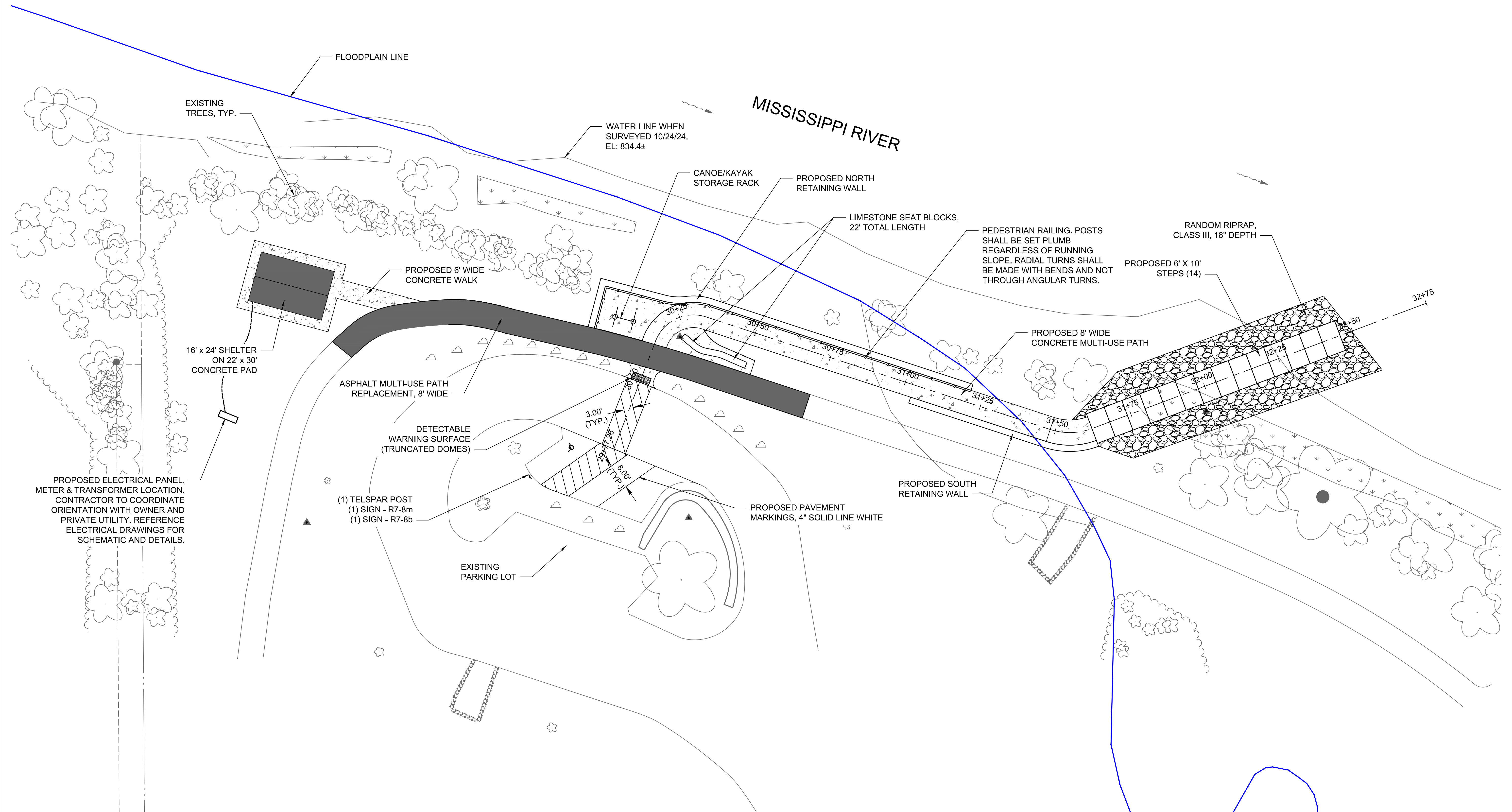
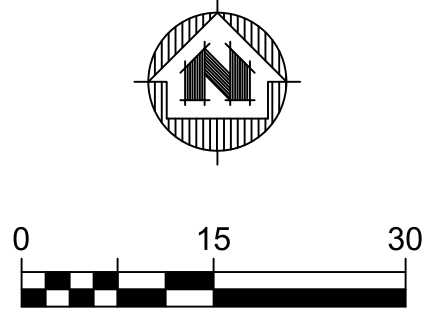


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CITY OF DAYTON
HENNEPIN COUNTY, MINNESOTA


EROSION CONTROL PLAN AND
REMOVALS

PROJECT NO.
12021001
SHEET
C101



PROJECT DATE:	DRAWN BY:	NO.	DATE	REVISION	BY
	JAH	.	.		
	DESIGNED BY:	CMM	.		
	CHECKED BY:	RG	.		
PLOT DATE: 3/25/2025 11:04 AM, G:\12\120211\12021001\CADD\construction documents\12021001 Grading Plan.dwg					

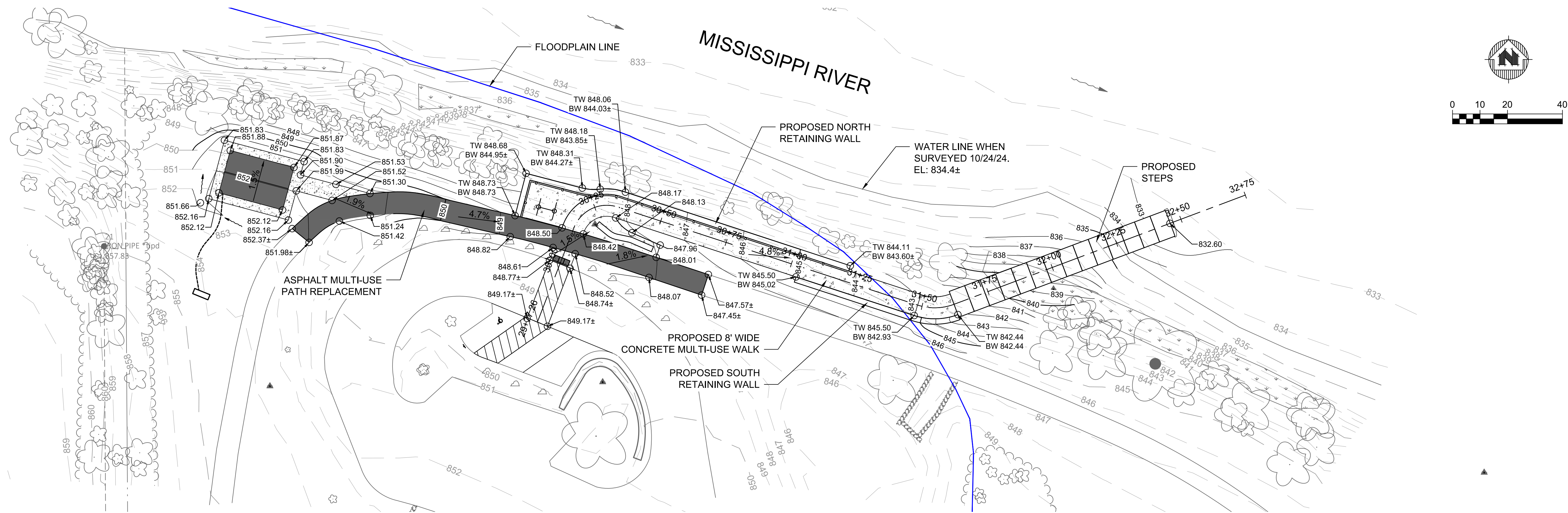
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	Date	License No.
	NAME	



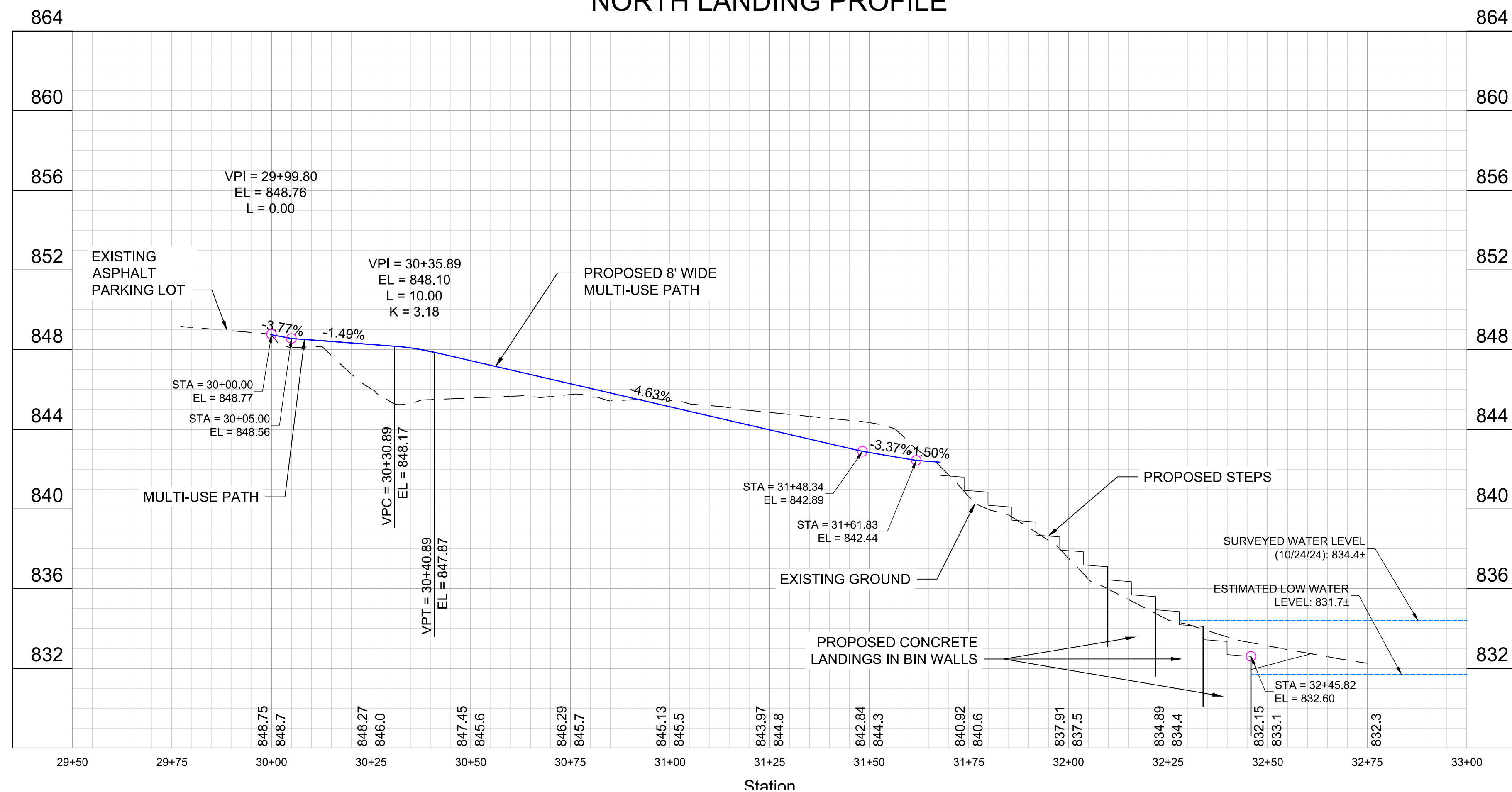
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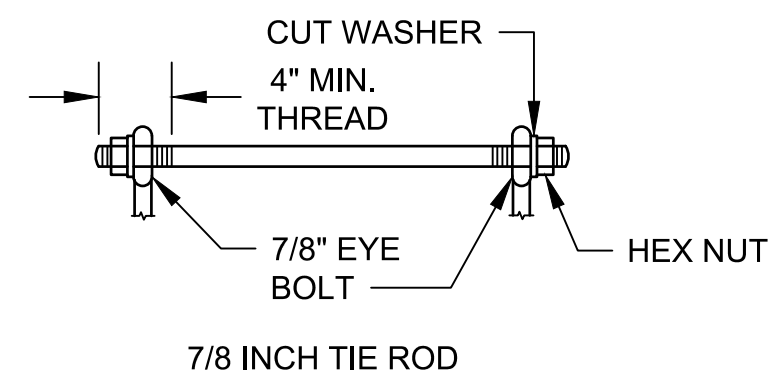
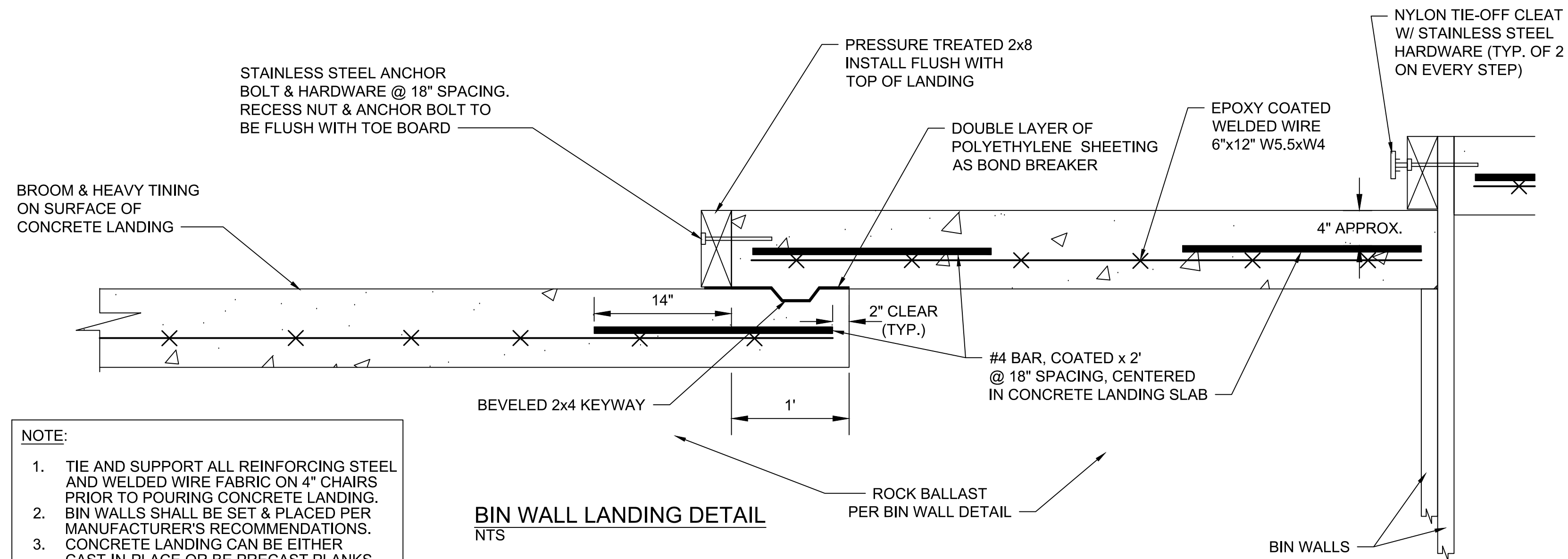
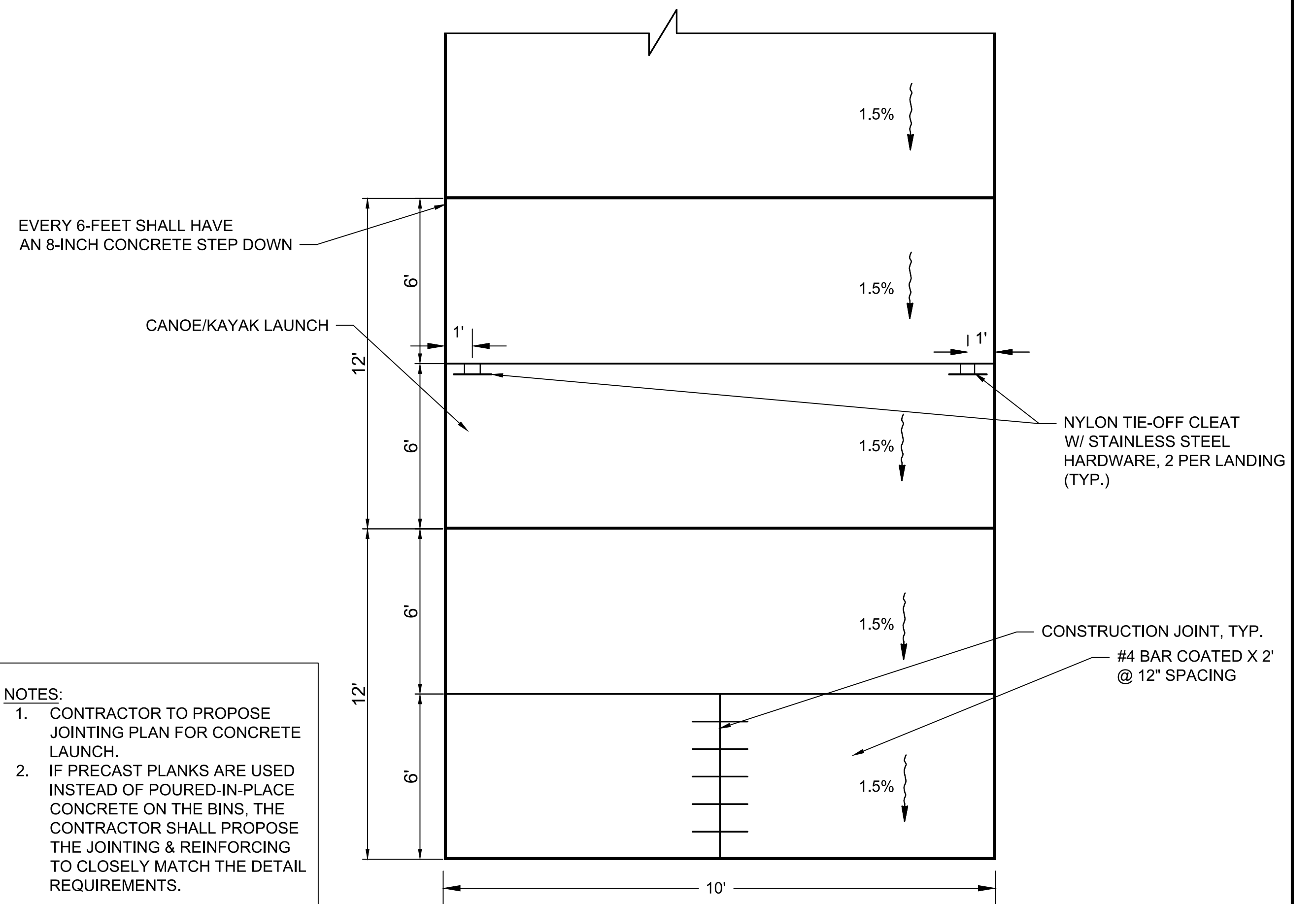
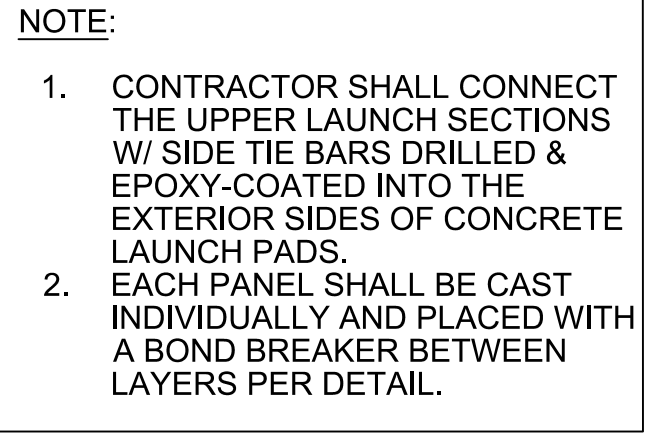
ELSIE STEPHENS CANOE/KAYAK LAUNCH
CITY OF DAYTON
HENNEPIN COUNTY, MINNESOTA

PROPOSED SITE PLAN		PROJECT NO. 12021001
		SHEET C102



NORTH LANDING PROFILE





GENERAL NOTES:

1. DETAILED DRAWINGS FOR PROPOSED ALTERNATE DESIGNS FOR JOINT TIES SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL.
2. HOLES SHALL BE FILLED WITH A NON-SHRINK GROUT OR A NON-SHRINK EPOXY GROUT AS DIRECTED BY THE ENGINEER.
3. ALL TIE BAR COMPONENTS SHALL BE GALVANIZED.

4 SIDE TIE BAR DETAIL FOR LAUNCH CONCRETE PAD CONNECTIONS

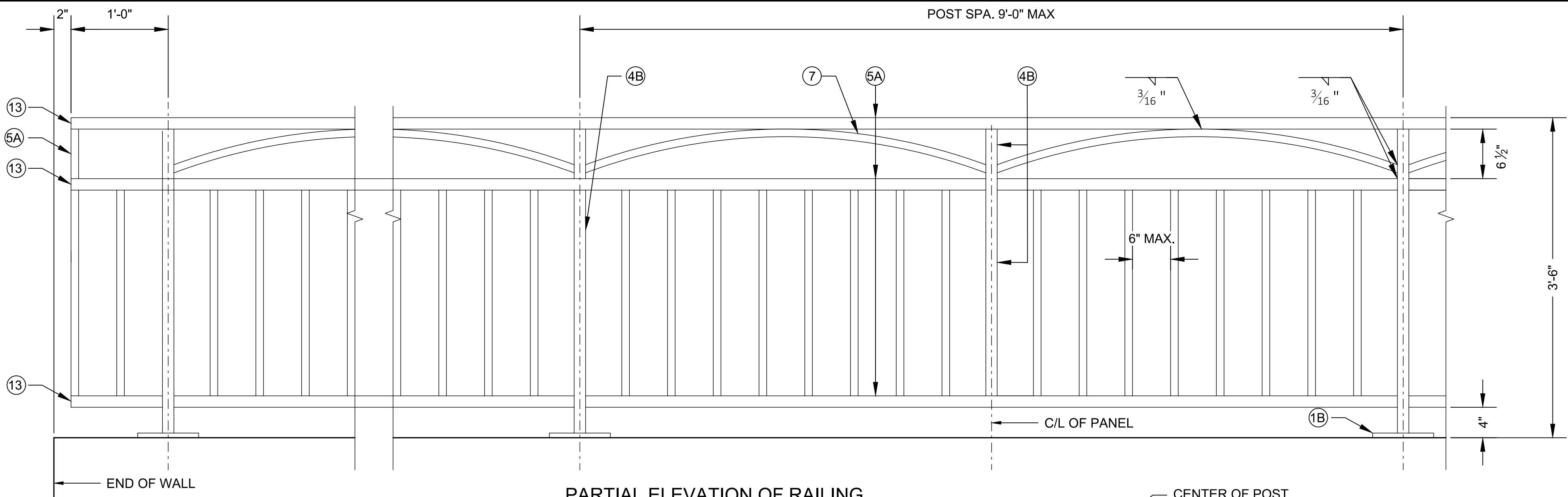
1 BIN WALL SECTION VIEW
C502 NTS

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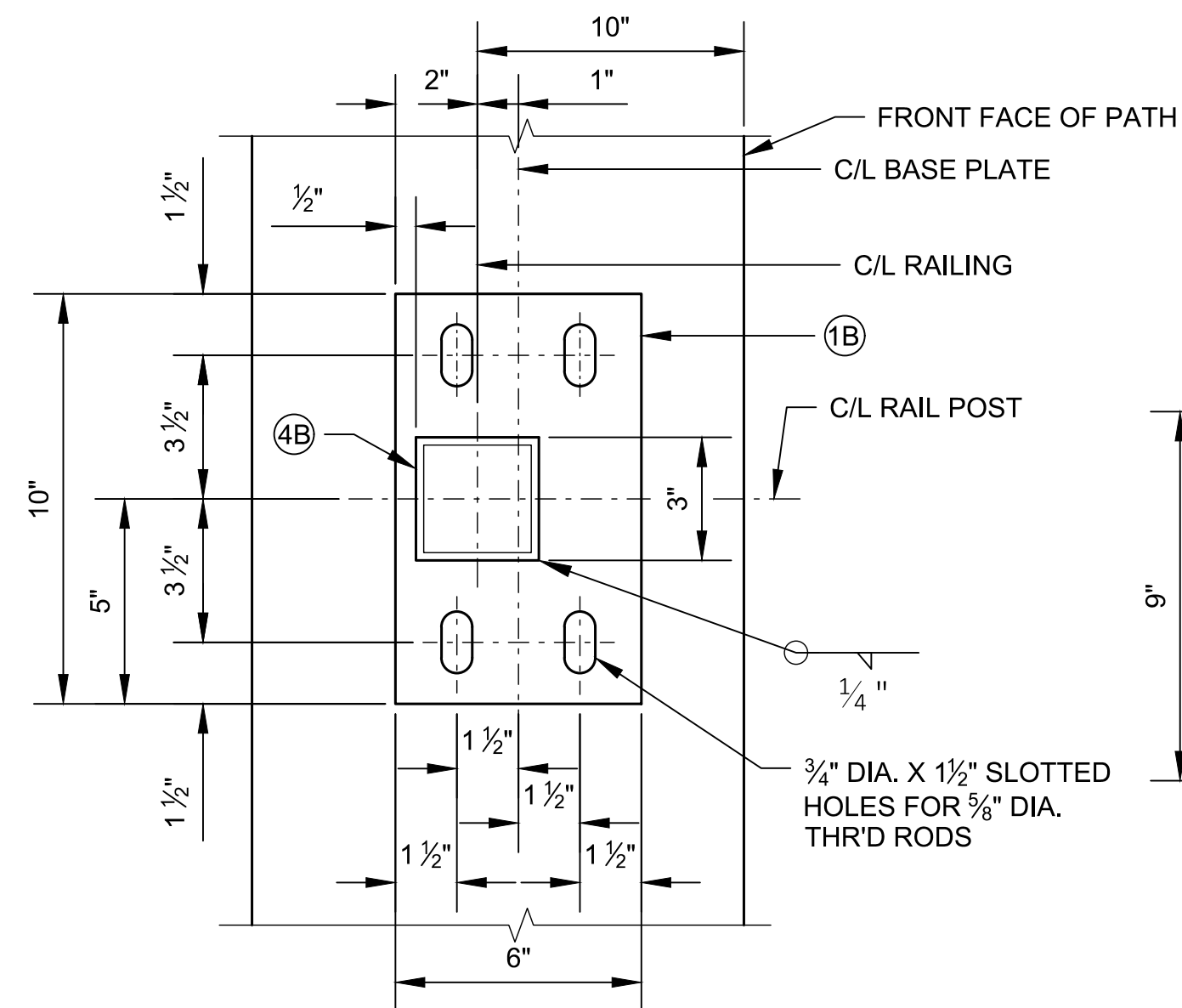
2 LIMESTONE SEAT WALL
C502 NTS

3 SOUTH SEGMENTAL RETAINING WALL DETAIL
C502 NO SCALE

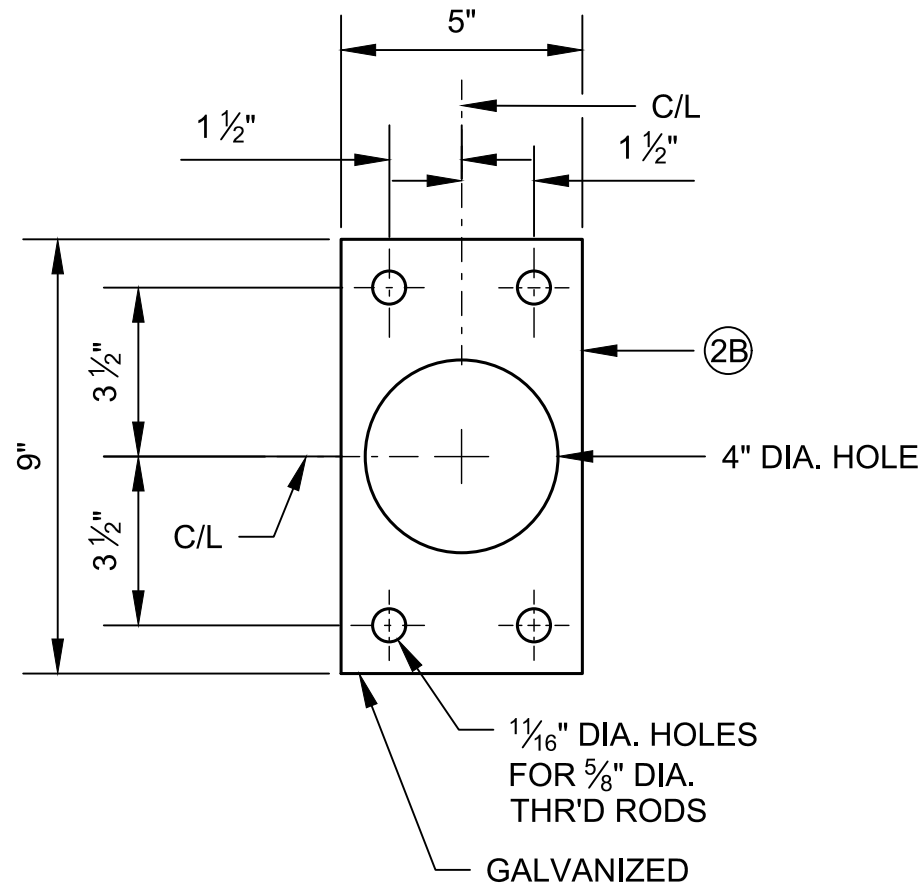
4 NORTH SEGMENTAL RETAINING WALL DETAIL
C502 NO SCALE



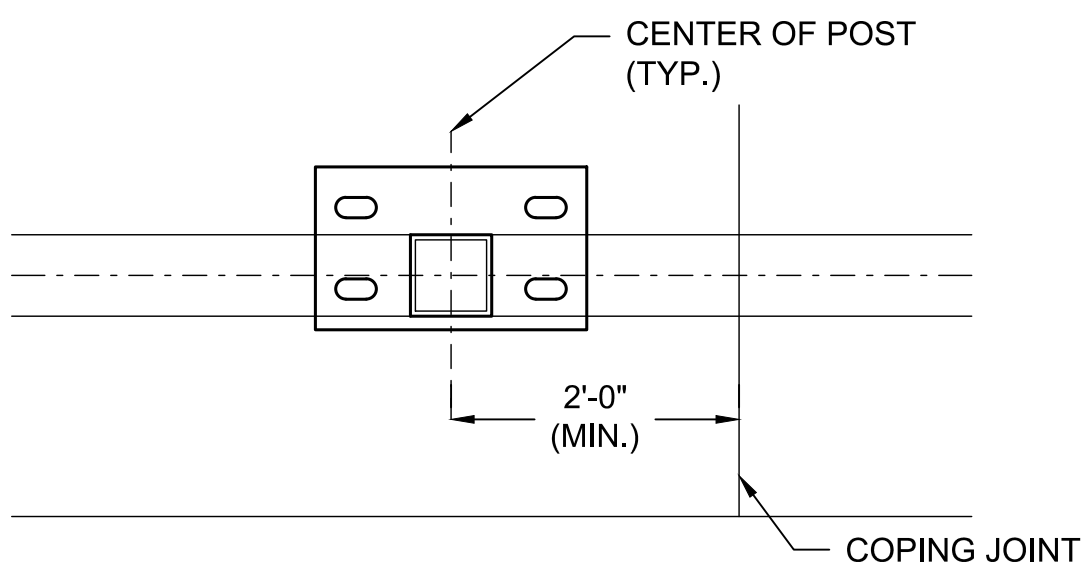
PARTIAL ELEVATION OF RAILING
NO SCALE



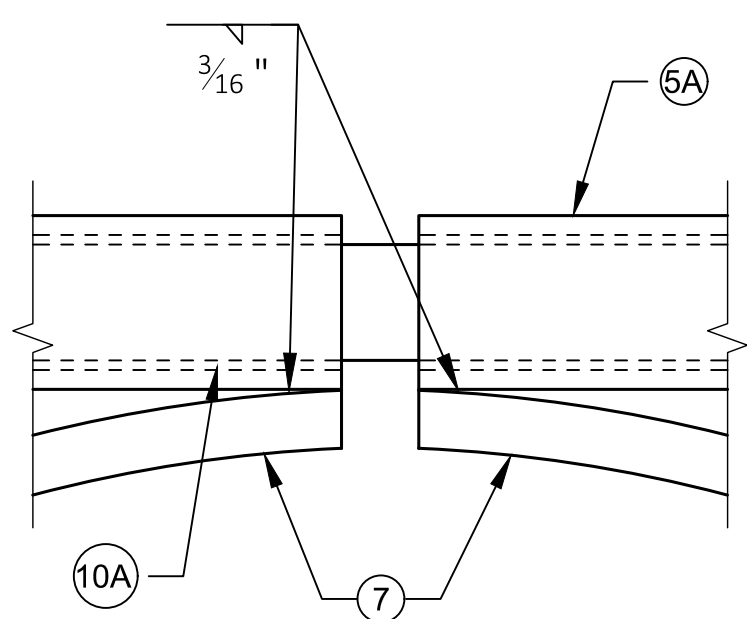
TYPICAL RAIL POST BASE PLATE



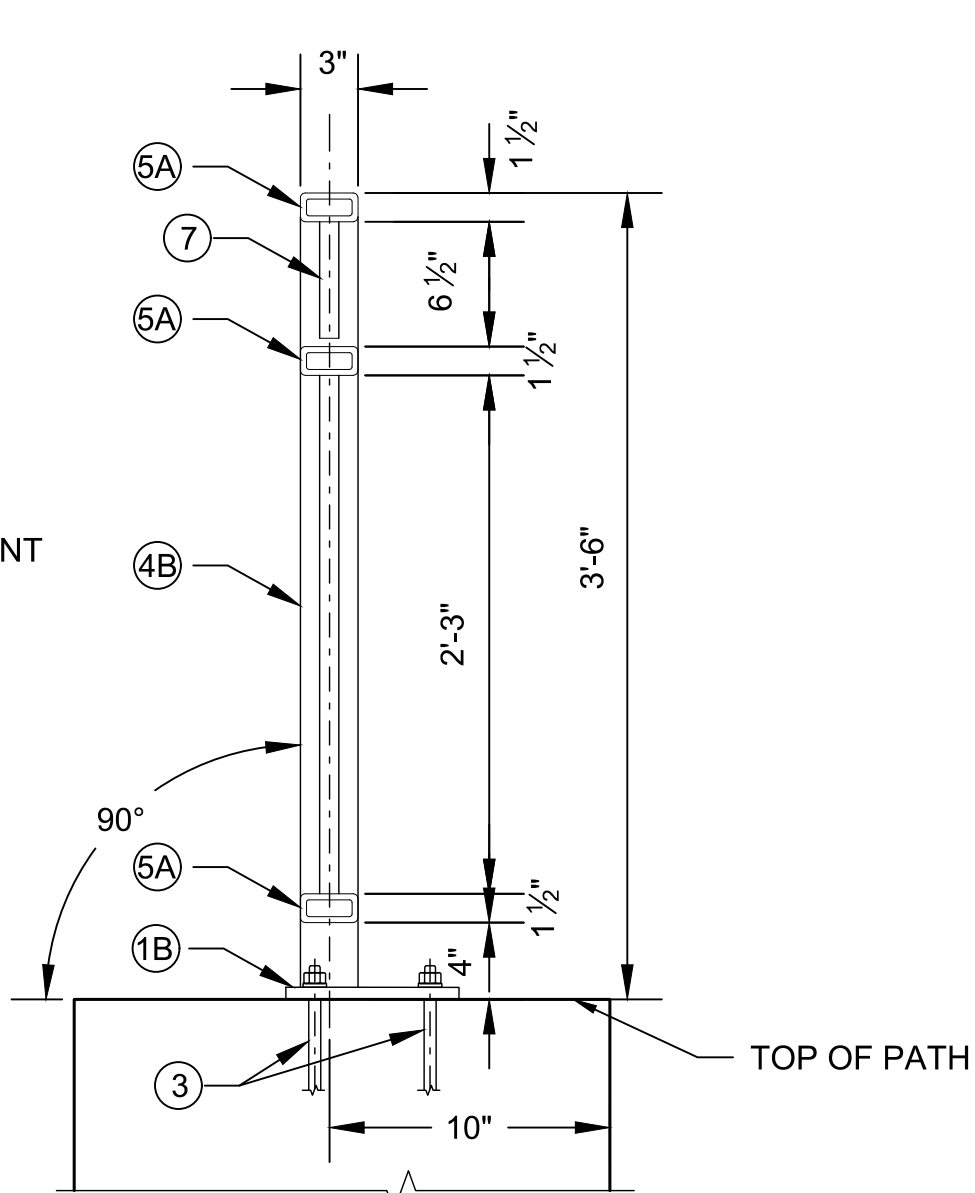
ANCHOR PLATE



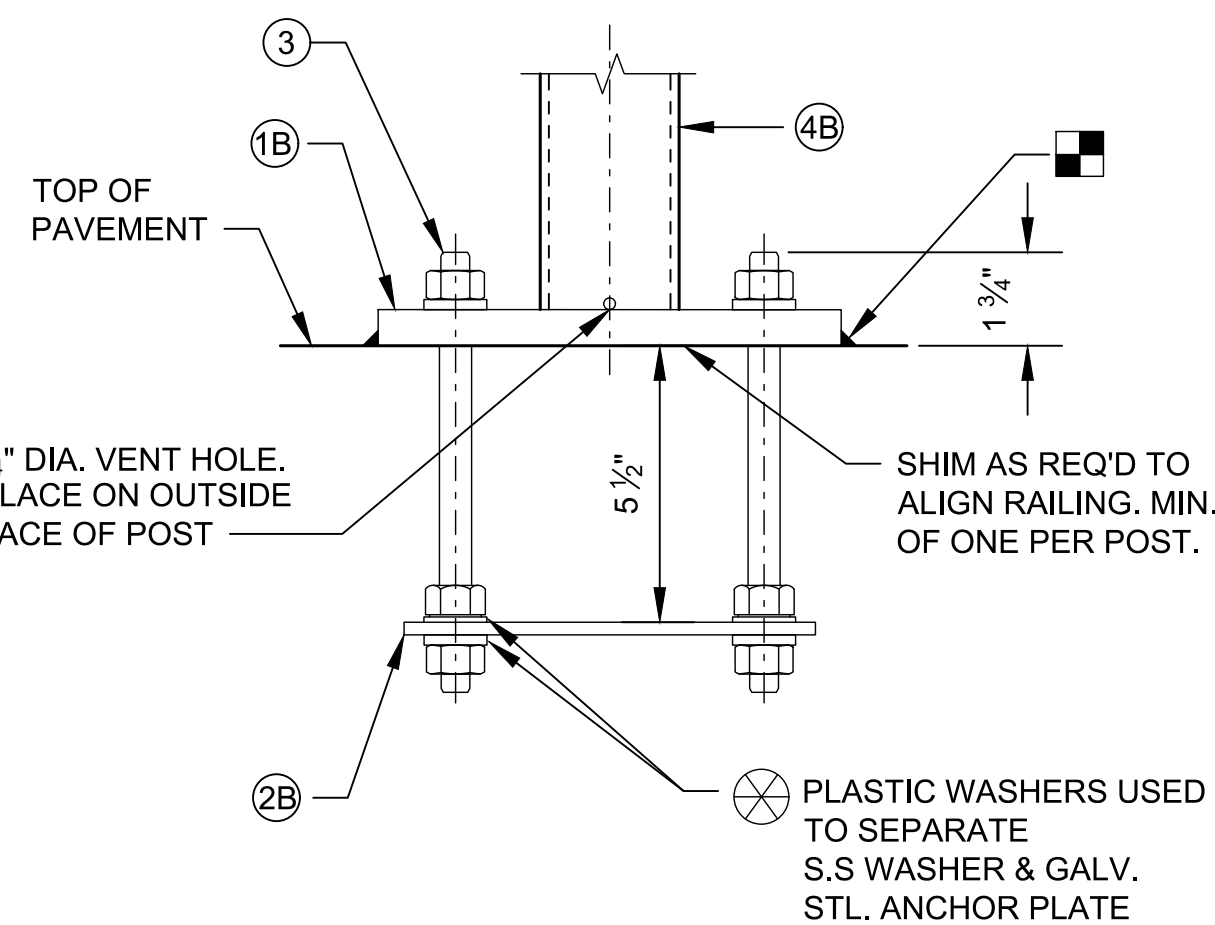
RAILING AT EXPANSION JOINT



CURVED MEMBER JOINT DETAIL

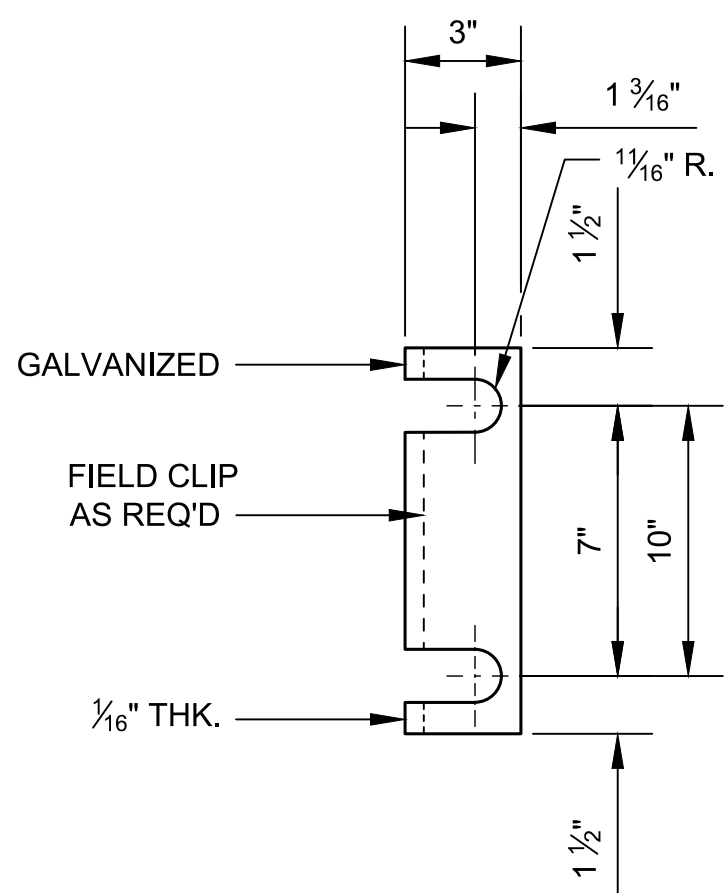


SECTION THRU RAILING



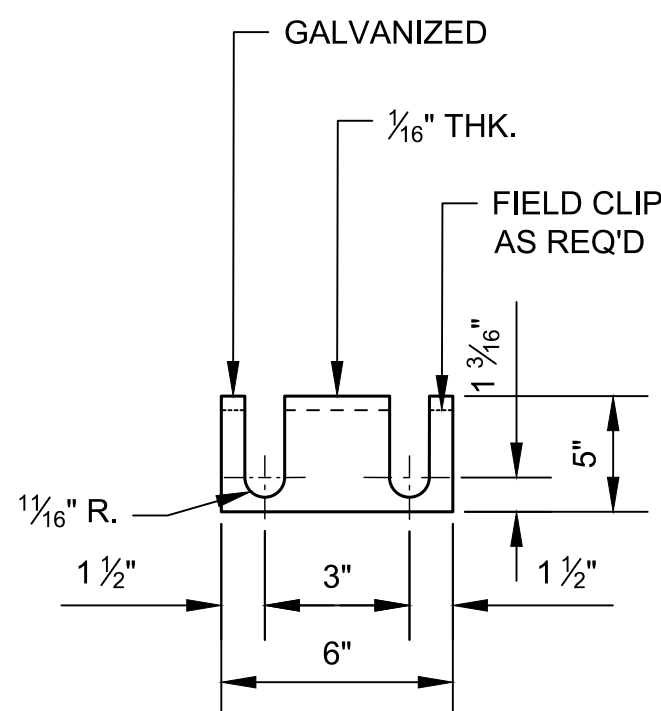
ANCHORAGE FOR RAIL POSTS

NOTE: ANCHOR PLATE NOT REQUIRED WHEN
ADHESIVE ANCHORS ARE USED.



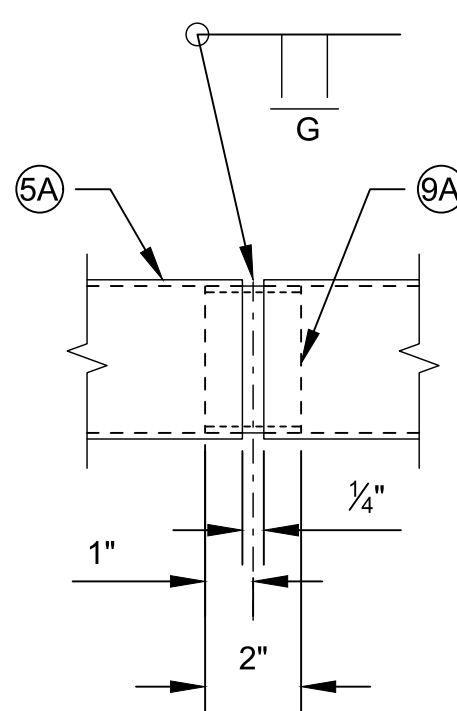
RAIL POST SHIM DETAIL

(2 SETS PER POST)



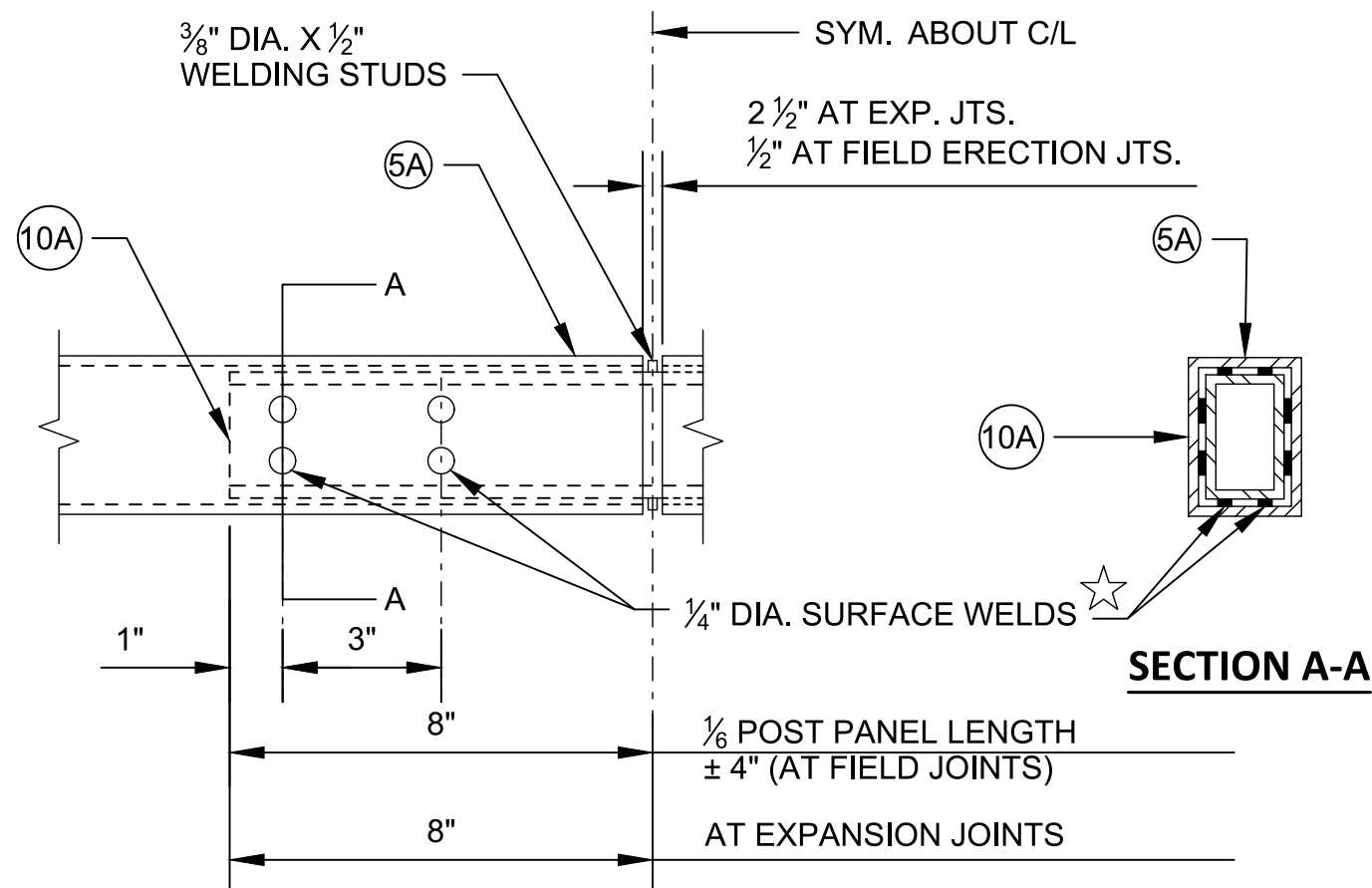
SHOP RAIL SPLICE DETAIL

(LOCATION MUST BE SHOWN ON SHOP
DRAWINGS)



FIELD ERECTION JOINT DETAIL

☆ MIN. 3/8" FLAT SURFACE DIA. PUNCHINGS OR
STUDS MAY BE USED AS AN ALTERNATE.



CLOSURE PLUG JOINT DETAIL

LEGEND:

- (1B) PLATE 5/8" X 6" X 10" WITH 3/4" X 1 1/2" SLOTTED HOLES.
- (2B) 1/4" X 5" X 9" ANCHOR PLATE WITH 1/16" DIA. HOLES FOR THR'D RODS NO. 3.
- (3) 5/8" DIA. X 9" LONG, TYPE 316 STAINLESS STEEL THREADED RODS (MIN. TENSILE STRENGTH = 70 KSI) WITH NUT AND WASHERS OF SAME ALLOY GROUP. ALTERNATIVE ANCHORAGE: CONCRETE ADHESIVE ANCHORS 5/8"-INCH. EMBED 7" IN CONCRETE FOR RAIL POSTS. ADHESIVE ANCHORS SHALL CONFORM TO PROJECT MANUAL SPECIFICATIONS.
- (4B) STRUCTURAL TUBING 3" X 3" X 3/16". PLACE VERTICAL. WELD TO NO. 1 & 5.
- (5A) STRUCTURAL TUBING 3" X 1 1/2" X 3/16" RAILS. WELD TO NO. 1 & NO. 4. INSIDE OF TUBE TO BE PAINTED AT ALL FIELD ERECTION & EXPANSION JOINTS.
- (6A) BAR 1" X 1" PICKETS. WELD TO NO. 5. SPACE AT 6" MAX. C/L TO C/L. PLACE VERTICAL.
- (7) BAR 1" X 1". BEND TO REQUIRED RADIUS. WELD TO NO. 4 & 5.
- (9A) RECTANGULAR SLEEVE FABRICATED FROM 3/16" PLATES. PROVIDE "SLIDING FIT".
- (10A) RECTANGULAR SLEEVE FABRICATED FROM 3/16" PLATES. (1'-4" @ FIELD ERECTION JTS.)
- (13) PLATE 1/4" X 3" X 1 1/2" WELD TO NO. 5.

NOTES:

BID ITEM SHALL BE "HANDRAILS AND RAILINGS", WHICH SHALL INCLUDE ALL STEEL ITEMS SHOWN.

POST BASE PLATES SHALL BE FLAT WITH ALL SURFACES SMOOTH AND FREE FROM WARP AND ALL EDGES SMOOTH, STRAIGHT, AND VERTICAL. ALL PLATE CUTS SHALL BE MACHINE OR MACHINE FLAME CUT.

ALL PLATES, BARS, AND RECTANGULAR SLEEVES SHALL CONFORM TO ASTM A709 GRADE 36. ALL STRUCTURAL TUBING SHALL CONFORM TO ASTM A500 GRADE B.

ANCHORAGES SHALL BE ACCURATELY PLACED TO PROVIDE CORRECT ALIGNMENT OF RAILING. SET NORMAL TO GRADE.

CUT BOTTOM OF POST TO MAKE POST VERTICAL IN BOTH TRANSVERSE AND LONGITUDINAL DIRECTION.

STEEL SHIMS SHALL BE PROVIDED & USED UNDER BASE PLATES WHERE REQUIRED FOR ALIGNMENT, AND SHALL BE GALVANIZED.

CAULK AROUND PERIMETER OF BASE PLATES, NO. 1, AND FILL BOLT SLOT OPENINGS IN SHIMS AND BASE PLATES WITH NON-STAINING GRAY NON-BITUMINOUS JOINT SEALER.

ALL JOINTS AND RECESSES IN CONCRETE COPING ARE TO BE VERTICAL.

ALL MATERIAL (EXCEPT NO. 3) SHALL BE GALVANIZED AFTER FABRICATION. PRIOR TO GALVANIZING, THE STEEL RAILING SHALL BE GIVEN A NO. 6 BLAST CLEANING PER SSPC SPECIFICATIONS. PAINT OVER GALVANIZING WITH AN APPROVED TIE COAT AND TOP COAT AS SPECIFIED IN THE CONTRACT DOCUMENTS. THE RAILING SHALL BE PAINTED AMS STD. COLOR NO. 27038, BLACK.

VENT HOLES SHALL BE DRILLED IN POST AND RAIL MEMBERS AS REQUIRED TO FACILITATE GALVANIZING AND DRAINAGE.

RAILING SHALL BE FABRICATED IN LENGTHS THAT INCLUDE 3 OR 4 POSTS.

TOUCH-UP PAINTING TO BE DONE AT COMPLETION OF STEEL RAILING INSTALLATION TO THE SATISFACTION OF THE ENGINEER AT NO EXTRA COST.

PROJECT DATE:	DRAWN BY:	NO.	DATE	REVISION	BY
3/25/2025 11:05 AM	JAH	.	.		
	DESIGNED BY:	CMM	.		
	CHECKED BY:	RG	.		

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ELSIE STEPHENS CANOE/KAYAK LAUNCH
CITY OF DAYTON
HENNEPIN COUNTY, MINNESOTA

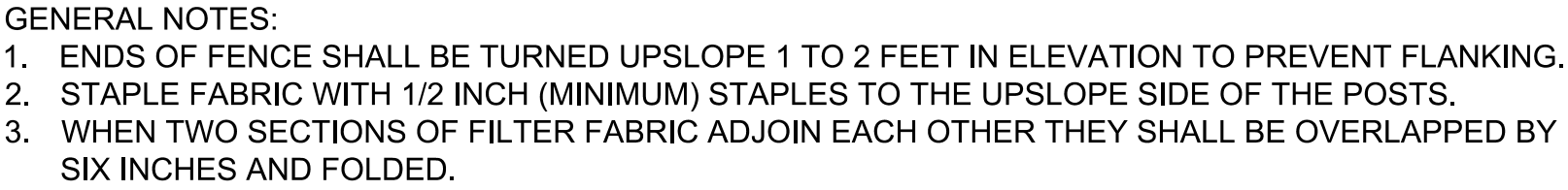
RAILING DETAILS

PROJECT NO.
12021001
SHEET
C504



1. DETAILS OF CONSTRUCTION SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND APPLICABLE SPECIAL PROVISIONS.
2. WHEN POSSIBLE THE SILT FENCE SHOULD BE CONSTRUCTED IN AN ARC OR HORSESHOE SHAPE, WITH THE ENDS POINTING UPSLOPE TO MAXIMIZE BOTH STRENGTH AND EFFECTIVENESS.
3. CROSS BRACE WITH 2 INCH BY 4 INCH WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS AS DIRECTED BY THE ENGINEER.
4. MINIMUM 14 GAGE WIRE REQUIRED, FOLD FABRIC 3 INCHES OVER THE WIRE AND STAPLE OR PLACE WIRE RINGS 12 INCHES O.C.
5. EXCAVATE A TRENCH A MINIMUM OF 4 INCHES WIDE AND 6 INCHES DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD THE MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
6. WIRE SUPPORT FENCE SHALL BE 14 GAGE MINIMUM WOVEN WIRE WITH A MAXIMUM MESH SPACING OF 6 INCHES, SECURE TOP OF GEOTEXTILE FABRIC TO TOP OF FENCE WITH STAPLES OR WIRE RINGS AT 12 INCHES O.C.
7. GEOTEXTILE FABRIC SHALL BE REINFORCED WITH AN INDUSTRIAL POLYPROPYLENE NETTING WITH A MAXIMUM MESH SPACING OF 3/4 INCH OR EQUAL. A HEAVY DUTY NYLON TOP SUPPORT CORD OR EQUIVALENT IS REQUIRED.
8. STEEL POSTS SHALL BE STUDDED "TEE" OR "U" TYPE WITH A MINIMUM WEIGHT OF 1.28 LBS./LIN. FT. (WITHOUT ANCHOR). FIN ANCHORS SUFFICIENT TO RESIST POST MOVEMENT ARE REQUIRED. WOOD POSTS SHALL BE 4 INCH IN DIAMETER OR 1- 1/2 INCH BY 3- 1/2 INCH EXCEPT WOOD POSTS FOR GEOTEXTILE FABRIC REINFORCED WITH NETTING SHALL BE A MINIMUM OF 1- 1/8 INCH BY 1- 1/8 INCH OAK OR HICKORY.

1
C505



2
C505



3
C505



		NO.	DATE	REVISION		BY
PROJECT DATE :	DRAWN BY: JAH	.	.	PRELIMINARY		
	DESIGNED BY: CMM	.	.			
	CHECKED BY: RG	.	.			
PLOT DATE: 3/25/2025 11:05 AM, G:\12\12021\12021001\CADD\construction documents\12021001 Erosion Control Details.dwg						

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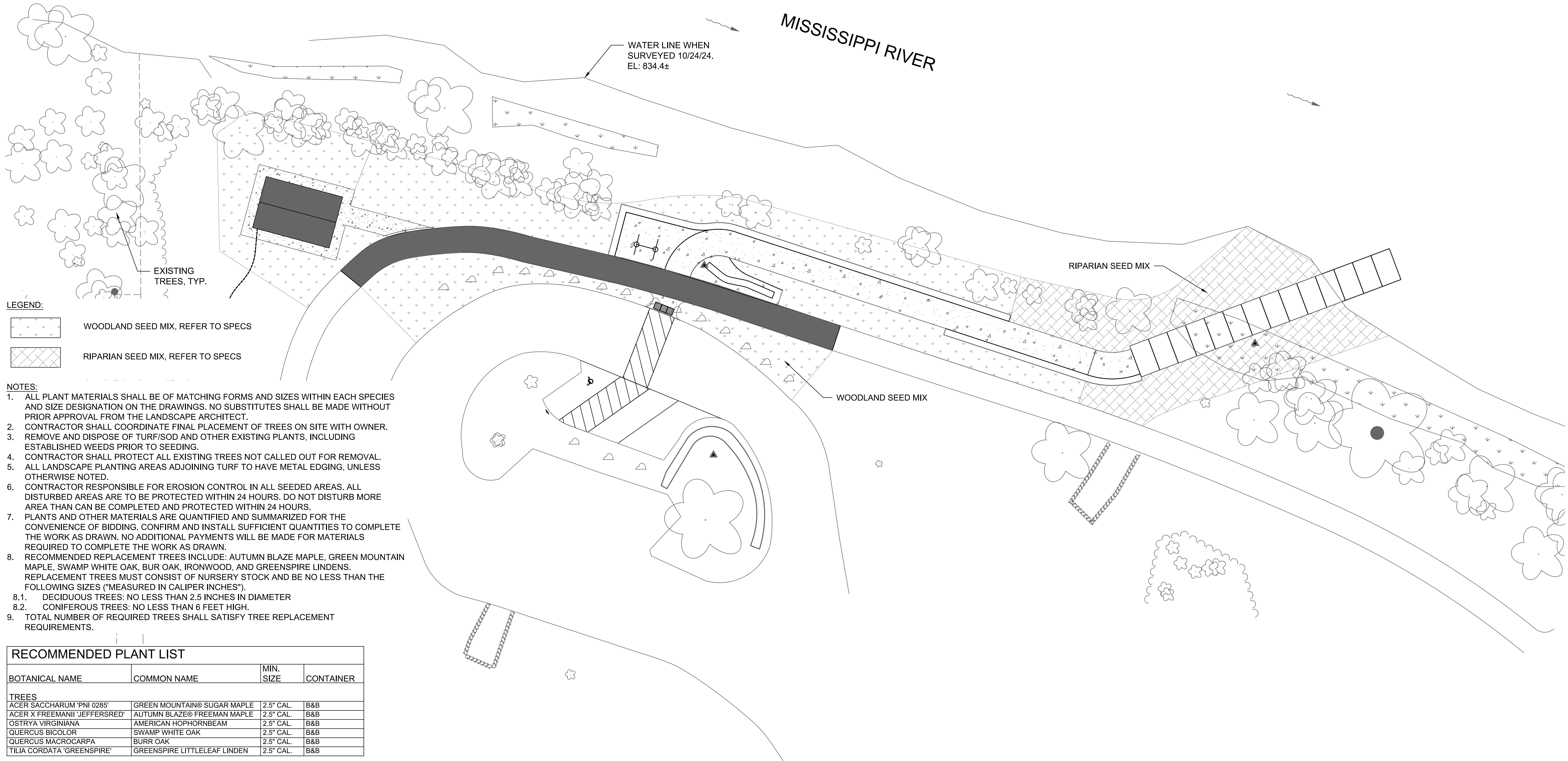
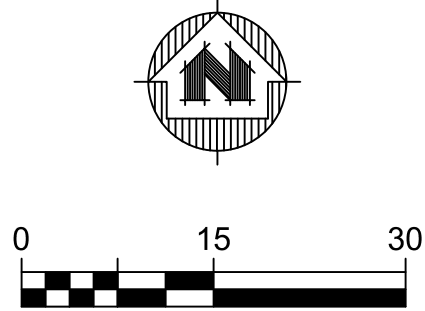
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ELSIE STEPHENS CANOE/KAYAK LAUNCH
CITY OF DAYTON
HENNEPIN COUNTY, MINNESOTA

EROSION CONTROL DETAILS

PROJECT NO.
12021001

SHEET
C505



LEGEND:

- WOODLAND SEED MIX, REFER TO SPECS
- RIPARIAN SEED MIX, REFER TO SPECS

NOTES:

- ALL PLANT MATERIALS SHALL BE OF MATCHING FORMS AND SIZES WITHIN EACH SPECIES AND SIZE DESIGNATION ON THE DRAWINGS. NO SUBSTITUTES SHALL BE MADE WITHOUT PRIOR APPROVAL FROM THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL COORDINATE FINAL PLACEMENT OF TREES ON SITE WITH OWNER.
- REMOVE AND DISPOSE OF TURF/SOD AND OTHER EXISTING PLANTS, INCLUDING ESTABLISHED WEEDS PRIOR TO SEEDING.
- CONTRACTOR SHALL PROTECT ALL EXISTING TREES NOT CALLED OUT FOR REMOVAL.
- ALL LANDSCAPE PLANTING AREAS ADJOINING TURF TO HAVE METAL EDGING, UNLESS OTHERWISE NOTED.
- CONTRACTOR RESPONSIBLE FOR EROSION CONTROL IN ALL SEEDED AREAS. ALL DISTURBED AREAS ARE TO BE PROTECTED WITHIN 24 HOURS. DO NOT DISTURB MORE AREA THAN CAN BE COMPLETED AND PROTECTED WITHIN 24 HOURS.
- PLANTS AND OTHER MATERIALS ARE QUANTIFIED AND SUMMARIZED FOR THE CONVENIENCE OF BIDDING. CONFIRM AND INSTALL SUFFICIENT QUANTITIES TO COMPLETE THE WORK AS DRAWN. NO ADDITIONAL PAYMENTS WILL BE MADE FOR MATERIALS REQUIRED TO COMPLETE THE WORK AS DRAWN.
- RECOMMENDED REPLACEMENT TREES INCLUDE: AUTUMN BLAZE MAPLE, GREEN MOUNTAIN MAPLE, SWAMP WHITE OAK, BUR OAK, IRONWOOD, AND GREENSPIRE LINDENS. REPLACEMENT TREES MUST CONSIST OF NURSERY STOCK AND BE NO LESS THAN THE FOLLOWING SIZES ("MEASURED IN CALIPER INCHES").
 - DECIDUOUS TREES: NO LESS THAN 2.5 INCHES IN DIAMETER
 - CONIFEROUS TREES: NO LESS THAN 6 FEET HIGH.
- TOTAL NUMBER OF REQUIRED TREES SHALL SATISFY TREE REPLACEMENT REQUIREMENTS.

RECOMMENDED PLANT LIST			
BOTANICAL NAME	COMMON NAME	MIN. SIZE	CONTAINER
TREES			
ACER SACCHARUM 'PNI 0285'	GREEN MOUNTAIN® SUGAR MAPLE	2.5" CAL.	B&B
ACER X FREEMANI 'JEFFERSRED'	AUTUMN BLAZE® FREEMAN MAPLE	2.5" CAL.	B&B
Ostrya virginiana	AMERICAN HOPHORNBEAM	2.5" CAL.	B&B
QUERCUS bicolor	SWAMP WHITE OAK	2.5" CAL.	B&B
QUERCUS macrocarpa	BURR OAK	2.5" CAL.	B&B
Tilia cordata 'GREENSPIRE'	GREENSPIRE LITTLELEAF LINDEN	2.5" CAL.	B&B

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	JAH	.	.		
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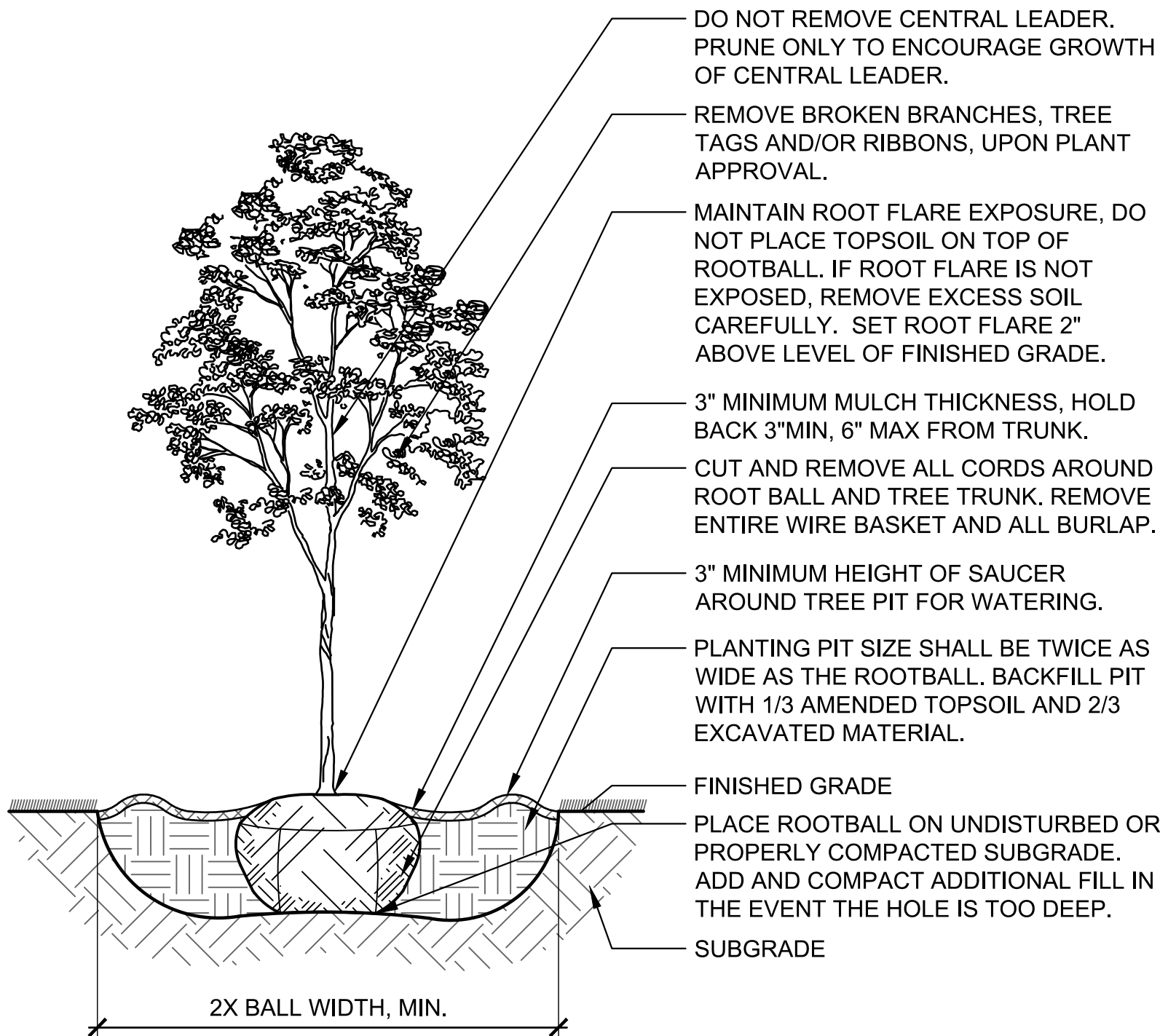
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LANDSCAPE PLAN

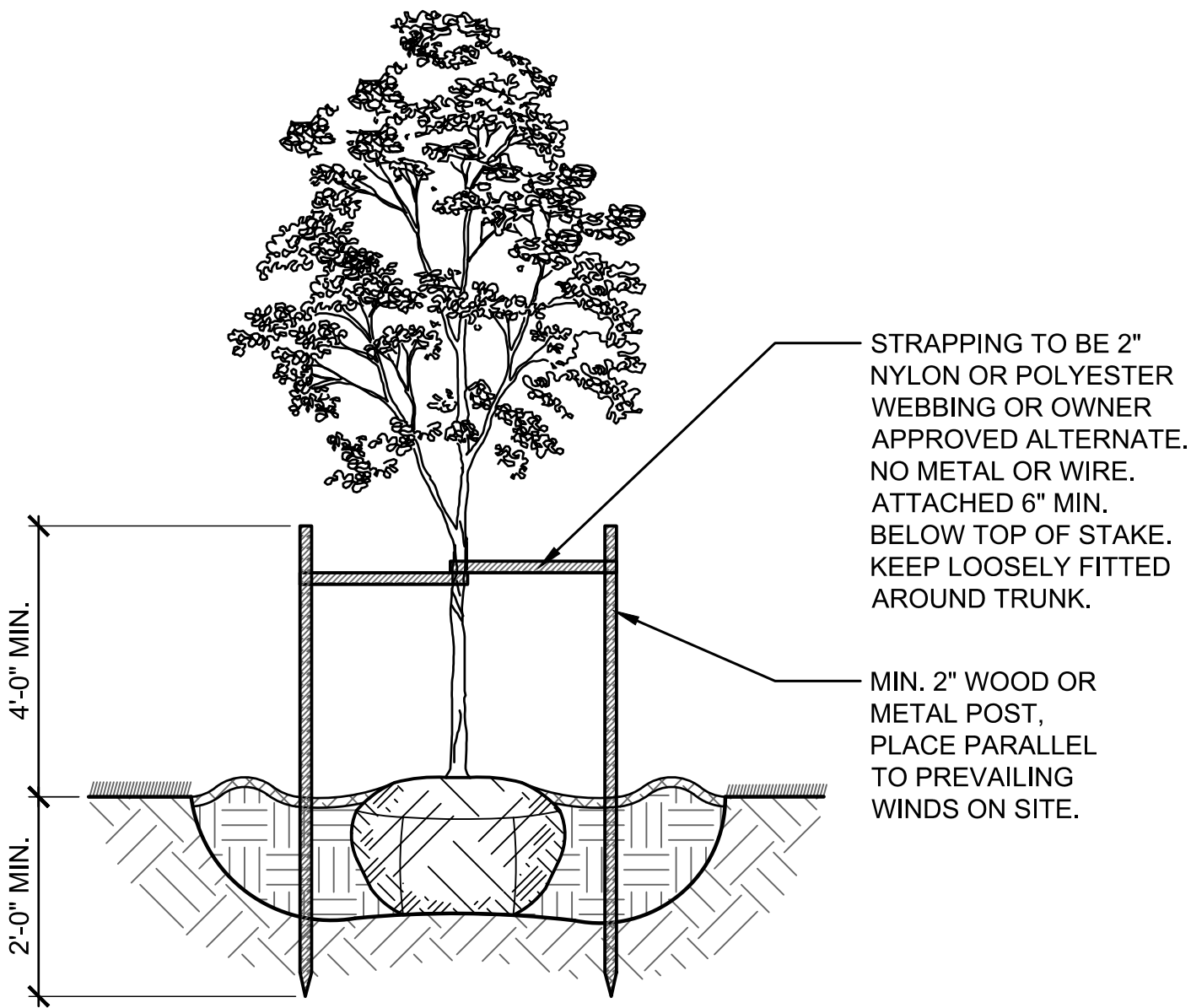
PROJECT NO.
12021001
SHEET
L101

NOTE:
1. REMOVE AND PROPERLY DISPOSE OF ANY EXCESS EXCAVATED MATERIAL.
2. WRAP TRUNK WITH APPROVED TREE WRAP UP TO FIRST BRANCH. (FALL PLANTING REQUIREMENT).

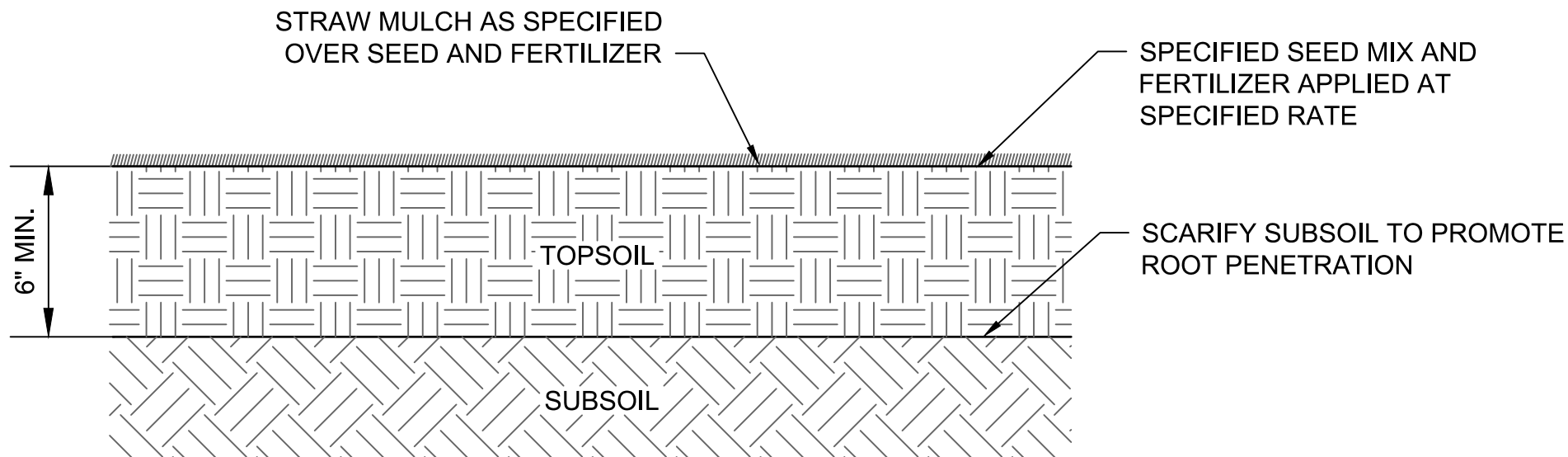


1
L901 DECIDUOUS TREE PLANTING
NTS

NOTE:
1. REMOVE AND PROPERLY DISPOSE OF ANY EXCESS EXCAVATED MATERIAL.
2. WRAP TRUNK WITH APPROVED TREE WRAP UP TO FIRST BRANCH. (FALL PLANTING REQUIREMENT).



2
L901 DECIDUOUS TREE STAKING
NTS



3
L901 TOPSOIL AND SEEDING
NTS

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PLOT DATE: 3/25/2025 11:06 AM, G:\12\120211\12021001\CADD\construction documents\12021001 Landscape Plan.dwg

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TREE REPLACEMENT TABLE

TREE ID	SIZE (DBH)	REPLACEMENT VALUE (DBH)	SPECIES	CONDITIONS
1237	8	16	ASH	
1239	6	12	ASH	
1240	9	0	ASH	POOR
1241	10	0	ASH	POOR
1242	12	0	ASH	DEAD
1243	12	0	HACKBERRY	POOR
1244	18	36	HACKBERRY	
1245	14	28	ASH	
1249	7	14	HACKBERRY	
1250	12	24	HACKBERRY	
1251	8	16	HACKBERRY	
1252	8	16	HACKBERRY	
1253	18	36	HACKBERRY	
1254	9	18	HACKBERRY	
1255	15	30	HACKBERRY	
1315	9	0	HACKBERRY	DEAD
1316	9	18	HACKBERRY	
1317	9	18	HACKBERRY	
1318	12	24	HACKBERRY	
1319	12	24	HACKBERRY	
1320	6	12	HACKBERRY	
1322	6	12	HACKBERRY	
1323	9	18	HACKBERRY	
1324	18	0	HACKBERRY	POOR
1326	8	16	HACKBERRY	
1327	10	20	HACKBERRY	
1330	12	0	HACKBERRY	POOR
1331	7	14	HACKBERRY	
1332	12	24	HACKBERRY	
1333	6	0	HACKBERRY	POOR
1335	14	28	HACKBERRY	
1337	10	20	HACKBERRY	
1348	9	0	ASH	DEAD
TOTAL (DBH)	344	494		

NOTES:

1. FOR EVERY 1" CALIPER OF HEALTHY TREES REMOVED, THERE SHALL BE 2" CALIPER OF REPLACEMENT TREES. DEAD TREES AND TREES IN POOR CONDITION WILL NOT NEED TO BE REPLACED.
2. NO MORE THAN 1/4 OF THE REPLACEMENT TREES MAY BE FROM ANY ONE SPECIES AND SHALL BE SIMILAR TO THE VEGETATION FOUND ON SITE.
3. REPLACEMENT TREES
4. REPLACEMENT TREES MUST CONSIST OF NURSERY STOCK AND BE NO LESS THAN THE FOLLOWING SIZES (MEASURED IN CALIPER INCHES):
 - A. DECIDUOUS TREES: NO LESS THAN 2.5 INCHES IN DIAMETER.
 - B. CONIFEROUS TREES: NO LESS THAN 6 FEET HIGH.
5. ALL TREE CONDITIONS NOT SPECIFICALLY NOTED WERE ASSUMED TO BE FAIR GIVEN LIMITED OBSERVATION. THIS SHALL NOT BE CONSIDERED A COMPREHENSIVE EVALUATION OF TREE HEALTH.



PLOT DATE: 3/12/2025 11:40:59 AM Address: Doss/J/2021001 ELSIE STEPHENS CANOE LAUNCH DEVELOPMENT T/12021001 ELSIE STEPHENS CANOE LAUNCH DEVELOPMENT 250'x4'

DESIGN LOADS AND CRITERIA

BUILDING CODE.....2020 MINNESOTA BUILDING CODE, REFERS TO IBC 2018 BUILDING RISK CATEGORY.....II

WIND LOADS*

BASIC WIND SPEED.....109 MPH

WIND IMPORTANCE FACTOR, Iw.....1.0

WIND EXPOSURE.....C

PER ASCE 7-16, DIRECTIONAL PROCEDURE (OPEN BUILDING)

MAIN WIND FORCE RESISTING SYSTEM

INTERNAL PRESSURE COEFFICIENT0.0

EXTERNAL PRESSURE COEFFICIENT+/- 1.1

ADDITIONAL LOADS

ROOF DEAD LOAD.....12 PSF (ASSUMED)

SEISMIC DESIGN DATA

SEISMIC IMPORTANCE FACTOR, Ie.....1.0

SEISMIC DESIGN CATEGORY.....A

SEISMIC SITE CLASS.....D (PRESUMED)

ANALYSIS PROCEDURE.....EQUIVALENT LATERAL FORCE MAPPED SPECTRAL RESPONSE ACCELERATIONS

Ss.....0.0480

S1.....0.0250

SPECTRAL RESPONSE COEFFICIENTS

Sds.....0.051

Sd1.....0.040

SEISMIC FORCE-RESISTING SYSTEM.....STEEL

SYSTEMS NOT SPECIFICALLY DETAILED FOR SEISMIC RESISTANCE

SEISMIC RESPONSE COEFFICIENT, Cs.....0.010

RESPONSE MODIFICATION FACTOR, R.....3.0

LIVE LOADS

ROOF LIVE LOAD (MINIMUM).....20 PSF

FLOOR LIVE LOAD.....150 PSF, UNO

SNOW LOADS

GROUND SNOW LOAD, Pg.....50 PSF

FLAT-ROOF SNOW LOAD, Pf.....38 PSF

SNOW EXPOSURE FACTOR, Ce.....0.9

SNOW IMPORTANCE FACTOR, Is.....1.0

THERMAL FACTOR, Ct.....1.2

SLOPED ROOF SNOW LOAD, Ps.....38 PSF

MINIMUM SNOW LOAD, Pm.....0 PSF

DESIGN SNOW LOAD.....38 PSF

ROOF SLOPE FACTOR, Cs.....1.0

UNBALANCED ROOF SNOW LOADS.....REFER TO DIAGRAM

Is*pg

WINDWARD

LEEWARD

UNBALANCED ROOF SNOW LOADS DIAGRAM

NOTE:
LOADS CAN OCCUR ON
EITHER SIDE OF ROOF

DESIGN STRESSES

GEOTECHNICAL INFORMATION

NET ALLOWABLE SOIL BEARING PRESSURE.....q = 3000 PSF

GEOTECHNICAL REPORT No. 22-0663 PREPARED BY:
HAUGO GEOTECHNICAL SERVICES

DATED: 09/14/2022

REINFORCING STEEL

REINFORCING.....fy = 60 KSI

CAST-IN-PLACE CONCRETE

FOOTINGS.....fc = 4000 PSI

WALLS.....fc = 4000 PSI

SLAB-ON-GRADE.....fc = 4000 PSI

OTHER.....fc = 3500 PSI

ANCHORS

ANCHOR BOLTS.....F1554, GRADE 36

EXPANSION ANCHORS.....WEDGE TYPE

CONCRETE AND REINFORCING NOTES

A. ALL LAPS SHALL BE CLASS 'B' PER ACI 318 CURRENT EDITION, UNO ON THE DESIGN DRAWINGS.

B. LAP LENGTH SHALL BE SPECIFICALLY NOTED BY DETAILER ON SHOP DRAWINGS WHEN MORE THAN ONE BAR MAKES UP A CONTINUOUS STRING. DETAILER SHALL PROVIDE STAGGERED LAPS FOR CONTINUOUS BAR RUNS. TOP BAR LAP LENGTHS SHALL BE USED FOR ALL HORIZONTAL WALL BARS AND FOR BARS IN SLABS WITH MORE THAN 12" OF CONCRETE BELOW THE LAP.

C. BAR PLACEMENT TOLERANCES SHALL BE AS SPECIFIED IN THE CONCRETE REINFORCING STEEL INSTITUTE (CRSI) MANUAL OF STANDARD PRACTICE, CURRENT EDITION.

D. ALL REINFORCING BAR LENGTHS ARE FROM OUT-TO-OUT OF BAR. ALL BEND ANGLES ARE AT 45° AND 90° UNO. BAR SPACINGS ARE ON-CENTER UNO.

E. DOWEL BAR HOOKS SHALL BE PLACED AT THE SAME HORIZONTAL LEVEL AS BOTTOM LAYER STEEL REINFORCING, UNO.

GENERAL FOUNDATION NOTES

A. CONTRACTOR TO COORDINATE STRUCTURAL, ARCHITECTURAL, SITE/CIVIL, HVAC, ELECTRICAL, AND PLUMBING PLANS FOR DETAILS, DIMENSIONS, ELEVATIONS, OPENINGS, INSERTS, ETC. NOTIFY ARCHITECT OF ANY VARIANCE BEFORE COMMENCING CONSTRUCTION. OBTAIN ASSOCIATED DRAWINGS OF ALL DISCIPLINES PRIOR TO STARTING WORK.

B. SEE DESIGN STRESSES TABLE ON SHEET S101

C. IN NO CASE SHALL STRUCTURAL ALTERATIONS OR WORK AFFECTING A STRUCTURAL MEMBER BE MADE, UNLESS APPROVED BY ENGINEER.

D. SIMILAR PORTIONS OF THE BUILDING SHALL HAVE SIMILAR DETAILING, UNLESS NOTED OTHERWISE.

E. FOOTINGS SHALL BE CENTERED ABOUT THE PIERS.

F. ALL WALL FORM TIES SHALL BE KNOCKED OFF FLUSH WITH THE FACE OF THE WALL AT INTERIOR AND EXTERIOR FACE OF WALLS. AT TIES BELOW THE FINISHED FLOOR AND/OR FINISHED GRADE PROVIDE A LAYER OF DAMPPROOFING PRODUCT OVER THE REMOVED TIE AREA, TYP

G. REFER TO SITE/CIVIL FOR EXTERIOR SLAB ELEVATIONS AND SLOPES.

H. SEE ARCHITECTURAL PLANS FOR ADDITIONAL DIMENSIONS.

I. OPEN SHELTER COLUMN BASE PLATE, ANCHOR BOLT SIZE, AND ANCHOR BOLT EMBEDMENTS SHALL BE DESIGNED AND PROVIDED BY SHELTER MANUFACTURER.

J. CONTRACTOR TO SUBMIT SHELTER MANUFACTURER'S FINAL ENGINEERED REACTIONS TO A/E PRIOR TO SHELTER FOUNDATION INSTALLATION FOR VERIFICATION OF FOUNDATION DESIGN.

KEY NOTES #

1 PREFABRICATED SHELTER COLUMN, BASE PLATE, AND ANCHOR BOLTS BY MANUFACTURER, TYP - SEE DETAIL 1/S101

2 5" CONCRETE SLAB ON GRADE w/ 6x6 W2.9xW2.9 WWM OVER 12" MIN COMPACTED GRAVEL BASE. PROVIDE BROOM FINISH AND SAW CUT CONTROL JOINTS ON SLAB - SEE DETAIL 2/S101

3 SLAB ON GRADE CONTROL JOINT LOCATION, TYP - SEE DETAIL 2/S101

4 1/2" EXPANSION JOINT MATERIAL w/ REMOVABLE CAP AND SELF-LEVELING SEALANT AT PERIMETER SLAB WALL/PIER JOINT, TYP

5 SLAB SLOPE - SEE SITE / CIVIL

6 (2) #4 X 18" LONG BARS IN CENTER OF SLAB AT REENTRANT CORNERS, TYP EACH PIER

2 LAYERS OF 30# FELT AROUND COLUMN, TERMINATE AT INFILL SURFACE

T/PIER
SEE PLAN

(5) #4 TIES @ 3" OC, AT TOP

#4 TIES AT 8" OC

#5 VERT DOWELS INTO FOOTING

T/FTG
SEE PLAN

1
S101 NO SCALE

TYPICAL PIER DETAIL

STEEL BASE PLATE BY SHELTER MANUFACTURER

ANCHOR BOLTS, SIZE AND EMBEDMENT BY SHELTER MANUFACTURER

CONCRETE INFILL BETWEEN ISOLATION JOINT AND COLUMN

1" NON-SHRINK GROUT

CONCRETE SLAB ON GRADE, REFER TO PLAN

1/2" EXPANSION JOINT MATERIAL, ENTIRE PIER PERIMETER w/ SELF LEVELING SEALANT

CONCRETE PIER - SEE PLAN AND SCHEDULE

CONCRETE FOOTING - SEE PLAN AND SCHEDULE

D/2

1 1/4"

TOOLED OR SAWCUT JOINTS

CONTROL JOINT SECTION

NOTES:

1. 1/2 " PREFORMED EXPANSION JOINT FILLER INSTALLED AT MAX 24' OC AND AT BUTT JOINT WITH EXISTING STRUCTURES OR WALKS

2. CONTROL JOINTS - SPACING AS SHOWN ON CONCRETE PATIO SLAB PLAN UNLESS SHOWN OR NOTED OTHERWISE

BROOM FINISH

5" THICK

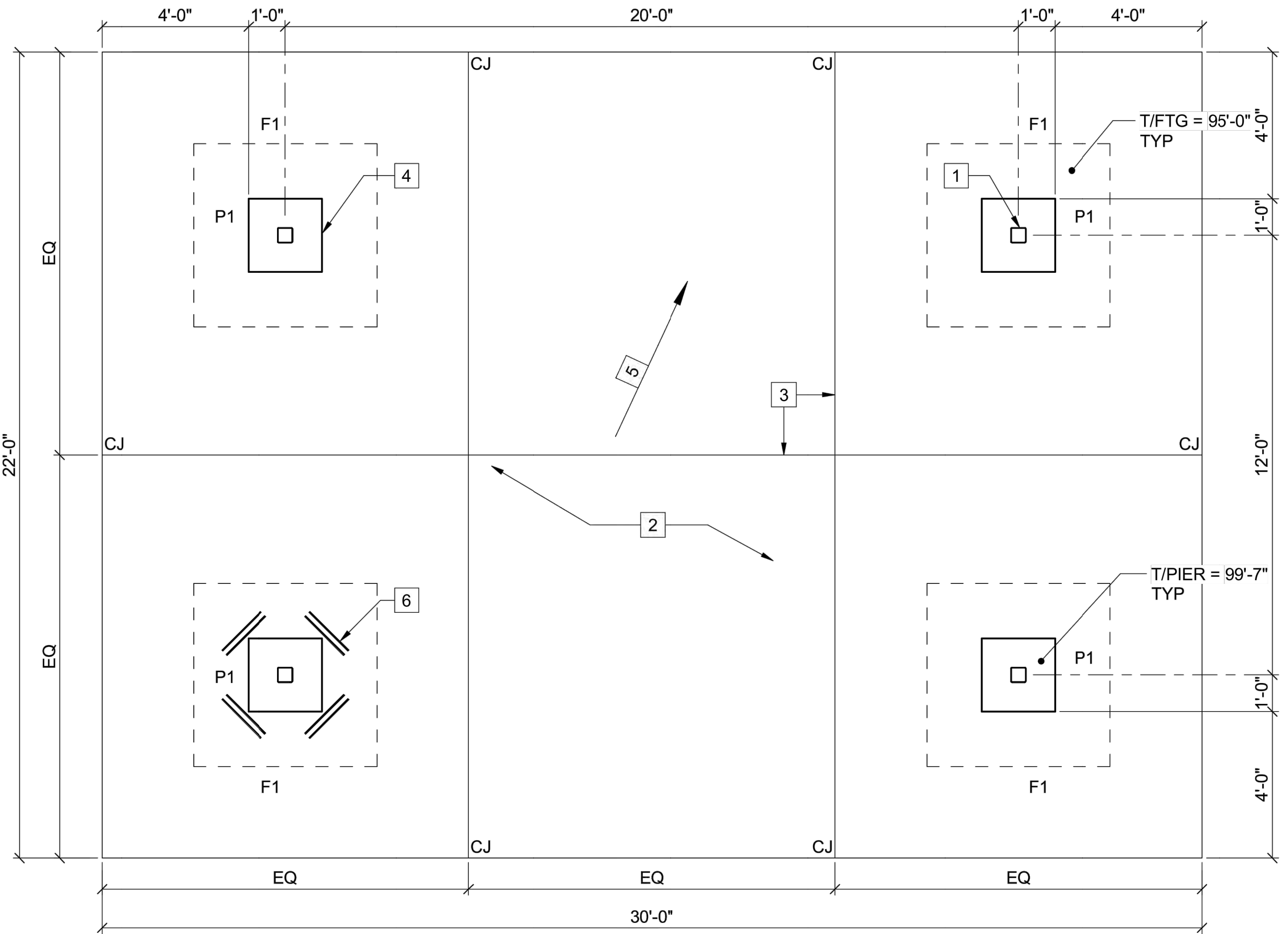
FINISHED GRADE

TYPICAL SECTION

2
S101 NO SCALE

OPEN SHELTER SLAB CONTROL JOINT (CJ) DETAIL

FOOTING SCHEDULE			
MARK	FOOTING SIZE	FOOTING REINFORCING	DETAIL
F1	5'-0" x 5'-0" 15" DEEP	(6) - # 5 BARS EACH WAY TOP & BOTTOM	1/S101



FOUNDATION PLAN

3/8" = 1'-0"

3/16" = 1'-0"

(22x34)

(11x17)

0 1 2 4 6

CONCRETE PIER SCHEDULE

KEY	SIZE (A x B)	TYPE	TOP ELEV. (UNO)	REINFORCING
P1	24" x 24"	1	99'-7"	(8) #5 VERTICAL DOWELS w/ #4 TIES AT 8" OC

GENERAL NOTES

1. SEE DETAIL 1/S101


2. ALL VERTICAL DOWELS SHALL BE FULL LENGTH AND EMBEDDED INTO FOOTING WITH STANDARD HOOK.

TYPE 1

A

B

1 1/2" TYP

		No	DATE	REVISIONS		BY
JECT DATE:	MARCH 19, 2025	DRAWN BY: JRG				
		DESIGNED BY: JMM				
		CHECKED BY: SHG				
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DATE: MARCH 19, 2025				LICENSE # 59190		

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ELSIE STEPHENS CANOE/KAYAK LAUNCH

CITY OF DAYTON

HENNEPIN COUNTY, MINNESOTA

STRUCTURAL SCHEDULES AND FOUNDATION PLAN

PROJECT NO.
12021001

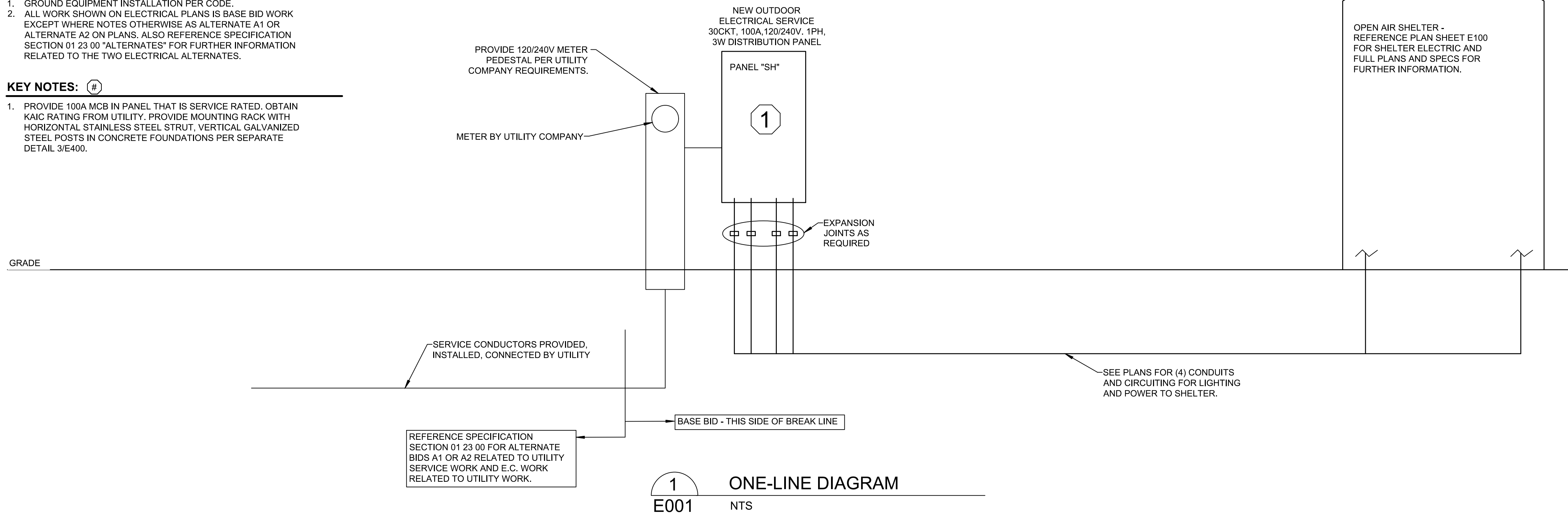
SHEET
S101

TYPE	DESCRIPTION	WATTS	LAMP TYPE	MANUFACTURER	CATALOG NUMBER	NOTE
D4	1'X4' VAPORTITE LED (2 TOP HUBS)	40/51	LED 4000K	LITHONIA METALUX	FEM-L48-6000LM-LPPFL-MD-MVOLT-GZ10-40K-80CRI-WLF-STSL 4VT2-LD5-6-FR50-UNV-L840-CD1-WL-TL-SH-SS-MBK	1
GENERAL NOTES:						
1. ALL FIXTURES TO BE 120V UNLESS OTHERWISE NOTED.						
2. ALL FIXTURES MUST MEET BAA (BUY AMERICAN ACT).						
SCHEDULE NOTES:						
1. SURFACE MOUNT FIXTURE (STRUCTURE SURFACE MOUNT IN OPEN AIR SHELTER). ALL WIRING SHALL BE CONCEALED INSIDE STRUCTURE. COORDINATE REMOVABLE HAND HOLE ACCESS POINTS FOR WIRE PULLING WITH STRUCTURE MANUFACTURER PRIOR TO STRUCTURE MANUFACTURING.						

<

1. GROUND EQUIPMENT INSTALLATION PER CODE.
2. ALL WORK SHOWN ON ELECTRICAL PLANS IS BASE BID WORK EXCEPT WHERE NOTES OTHERWISE AS ALTERNATE A1 OR ALTERNATE A2 ON PLANS. ALSO REFERENCE SPECIFICATION SECTION 01 23 00 "ALTERNATES" FOR FURTHER INFORMATION RELATED TO THE TWO ELECTRICAL ALTERNATES.

1. PROVIDE 100A MCB IN PANEL THAT IS SERVICE RATED. OBTAIN KAIC RATING FROM UTILITY. PROVIDE MOUNTING RACK WITH HORIZONTAL STAINLESS STEEL STRUT, VERTICAL GALVANIZED STEEL POSTS IN CONCRETE FOUNDATIONS PER SEPARATE DETAIL 3/E400.



SYMBOLS AND ABBREVIATIONS

ELECTRICAL DISTRIBUTION EQUIPMENT

UTILITY TRANSFORMER

METER PEDESTAL WITH INTEGRAL METER SOCKET BY E.C. METER BY UTILITY COMPANY

PANEL - NEW SURFACE MOUNTED; TAG = "XX"

WIRING DEVICES

SWITCHES

SX SINGLE POLE SWITCH; TAG X, 3=3 WAY, 4=4 WAY, D=DIMMER, I=ILLUMINATED, K=KEYED, M=MOTION SENSOR SWITCH, P=PILOT, R=RELAY, WP=WEATHERPROOF, LVX=LOW VOLTAGE, TAG X = INDICATES NUMBER OF BUTTONS AT EACH SWITCH LOCATION

RECEPTACLES

NO TAG=STANDARD RECEPTACLE, TAGS X, ARC=ARC FAULT RATED, CM=CEILING MOUNTED, CW=CLOTHES WASHER, D=EXTRA DEEP, DW=DISH WASHER, EWC=ELECTRIC WATER COOLER, FM=FLOOR MOUNTED, FR=FREEZER, GFI=GROUND FAULT INTERRUPTER, GR=GAS RANGE, ICE=ICE MACHINE, IG=ISOLATED GROUND, MIC=MICROWAVE, REF=REFRIGERATOR, SP=SURGE PROTECTED DEVICE, UPS=UNINTERRUPTED POWER SUPPLY, USB=UNIVERSAL SERIAL BUS, VM=VENDING MACHINE, WP/GFI=WEATHER PROOF/GROUND FAULT INTERRUPTER

RECEPTACLE - DUPLEX

LIGHTING FIXTURES

LIGHT FIXTURE - FLUSH OR SURFACE;
TAG = TYPE IN FIXTURE SCHEDULE

LINE LEGEND

CIRCUIT HOME RUN TO 20A/1P BREAKER
UNLESS SHOWN OTHERWISE ON DRAWINGS.

INDICATES ITEMS CONNECTED TO SAME
CIRCUIT AND CONTROLLED TOGETHER.

INDICATES UNDERGROUND CONDUIT AND
CONDUCTORS AS NOTED ON DRAWINGS.

ELECTRICAL SHEET LIST	
Sheet Number	Sheet Name
E001	ELECTRICAL SYMBOLS, ABBREVIATIONS & PANEL SCHEDULES
E100	ELECTRICAL SITE PLAN
E400	ELECTRICAL DETAILS

I HEREBY CERTIFY THAT THIS PLAN, REPORT, OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE	REGNO
Date	License No.
NAME	



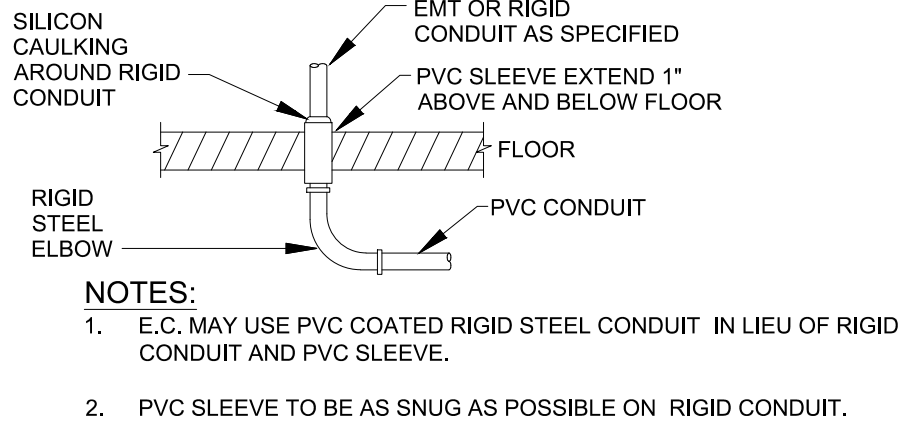
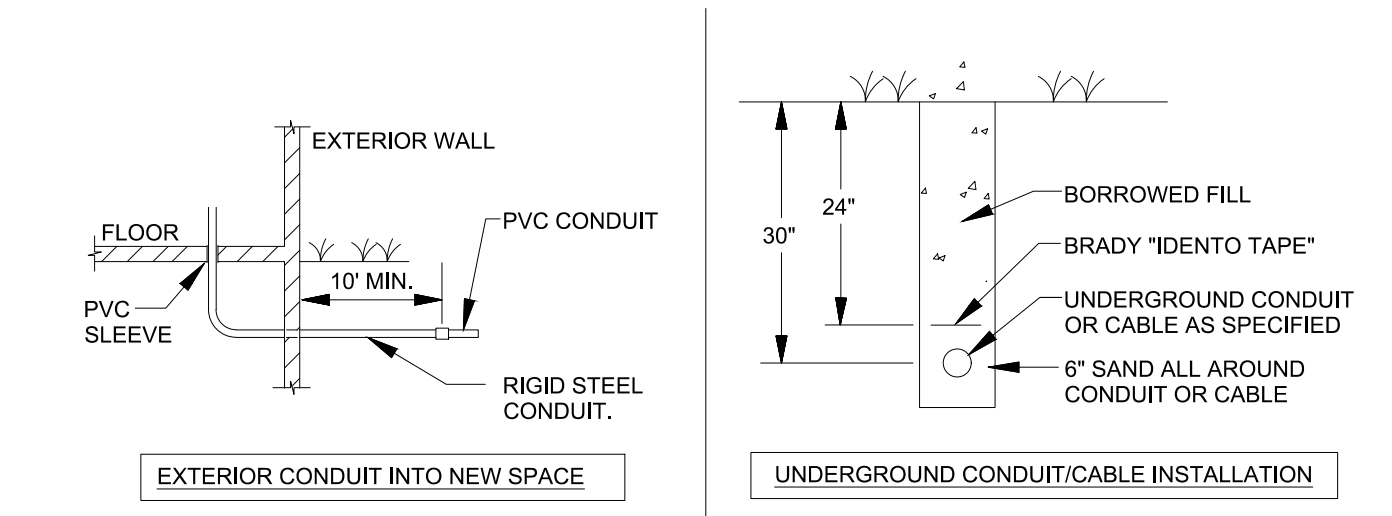
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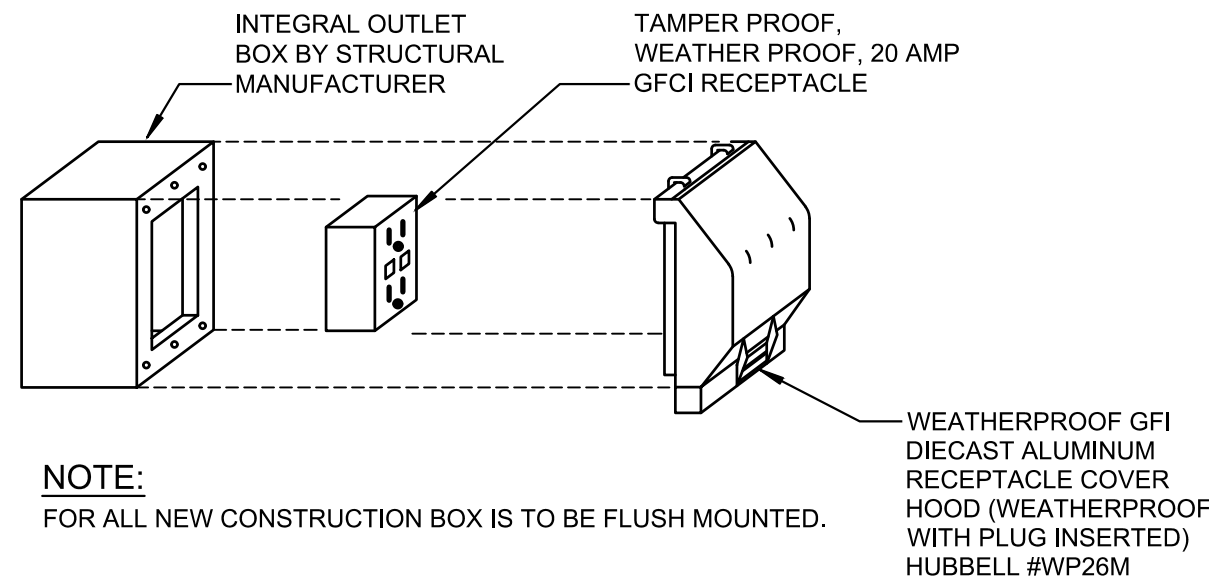
ELECTRICAL SYMBOLS, ABBREVIATIONS & SCHEDULE

PROJECT NO.
12021001

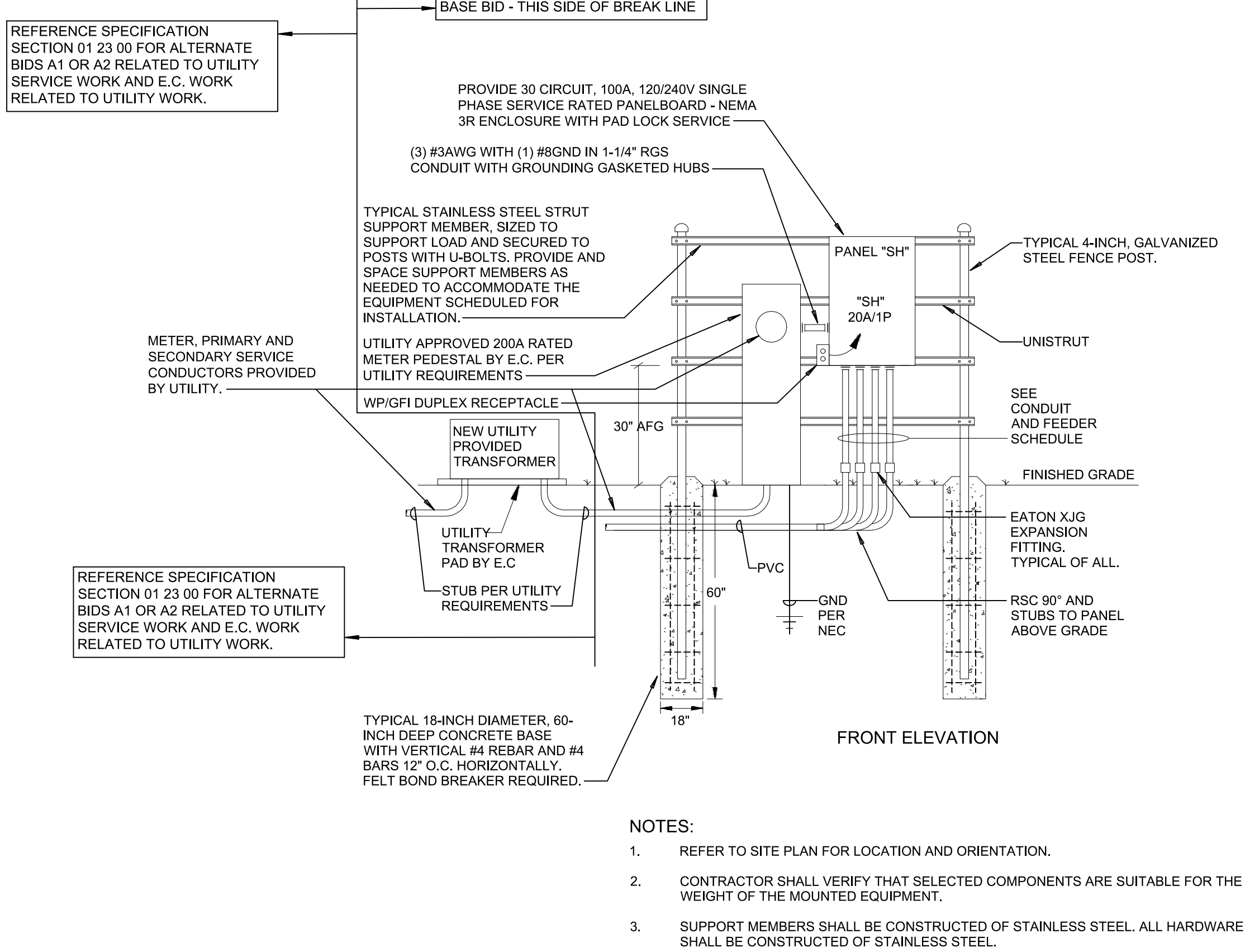
SHEET
E001



1 CONDUIT DETAILS
E400 NTS



2 GFI/WP RECEPTACLE MOUNTING DETAIL
E400 NTS



3 ELECTRICAL EQUIPMENT RACK INSTALLATION DETAIL
E400 NTS

PROJECT DATE:	DRAWN BY:	JAH	NO.	DATE	REVISION	BY
	DESIGNED BY:	CMM	.	.		
	CHECKED BY:	RG	.	.		

I HEREBY CERTIFY THAT THIS PLAN, REPORT, OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

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ELECTRICAL DETAILS

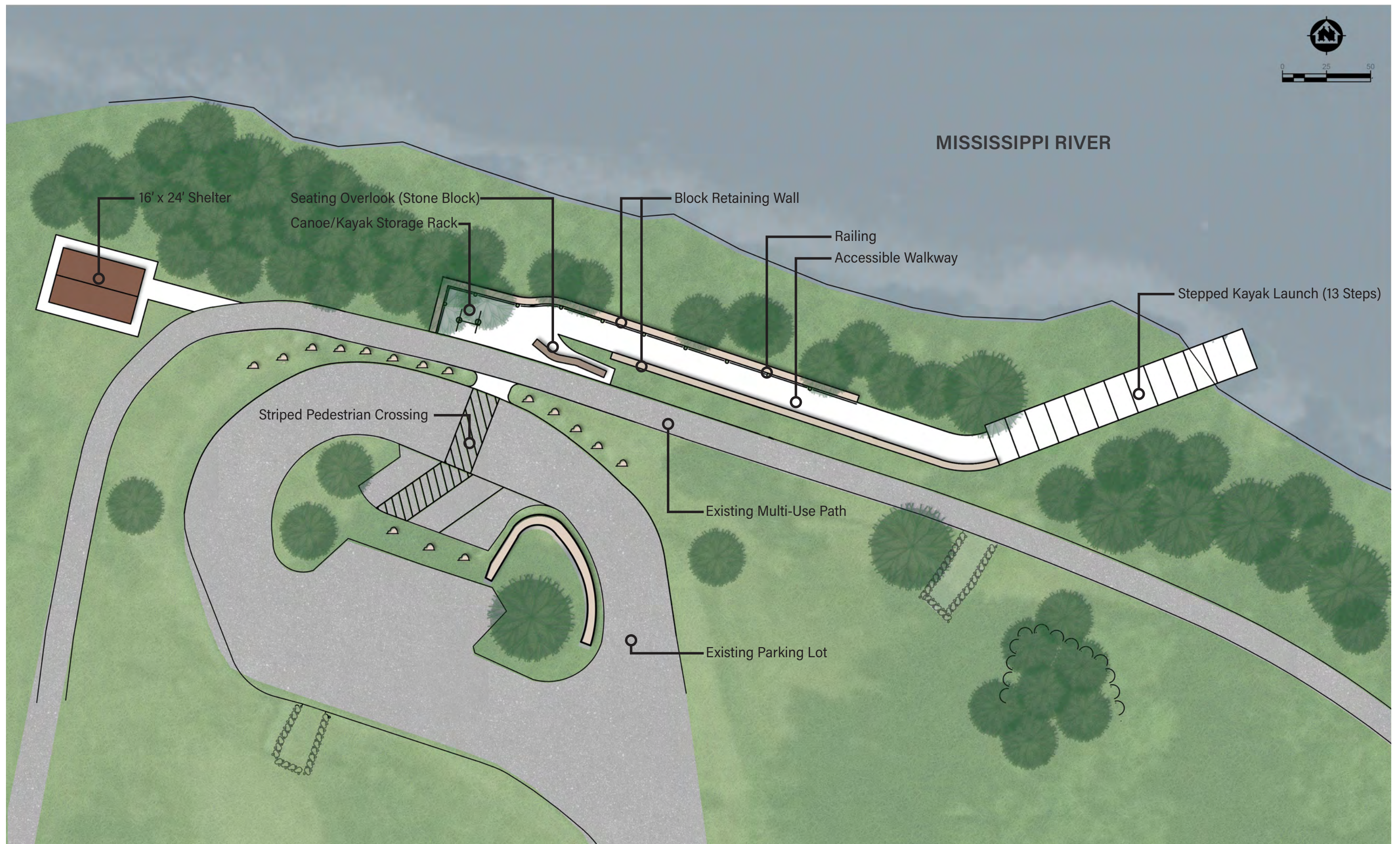
PROJECT NO.
12021001
SHEET
E400

DAYTON - MISSISSIPPI WATER TRAIL PROJECT
ESTIMATE OF PROBABLE COSTS
ELSIE STEVENS CANOE / KAYAK LAUNCH
CITY OF DAYTON, MN

DATE OF ESTIMATE: 03/31/2025

ESTIMATED CONSTRUCTION YEAR: 2025

ITEM NO.	DESCRIPTION	QTY.	UNIT	UNIT PRICE	TOTAL PRICE
1	MOBILIZATION	1	LS	\$28,000	\$28,000
2	CANOE/KAYAK LAUNCH, COMPLETE	1	LS	\$175,000	\$175,000
3	REMOVE BITUMINOUS PAVEMENT	200	SY	\$15	\$3,000
4	LIMESTONE SEAT WALL	22	LF	\$250	\$5,500
5	HANDRAILS AND RAILINGS	130	LF	\$300	\$39,000
6	SIGN POST & SIGNS	1	EA	\$500	\$500
7	CANOE/KAYAK STORAGE RACK	1	EA	\$7,000	\$7,000
8	CLEARING AND GRUBBING	1	LS	\$10,000	\$10,000
9	GRADING	1	LS	\$40,000	\$40,000
10	EROSION CONTROL	1	LS	\$15,000	\$15,000
11	RANDOM RIPRAP CLASS III	85	CY	\$125	\$10,625
12	AGGREGATE BASE COURSE	340	CY	\$35	\$11,900
13	TYPE SP 12.5 WEARING COURSE MIXTURE (2,B)	30	TON	\$200	\$6,000
14	CONCRETE MULTI-USE PATH, 5-INCH	1660	SF	\$20	\$33,200
15	TRUNCATED DOMES	8	SF	\$80	\$640
16	PAVEMENT MARKINGS	1	LS	\$1,500	\$1,500
17	BLOCK RETAINING WALL (MODULAR UNITS)	480	VSF	\$175	\$84,000
18	TURF RESTORATION	1	LS	\$20,000	\$20,000
CONSTRUCTION SUBTOTAL=					\$490,865
Contingency 10% =					\$49,100
Design Engineering (Currently Under Contract) =					\$118,050
Construction Administration & Observation 8% =					\$43,200
TOTAL BASE COST:					\$701,215
ALTERNATE (A1) (Allowance) - Pole Mounted Overhead Utility Electrical Service:					\$18,500
ALTERNATE (A2) (Allowance) - Underground Utility Electrical Service:					\$23,500
ALTERNATE (A3) - Prefabricated Shelter:					\$55,000
ALTERNATE (A4) - On-site Electrical:					\$30,000
ALTERNATE (A5) - Picnic Tables:					\$4,800
ALTERNATE (A6) - Tree Replacements:					\$78,500





Overlook/Seating Area and Kayak Rack



Walkway with Retaining Walls



Stepped Canoe/Kayak Launch - Ordinary Water Level



Proposed Shelter

