

AGENDA
CITY OF DAYTON, MINNESOTA
12260 So. Diamond Lake Road, Dayton, MN 55327
Tuesday, December 3, 2024
REGULAR MEETING OF THE PARKS COMMISSION: 6:30 P.M.

To Participate in the Meeting, Please see www.cityofdaytonmn.com Calendar for Zoom Invitation.

- 6:30 **CALL TO ORDER**
- 6:30 **PLEDGE OF ALLEGIANCE**
- 6:30 **APPROVAL OF AGENDA**
- 6:30 **CONSENT AGENDA** *These routine or previously discussed items are enacted with one motion.
Minutes can be approved by those absent from meeting.*
- A. Approval of Park Commission Minutes from October 1st & November 4th
- 6:35 **OPEN FORUM** *Limited to 3 minutes for non-agenda items; state your name and address; No action
will be taken and items will be referred back to staff and/or Council.*
- COUNCIL UPDATE**
- STAFF UPDATE**
- REGULAR MEETING**
- 6:45 B. Park Improvement Project 2024/2025 Design Development
- 7:15 **ADJOURNMENT**

The City of Dayton's mission is to promote a thriving community and to provide residents with a safe and pleasant place to live while preserving our rural character, creating connections to our natural resources, and providing customer service that is efficient, fiscally responsible, and responsive.

MINUTES OF THE OCTOBER 1, 2024 PARKS COMMISSION MEETING
CITY OF DAYTON, MINNESOTA

I. CALL TO ORDER at 6:30 PM

Present: David Pikal, Kaia Chambers, Brad Cole, John Knutson, and Keri Lingard

Absent:

City Council Member Present: Matt Trost

Also in attendance: Public Works Director, Marty Farrell; Recreation Program Specialist, Danielle Higgins; Community Development Director, Jon Sevald

II. PLEDGE OF ALLEGIANCE

III. APPROVAL OF AGENDA

MOTION: Lingard motioned, seconded by Chambers, to approve the agenda as presented. Motion carried unanimously.

IV. CONSENT AGENDA

A. Approval of Parks Commission Minutes from September 3, 2024.

MOTION: Lingard motioned, seconded by Knutson to approve the consent agenda as presented. Motion carried unanimously.

V. OPEN FORUM

No one present for open forum.

VI. COUNCIL UPDATE

Trost updated the Commission on Council items. Trost stated that the Adopt-A-Park Program was approved by the City Council with the stipulation that the City should cover the cost of the signs. Trost stated that the City Council decreased the preliminary levy. The City Council reviewed the DCM Farms Concept Plan and requested that the park land remain in the plan, agreed to pursue grant funding for the National Fitness Program, and there was not a lot of support to build it without funding. Trost stated the City Council agreed to send out the bid documents for the park irrigation.

VII. REGULAR MEETING

B. Trail Prioritization Discussion

Farrell came forward and stated that the relevant information was sent to the Parks Commission before the meeting in their packet. The previous prioritization was included in the meeting packet as well.

Lingard asked if the Balsam Trail would be impacted by safe crossings. Farrell stated that it was part of the "Safe Routes to School" project. Farrell has not heard any additional feedback. If the Parks Commission wishes to pursue the Balsam Trail, there may be feedback needed from Hennepin County and Champlin.

Additional conversation ensued. The conversation transitioned to Segment 3 and the process of securing the land needed.

Sevald stated that a Preliminary Plat was received yesterday for the western half of Segment 4.

There was consensus that Segment 4 should be prioritized out of the options before the Parks Commission.

Lingard suggested that the Parks Commission move forward to check with the County regarding Segment 1.

After Segment 4 and Segment 1, there was consensus to look at the larger map and pinpoint new trails to focus on.

C. Horse and Snowmobile Trails

Sevald came forward and stated that he doesn't have much prepared for this, other than to explain that the City has agreements with private landowners to use certain areas as snowmobile trails in the winter and horse trails in the summer. Over time, and the properties change hands, these trails will eventually go away. Sevald stated that if it is the desire of the Parks Commission to have permanent horse/snowmobile trails, there needs to be some discussion about funding.

Sevald stated that through his research, he discovered that the ideal snowmobile trail length would be 50-100 miles, and that cannot be accomplished in Dayton. Sevald recommended a 20–25-mile loop. Pikal asked if that amount of land is even available. The answer is yes. In Dayton there are roughly 4,600 acres of land that are not developed.

Cole stated that he is in favor of snowmobile trails, but he doesn't believe there would be even 10% of the Dayton residents who would use the snowmobile trails, so should the Parks Commission even consider it.

Chambers agreed with Cole.

Farrell reminded the Commission that if they fail to act now to preserve the land for the future, the opportunity will be lost forever.

Lingard agreed with Farrell.

Chambers suggested that perhaps clover-covered horse trails would assist in cutting down on the maintenance in the summer.

Knutson stated that it doesn't make financial sense to install or maintain the trails.

Pikal stated he struggles with the thought of how much it would cost to pursue the horse/snowmobile trails initially and then the maintenance cost on top of it.

There was consensus not to pursue horse/snowmobile trails.

Lingard believes it is prudent for the City Council to continue asking for rights-of-way when possible.

Farrell stated it is important to at least identify the existing trails.

D. CDAA Participation Charts Discussion

Richard Kloeppner of 12701 Overlook Road came forward and stated that he is the Executive Director of the Champlin and Dayton Athletic Association (CDAA). Kloeppner provided some charts to the Parks Commission to show the current trends.

Kloeppner stated that seven years ago, the ratio of Champlin participation to Dayton participation was about 9 to 1. Today it is about 2.5 to 1 and the field usage is currently 2 to 1.

Kloeppner stated that now is the time to purchase the land needed for an athletic complex. CDAA is happy to assist. Ideally, the City of Dayton would purchase the land and the CDAA would develop it.

Additional conversation ensued regarding the graphs provided by Kloeppner.

There was consensus that use of local parks would simply not help. An athletic complex is necessary and the ideal size would be about 60 acres.

Lingard stated that the topic of an athletic complex has come up numerous times, and all that ever happens is talk. She asked what the next steps should be.

Farrell described a list of attempts that have been made and failed. The City is currently considering hiring a land broker for the athletic complex project and for a fire training facility project.

E. Park Dedication Cash Fee Expenditure Policy Review

Farrell stated provided the Park Dedication Cash Fee Expenditure Policy for the Parks Commission to review. Farrell pointed out that in the Policy, the largest percentage of Park Dedication Fees are actually spent in the neighborhood park where the fees were collected.

Pikal inquired about funding for the trails. Trost stated that money is collected from brand-new developments for trails and for parks.

Knutson asked if the new policy simply put into writing what has been happening in the past. The answer is no.

Farrell stated that in the past, money was collected, and placed in a generalized fund. Parks were designed and funded from that generalized fund. The new policy actually puts the money back into the area that it came from.

Trost stated that 7/8 of the money collected goes back into the neighborhood parks and 1/8 of the money collected goes into the premier destination parks.

Lingard asked how maintenance for refurbishing a park is handled. Farrell stated that there is a parks maintenance fund in the general budget. The Policy being dealt with in the current discussion is only for brand-new parks.

VIII. NOTICES AND ANNOUNCEMENTS

F. Next Parks Commission Meeting was scheduled for November 5, 2024, but Election Day takes priority. There was consensus to change the date to November 4, 2024.

G. Higgins stated that this is her last Parks Commission meeting. She is moving to Owatonna at the end of the month. The Commissioners wished her well.

IX. ADJOURNMENT

MOTION: Lingard motioned, seconded by Chambers, to adjourn the meeting at 7:53 p.m. Motion carried.

Respectfully submitted,

Sandra Major, Recording Secretary
TimeSaver Off Site Secretarial, Inc.

MINUTES OF THE MONDAY, NOVEMBER 4, 2024
PARKS COMMISSION MEETING
CITY OF DAYTON, MINNESOTA

I. CALL TO ORDER at 6:30 PM

Present: David Pikal, Kaia Chambers, Brad Cole, and Keri Lingard

Absent: John Knutson

City Council Member Present: Matt Trost

Also in attendance: Public Works Superintendent, Marty Farrell; City Administrator/Finance Director, Zach Doud

II. PLEDGE OF ALLEGIANCE

III. APPROVAL OF AGENDA

MOTION: Lingard motioned, seconded by Chambers, to approve the agenda as presented. Motion carried unanimously.

IV. CONSENT AGENDA

A. Approval of Park Commission Minutes from October 1, 2024.

Lingard stated that the Minutes were not included in her packet.

Farrell stated that he would send them out tomorrow.

Doud suggested that the item be tabled and taken back up at the next meeting.

MOTION: Lingard motioned, seconded by Chambers to table the consent agenda as presented. Motion carried unanimously.

V. OPEN FORUM

No one present for open forum.

VI. COUNCIL AND STAFF UPDATE

Trost updated the Commission on Council items.

Trost stated that there will be some discussion regarding the Morris Leatherman Survey that pertain to parks a little later in the meeting.

Trost stated that the Council approved going out for bid for the improvements to Elsie Stephens Park.

Trost stated that Council directed Staff to search for potential grant money in order to pursue the idea of the bounce pillow.

Trost stated that the City has purchased some land located off 117th Avenue.

The Council voted in favor of installing well-irrigation some of the City parks. The goal is to have the project completed this fall so that it will be operational for the spring.

Pikal asked if the workout area was discussed. The answer is yes. Trost stated that Staff was directed to look for grant money for this project as well.

Farrell stated that the results from the bids for the North Bridge at Elsie Stephens Park should be back by the next City Council Meeting. The bid was open last Thursday, and the bids came back substantially lower than the engineering estimates.

Farrell stated that he spoke with Three Rivers Park District about the trail along Territorial Road. They are interested in partnering with the City on that project. Because of budgeting, the project will likely be a 2026 project.

Pikal asked when the playground equipment will be purchased for Elsie Stephens Park. Farrell stated that Paul Kangus will be working on that, but the focus has been directed towards completing the projects that can be completed before the harsh winter weather sets in. Farrell expects that within the next two weeks the focus will shift.

Farrell stated that there were about 150 pumpkins for the pumpkin trail. There was a lot of interest in it, and the plan is to do it again next year.

VII. REGULAR MEETING

B. Resident Survey

Doud stated that Mr. Leatherman gave a much better overview of the survey results, and he encouraged everyone to watch it on the City's website.

The survey consisted of 400 random residents from the City of Dayton. Telephone interviews were conducted between August 1st and August 21st of 2024. The average interview time was about 14 minutes. The non-response

rate was 5.5%. Cellphone only households comprised 65% of the sample. Landline only households comprised 8% of the sample. Households with both landline and cellphone comprised 27% of the sample.

Doud stated that the survey hit every demographic. There was a graph projected to show all the demographics.

The quality-of-life rating in Dayton is impressive. Of the residents surveyed, 42% rated their quality-of-life as excellent, 53% rated their quality-of-life as good, and only 4% rated their quality-of-life as only fair.

Doud stated that parks, trails, rural, and open space ranked 9 out of 14 among things that residents like most about the City. Safety ranked 14.

Doud stated that when rating the City services, park maintenance had an 89% favorable and a 12% unfavorable rating. Park facilities had an 85% favorable and a 15% unfavorable rating.

Doud stated that when asked what sort of development that residents would like to see, and 2% wanted to see more parks, trails, a splash pad, and a community center. It comes as no surprise that 59% of the community does not want to see any additional development.

Doud stated that 19% of the residents surveyed believed there are too many parks, and open spaces, 68% believe the amount is about right, and 13% believe there are too few.

Doud stated that 21% of the residents surveyed believed there are too many trails and bikeways, 58% believe the amount is about right, and 21% believe there are too few.

Doud stated that 72% of the residents surveyed believe the park and recreational facilities in Dayton are good, 18% believe they are excellent, and 9% believe they are fair or poor. A full 90% of the residents surveyed believe that the amenities offered in Dayton meet the needs of their household.

Additional discussion ensued.

Chambers asked when the next survey would be conducted. The answer is two to three years. Doud stated that if the City of Dayton continues to grow, the survey would be helpful to conduct every two to three years.

Cole asked if the sample size will always remain at 400 residents. The answer is yes. According to Morris Leatherman, adding additional residents to the survey sample only increases the amount of money the City has to pay for the survey, and it does not produce any statistical relevance.

The question, “How important are parks to your quality” was asked in the survey. For 31%, the answer was very important. For 52%, the answer was somewhat. For 17%, the answer was not at all.

The question, “How important are parks to the value of your home” was asked in the survey. For 42%, the answer was very. For 46%, the answer was somewhat. For 12%, the answer was not at all.

Doud stated that the Council wanted to gage the community’s thoughts regarding Elsie Stephens Park. According to the survey results, 19% of the residents think Elsie Stephens Park is excellent, 37% think it is good, 2% think it is only fair, and a whopping 43% have never even been to Elsie Stephens Park.

Discussion regarding concerns and possible solutions ensued.

On the survey, the question, “over the past year, have you visited Elm Creek Park Preserve,” was asked. A full 61% had not, and 39% had. The question, “was the Elm Creek Park Preserve a factor your decision to move to Dayton” was also asked. A full 45% indicated that it was not a factor, 32% stated that it was a minor factor, and 23% stated that it was a major factor.

Discussion regarding whether or not it should be a priority in the future for the parks and trails to have connectivity to Elm Creek Park.

When asked if the sample residents would support a property tax increase for specific purposes, the following information was collected: 1) Veteran’s Memorial 43% strongly support (SS), 44% support (S), and 13% oppose (O); 2) Large Community Park 40% SS, 39% S, and 18% O; 3) Docks/Fishing Pier 39% SS, 42% S, and 18% O; 4) Off-Leash Dog Park 35% SS, 38% S, and 27% O; 5) Picnic Shelters 33% SS, 49% S, and 18% O; 6) Pedestrian/Bicycling Trails 33% SS, 48% S, and 20% O; 7) Splash Pad 31% SS, 40% S, and 28% O; 8) Pickleball Courts 29% SS, 31% S, and 38% O; 9) Band Shell for Concerts 28% SS, 38% S, and 33% O; 10) Snowmobiling Trails 27% SS, 35% S, and 37% O; 11) Horseback Riding Trails 25% SS, 36% S, and 37% O; and 12) Indoor/Outdoor Sports Complex 22% SS, 38% S, and 36% O.

A lot of discussion ensued regarding each area measured in this section.

Lingard stated that everything on the list actually has a majority of support and the task at hand is to prioritize. Ultimately, Lingard asked if this section would ever be put to a vote during an election; and, if it does, what would be the threshold for passing.

Doud explained that it is not required that the City go out for a referendum on any of these items. There are other ways to collect funding. Doud went on to explain the bonding process.

Doud stated that Dayton Heritage Days is an event that has been running for a very long time and the Council wanted to find out what the residents think about it. A full 31% of those surveyed have never attended, 20% think it is excellent, 48% think it is good, and 4% think it is only fair.

Dayton stated that Holly Dayton is another signature event that the City participates in. Of the people surveyed, 19% thought it was excellent, 25% thought it was good, 2% thought it was only fair, and 54% have never attended.

One of the questions asked for a rating of the City Staff. A full 74% of those surveyed approved of the City Staff, 17% strongly approved, 1% was unsure, and 8% disapproved.

Doud stated that 33% of the residents receive their information from the City Newsletter, 30% from the City Website, 17% from Facebook, 7% from word of mouth, 4% from mailings, 2% from Instagram, 2% the local newspaper, and 2% from an e-newsletter. Doud stated that City Staff has seriously contemplated whether people even read the City Newsletter. The survey results confirmed the importance of continuing with it.

Doud stated that 5% of the people surveyed state that they have no internet in their home. Of the people who do have internet access, 71% have visited the City's website, and 29% have not visited it.

Lingard asked if there was any feedback from the City's app. Doud stated that the City Staff has not put as much focus on the app as is needed. Utilizing the app more is a goal for Staff next year. If it is not going to be properly utilized, it needs to go away. The original goal for the City's app was to use it as a "push" rather than a "retrieve" mechanism. Doud stated that he's been in communication with the School District, and they intend to start using the app for things like school closings, school bus information, and the like. Ideally the residents could use the app to advertise things like garage sales.

Doud stated that the survey results are trending towards people getting away from social media. Only 43% of the residents use social media, 57% do not use it at all. Of the people who use social media 38% think Dayton's social media is excellent, 54% think it is good, and 8% think it is only fair.

VIII. NOTICES AND ANNOUNCEMENTS

C. Next Park Commission Meeting is scheduled for December 3, 2024.

IX. ADJOURNMENT

MOTION: Lingard motioned, seconded by Chambers, to adjourn the meeting at 7:32 p.m. Motion carried.

Respectfully submitted,

Sandra Major, Recording Secretary
TimeSaver Off Site Secretarial, Inc.

PRESENTER: Martin Farrell/Paul Kangas

ITEM: Park Improvements Project 2024/2025 Design Development presentation.

PREPARED BY: Martin Farrell

POLICY DECISION / ACTION TO BE CONSIDERED: None.

BACKGROUND: Paul Kangas has been working on developing designs from the initial concepts presented to the Park Commission and Council. The projects included are the Area 21 Park, Lone Gardens upgrades and Elsie Stephens Phase 3. These plans are separate from the irrigation and bridge projects that have been bid and contracts awarded.

CRITICAL ISSUES: None

BUDGET IMPACT: None

RECOMMENDATION: None.

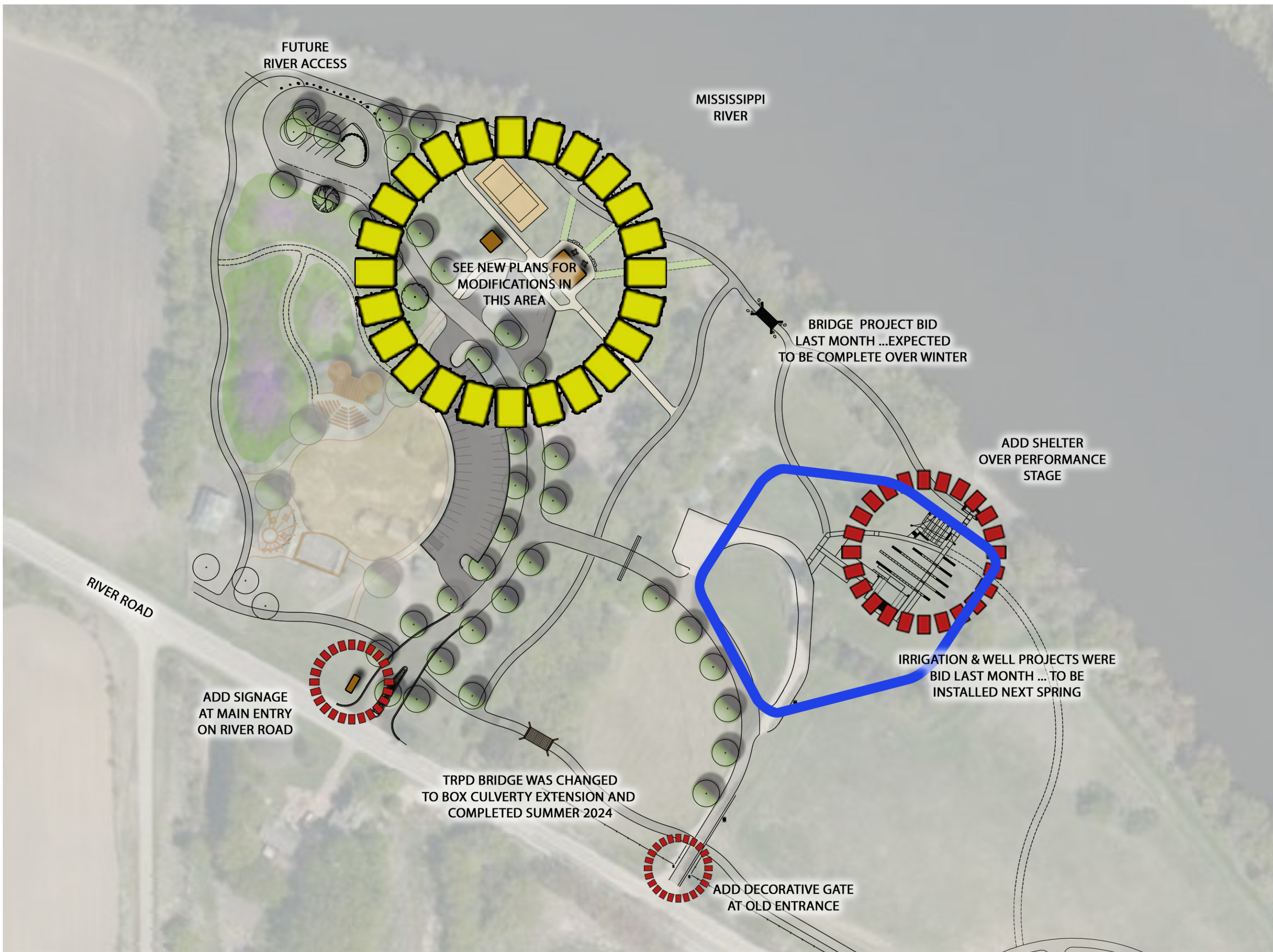
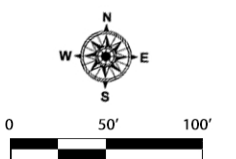
ATTACHMENT(S): Design Development plans, Image boards, Project estimate, Shelter plan and quote, playground equipment and quote

2025 PARKS
IMPROVEMENT
PROJECT

DAYTON, MN

Inside Outside
ARCHITECTURE
Inc.

NOVEMBER 27, 2024



**PHASE III
PREFERRED
ELEMENTS**

PSA #21 NEIGHBORHOOD PARK

ITEM	UNIT	EST QTY	UNIT COST	TOTAL COST
GENERAL & EROSION CONTROL			Subtotal	\$ 55,064.00
Temporary Signage, Fencing, and Security	LS	1	\$ 4,000.00	\$ 4,000.00
Mobilization	LS	1	\$ 30,000.00	\$ 30,000.00
Construction Surveying & Staking	LS	1	\$ 12,000.00	\$ 12,000.00
Sawing Bituminous Pavement	LF	144	\$ 6.00	\$ 864.00
Rock Entrance Pad	LS	1	\$ 2,200.00	\$ 2,200.00
Silt Fence & Removal	LF	1,200	\$ 5.00	\$ 6,000.00
EARTHWORK			Subtotal	\$ 64,680.00
Common Excavation	BCY	1,000	\$ 12.00	\$ 12,000.00
Fine Grading	AC	5	\$ 5,000.00	\$ 26,500.00
Subcut for Trails - 10" (waste excavated material on-site)	BCY	695	\$ 18.00	\$ 12,510.00
Subcut for Pickleball Court (27")	CY	332	\$ 10.00	\$ 3,320.00
Subcut for Half Basketball Court (waste excavated material on-site)	BCY	182	\$ 18.00	\$ 3,276.00
Subcut for Concrete Surfaces (waste excavated material on-site)	BCY	150	\$ 18.00	\$ 2,700.00
Subcut for Play Area (waste excavated material on-site)	BCY	243	\$ 18.00	\$ 4,374.00
NORTH PARKING			Subtotal	\$ 60,140.00
Removals at Street Connection	LS	1	\$ 2,500.00	\$ 2,500.00
Subcut for Parking Area (waste excavated material on-site) - 21" Depth	CY	450	\$ 12.00	\$ 5,400.00
Select Backfill Sub-Base - 12" Depth	CY	260	\$ 60.00	\$ 15,600.00
Class Five Base - 6" Depth	CY	130	\$ 50.00	\$ 6,500.00
3" Asphalt Paving in Two Lifts	SY	772	\$ 20.00	\$ 15,440.00
B612 Concrete Curb	LF	408	\$ 25.00	\$ 10,200.00
Access Ramps	EA	1	\$ 2,500.00	\$ 2,500.00
ADA Signage	EA	2	\$ 400.00	\$ 800.00
Striping	LS	1	\$ 1,200.00	\$ 1,200.00
PLAYGROUND AND SEATING AREA			Subtotal	\$ 288,900.00
5" Thick Concrete Paving Type 'B' including Base	SF	1,200	\$ 18.00	\$ 21,600.00
Park Shelter - 18' x 18'	LS	1	\$ 60,000.00	\$ 60,000.00
Stepping Stone Paving with Base	SF	280	\$ 40.00	\$ 11,200.00
Play Area Concrete Sidewalk with Thickened Edge Curb	SF	2,012	\$ 20.00	\$ 40,240.00
4" Draintile - Perforated and Non-Perforated with Backfill & Fabric	LF	300	\$ 20.00	\$ 6,000.00
Play Equipment	LS	1	\$ 85,000.00	\$ 85,000.00
Play Equipment Installation	LS	1	\$ 15,000.00	\$ 15,000.00
Rubberized Surfacing for Access Routes	SF	500	\$ 40.00	\$ 20,000.00
EWF Play Area Surfacing	CY	162	\$ 30.00	\$ 4,860.00
EWF Installation - Including Geotextile Fabric	LS	1	\$ 6,000.00	\$ 6,000.00
OPTIONAL Stone Accent Walls	LF	140	\$ 100.00	\$ 14,000.00
OPTIONAL Permanent Cornhole Goals & Concrete Surfacing	LS	1	\$ 5,000.00	\$ 5,000.00
DOUBLE PICKLEBALL COURT				\$ 106,185.00
3" Bituminous Court Paving including Base	SY	411	\$ 45.00	\$ 18,495.00
Geotextile Fabric	SY	420	\$ 5.00	\$ 2,100.00
15" Compacted 1.5" Granite Base	CY	185	\$ 120.00	\$ 22,200.00
8" Compacted Class Five Base	CY	99	\$ 80.00	\$ 7,920.00
Pickleball Post and Net Systems	EA	2	\$ 2,800.00	\$ 5,600.00
Concrete Court Edger	LF	248	\$ 25.00	\$ 6,200.00
4" Perforated Drain Tile at Perimeter	LF	240	\$ 20.00	\$ 4,800.00
4" Solid Drain Tile to Daylight	LF	30	\$ 25.00	\$ 750.00
Colorcoat / Striping	LS	1	\$ 8,000.00	\$ 8,000.00
5' Chain Link Fencing - Black Vinyl Coated	LF	242	\$ 60.00	\$ 14,520.00
Chain Link Gates - 3' Width	EA	2	\$ 800.00	\$ 1,600.00
5" Thick Concrete Paving with Base	SF	400	\$ 18.00	\$ 7,200.00
Picnic Table	EA	1	\$ 2,800.00	\$ 2,800.00
Trash Receptacle	EA	1	\$ 2,000.00	\$ 2,000.00
Bike Racks	EA	2	\$ 1,000.00	\$ 2,000.00

SAND VOLLEYBALL			Subtotal	\$ 17,300.00
Subcut for Volleyball Court	CY	150	\$ 18.00	\$ 2,700.00
Washed Sand - 12" Depth	CY	150	\$ 40.00	\$ 6,000.00
Posts and Net Assembly	LS	1	\$ 6,000.00	\$ 6,000.00
4" Draintile - Perforated and Non-Perforated with Backfill & Fabric	LF	130	\$ 20.00	\$ 2,600.00
MISCELLANEOUS SITE IMPROVEMENTS			Subtotal	\$ 20,200.00
Benches	EA	2	\$ 2,200.00	\$ 4,400.00
Tables with Attached Seating	EA	3	\$ 2,800.00	\$ 8,400.00
Movable Picnic Tables	EA	2	\$ 2,500.00	\$ 5,000.00
Trash Receptacles	EA	2	\$ 1,200.00	\$ 2,400.00
FULL BASKETBALL COURT with FOUR GOALS			Subtotal	\$ 93,944.00
Geotextile Fabric	SY	400	\$ 5.00	\$ 2,000.00
15" Compacted 1.5" Granite Base	CY	170	\$ 120.00	\$ 20,400.00
8" Compacted Class Five Base	CY	90	\$ 80.00	\$ 7,200.00
3" Bituminous Court Paving including Base	SY	390	\$ 40.00	\$ 15,600.00
Concrete Court Edger	LF	232	\$ 30.00	\$ 6,960.00
4" Perforated Drain Tile at Perimeter with Backfill & Fabric	LF	232	\$ 22.00	\$ 5,104.00
4" Solid Drain Tile to Daylight with Backfill	LF	20	\$ 24.00	\$ 480.00
Basketball Post Assembly with Concrete Footing	EA	4	\$ 6,500.00	\$ 26,000.00
Colorcoat / Striping	LS	1	\$ 8,000.00	\$ 8,000.00
Bench	EA	1	\$ 2,200.00	\$ 2,200.00
BITUMINOUS TRAILS			Subtotal	\$ 87,500.00
Bituminous Trail Surfacing - 8' Width with Base	LF	2,500	\$ 35.00	\$ 87,500.00
LANDSCAPING			Subtotal	\$ 111,800.00
Turf Hydro-Seeding	SY	21,000	\$ 2.50	\$ 52,500.00
Native Prairie Seeding	SY	4,000	\$ 4.00	\$ 16,000.00
Straw Erosion Blanket	SY	1,200	\$ 3.50	\$ 4,200.00
Overstory Trees - 2.0" cal	EA	25	\$ 850.00	\$ 21,250.00
Coniferous Trees - 6' ht	EA	9	\$ 750.00	\$ 6,750.00
Ornamental Trees - 1-1/2" cal	EA	6	\$ 600.00	\$ 3,600.00
Coniferous Shrubs with Mulch	EA	12	\$ 100.00	\$ 1,200.00
Perennials with Mulch	EA	36	\$ 70.00	\$ 2,520.00
Ornamental Grasses with Mulch	EA	36	\$ 45.00	\$ 1,620.00
Landscape Edger	LF	120	\$ 18.00	\$ 2,160.00
PHASE ONE BASE BID PROJECT TOTAL			TOTAL	\$ 905,713.00
15% Contingency Fund				\$ 135,856.95
				\$ 1,041,569.95

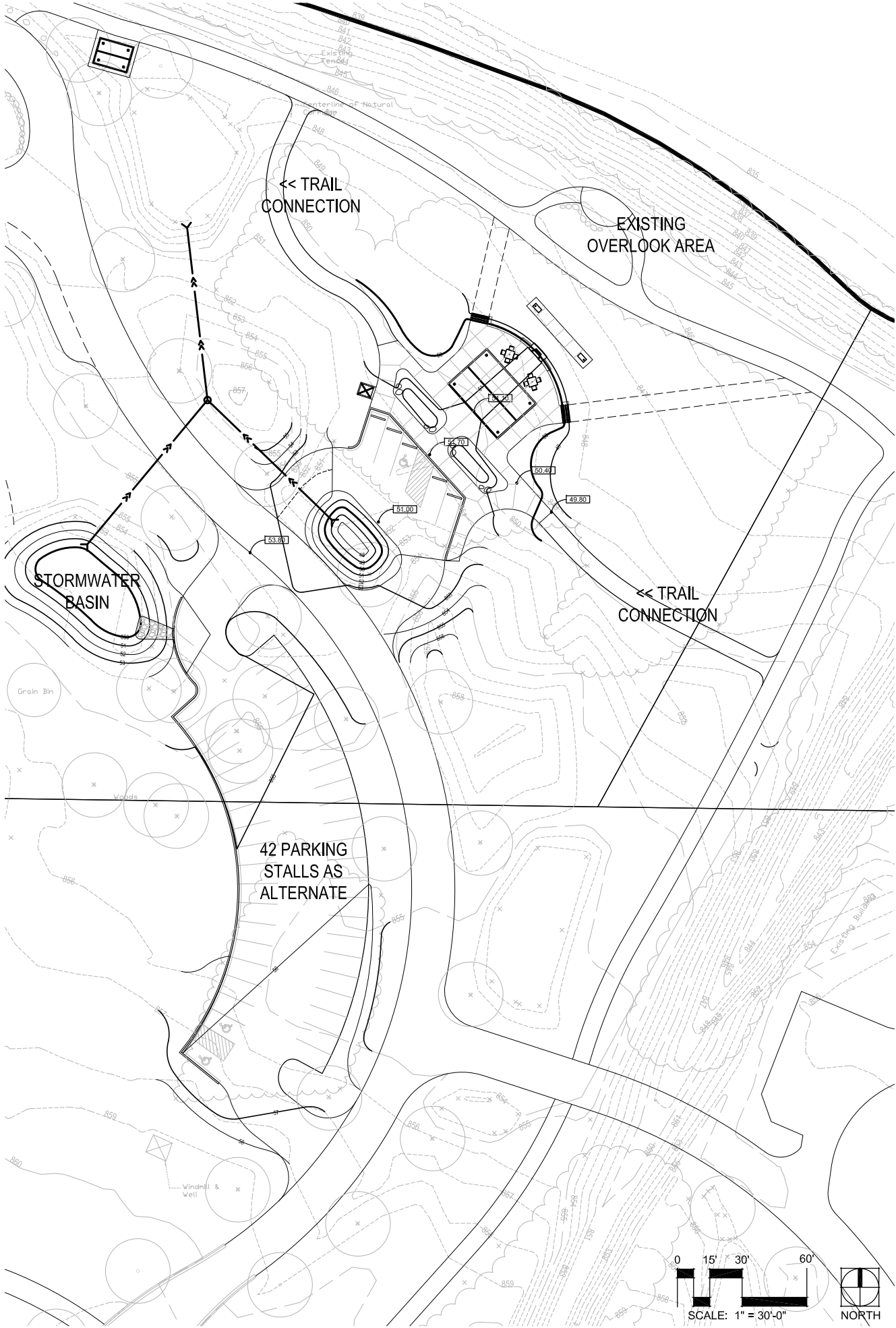
IONE GARDENS NEIGHBORHOOD PARK

ITEM	UNIT	EST QTY	UNIT COST	TOTAL COST
GENERAL			Subtotal	\$ 10,200.00
Mobilization	LS	1	\$ 5,000.00	\$ 5,000.00
Construction Surveying & Staking	LS	1	\$ 2,000.00	\$ 2,000.00
Silt Fence & Removal	LF	200	\$ 5.00	\$ 1,000.00
Rock Entrance Pad	EA	1	\$ 2,200.00	\$ 2,200.00
PATIO SEATING AREA			Subtotal	\$ 16,900.00
Excavation for Paved Areas (waste excavated material on-site)	CY	8	\$ 25.00	\$ 200.00
Stepping Stone Paving with Base	SF	230	\$ 40.00	\$ 9,200.00
Boulder Accent Wall	LS	1	\$ 3,500.00	\$ 3,500.00
Limestone Block Benches	EA	2	\$ 2,000.00	\$ 4,000.00
OPTIONAL Concrete Paving Type 'B' in lieu of Stepping Stones	SF	230	\$ 25.00	\$ 5,750.00
SITE FURNITURE			Subtotal	\$ 1,200.00
Tables	EA	0	\$ 2,500.00	\$ -
Benches	EA	0	\$ 2,200.00	\$ -
Trash Receptacle	EA	1	\$ 1,200.00	\$ 1,200.00
LANDSCAPING			Subtotal	\$ 10,875.00
Fine Grading	SY	360	\$ 3.00	\$ 1,080.00
Turf Hydro-Seeding	SY	360	\$ 2.50	\$ 900.00
Straw Erosion Blanket	SY	120	\$ 4.00	\$ 480.00
Overstory Trees - 2.0" cal	EA	0	\$ 850.00	\$ -
Coniferous Trees - 6' ht	EA	9	\$ 750.00	\$ 6,750.00
Ornamental Trees - 1-1/2" cal	EA	1	\$ 600.00	\$ 600.00
Coniferous Shrubs with Mulch	EA	3	\$ 100.00	\$ 300.00
Perennials with Mulch	EA	0	\$ 70.00	\$ -
Ornamental Grasses with Mulch	EA	9	\$ 45.00	\$ 405.00
Landscape Edger	LF	20	\$ 18.00	\$ 360.00
BASE BID PROJECT TOTAL			TOTAL	\$ 42,050.00
15% Contingency Fund				\$ 6,307.50
				\$ 48,357.50

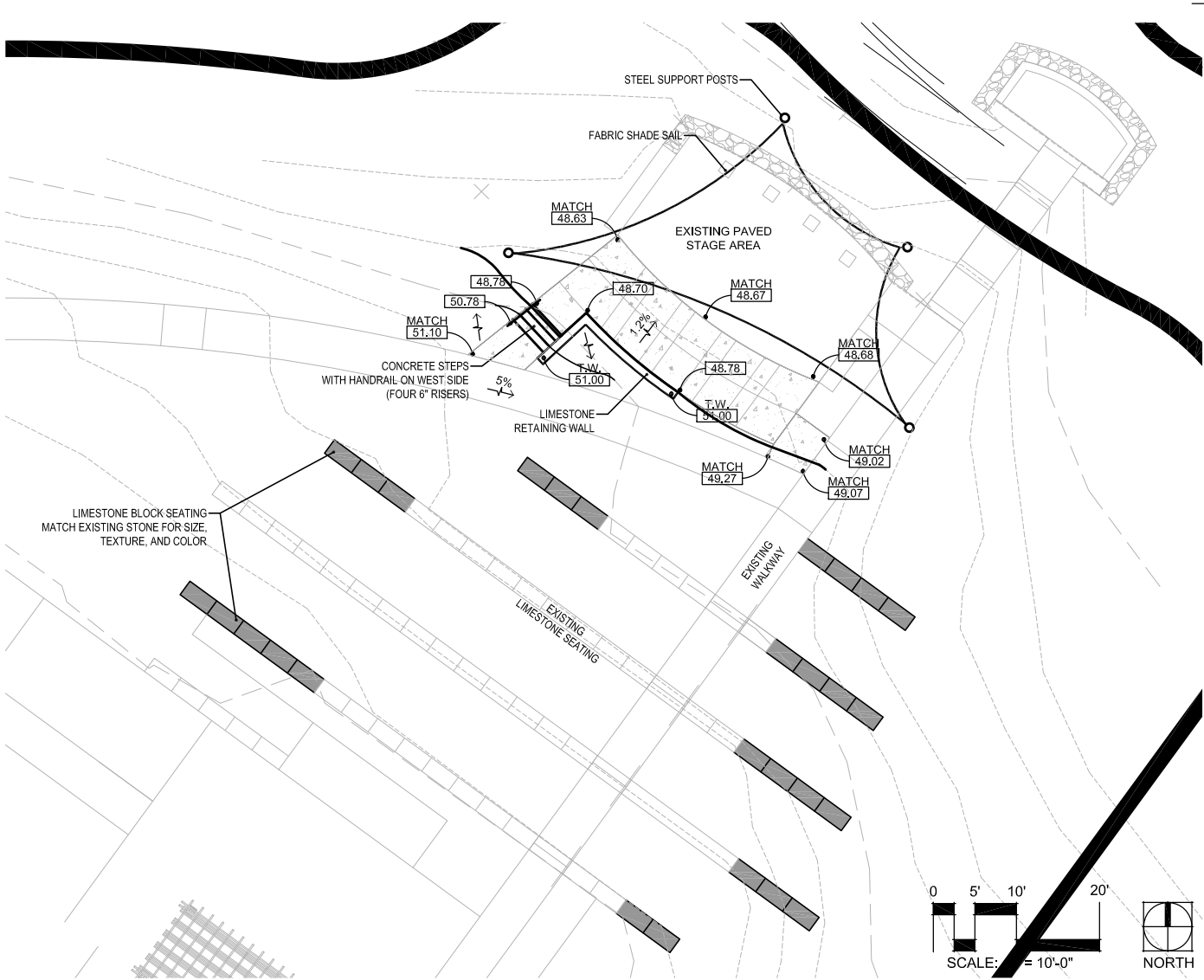
ELSIE STEPHENS PARK - PHASE III

ITEM	UNIT	EST QTY	UNIT COST	TOTAL COST
GENERAL COSTS & EROSION CONTROL			Subtotal	\$ 70,700.00
Temporary Signage, Fencing, and Security	LS	1	\$ 2,000.00	\$ 2,000.00
Mobilization	LS	1	\$ 50,000.00	\$ 50,000.00
Construction Surveying & Staking	LS	1	\$ 8,000.00	\$ 8,000.00
Tree Clearing and Removals	LS	1	\$ 6,000.00	\$ 6,000.00
Rock Construction Entrance Pad	LS	1	\$ 2,200.00	\$ 2,200.00
Silt Fence & Removal	LF	500	\$ 3.00	\$ 1,500.00
Wood Fiber Log & Removal	LF	200	\$ 5.00	\$ 1,000.00
EXPANDED PERFORMANCE STAGE & SEATING AREA			Subtotal	\$ 180,475.00
Tensile Fabric Roof Element	LS	1	\$ 80,000.00	\$ 80,000.00
5" Thick Concrete Paving with Base	SF	363	\$ 25.00	\$ 9,075.00
Concrete Steps and Railing	LS	1	\$ 8,000.00	\$ 8,000.00
Stone Retaining Wall at Front of Stage	LF	20	\$ 125.00	\$ 2,500.00
Limestone Seat Blocks	EA	28	\$ 2,500.00	\$ 70,000.00
Earthwork	LS	1	\$ 6,000.00	\$ 6,000.00
Landscaping in Front of Stage	LS	1	\$ 2,500.00	\$ 2,500.00
Sod	SY	300	\$ 8.00	\$ 2,400.00
PARK ENTRANCE SIGN				\$ 40,000.00
Sign Complete	LS	1	\$ 40,000.00	\$ 40,000.00
Electrical and Lighting				\$ -
Concrete Footings				\$ -
Masonry Accents				\$ -
Sign Panel & Graphics				\$ -
Landscaping				\$ -
ENTRY GATE AT OLD ENTRANCE			Subtotal	\$ 12,000.00
Welded & Powder Coated Control Gate	LS	1	\$ 12,000.00	\$ 12,000.00
Double Swing Gate				\$ -
Posts and Footings				\$ -
Decorative Metal Panel				\$ -

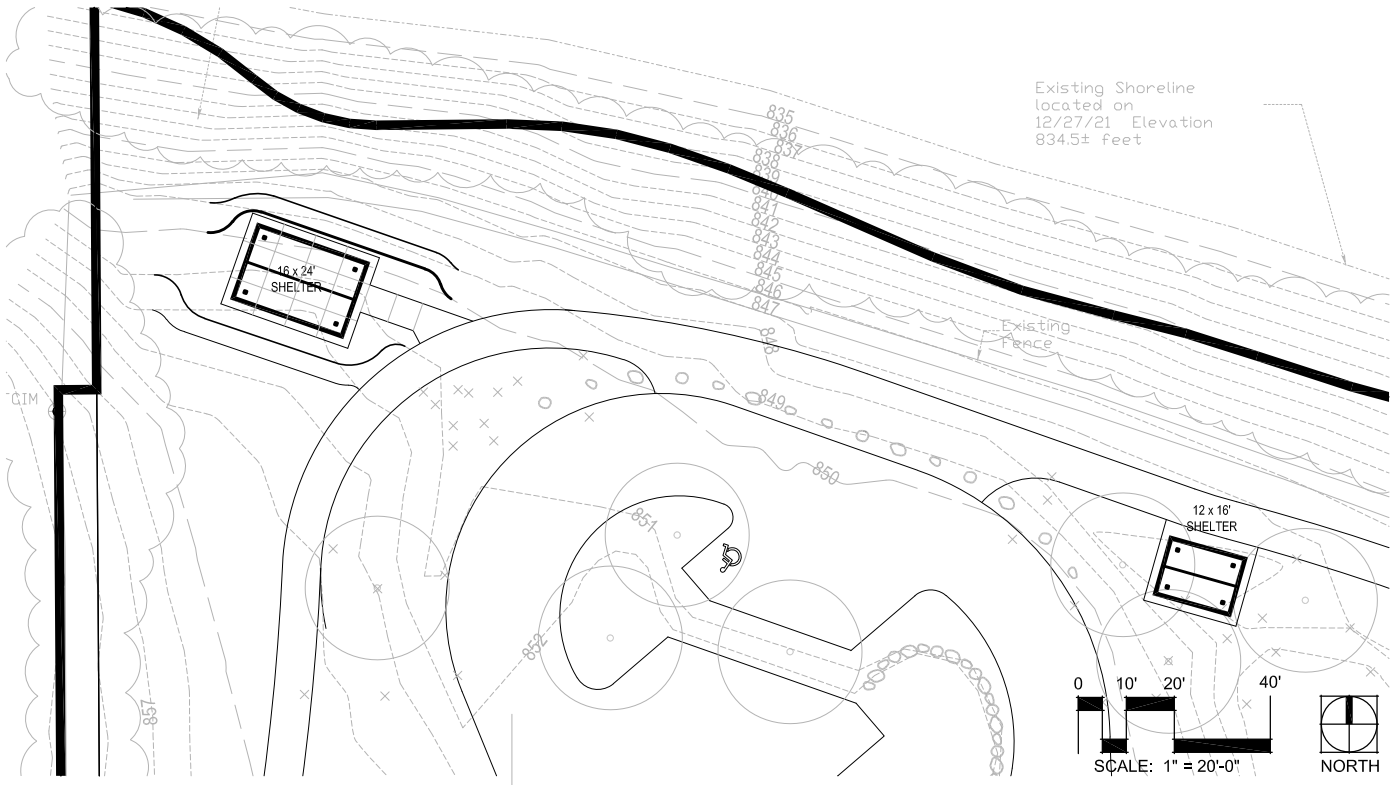
PICNIC SHELTER & EAST PARKING AREA			Subtotal	\$ 347,332.00
Shelter - 24x34' Prefabricated Shelter	LS	1	\$ 110,000.00	\$ 110,000.00
Subcut for Paved Areas	CY	200	\$ 18.00	\$ 3,600.00
5" Thick Concrete Paving with Base	SF	4,070	\$ 20.00	\$ 81,400.00
Bituminous Trail Surfacing - 8' Width with Base	LF	260	\$ 35.00	\$ 9,100.00
PortaPotty Pad & Enclosure	LS	1	\$ 4,000.00	\$ 4,000.00
Picnic Tables	EA	4	\$ 2,500.00	\$ 10,000.00
Sawing Bituminous Pavement	LF	92	\$ 6.00	\$ 552.00
12" HDPE Storm Pipe	LF	160	\$ 60.00	\$ 9,600.00
Storm Structure Manhole	EA	1	\$ 5,000.00	\$ 5,000.00
Flared Ends and Rip Rap	EA	2	\$ 1,250.00	\$ 2,500.00
Subcut for Parking Area (waste excavated material on-site) - 21" Depth	CY	300	\$ 12.00	\$ 3,600.00
Select Backfill Sub-Base - 12" Depth	CY	164	\$ 60.00	\$ 9,840.00
Class Five Base - 6" Depth	CY	82	\$ 50.00	\$ 4,100.00
3" Asphalt Paving in Two Lifts	SY	492	\$ 20.00	\$ 9,840.00
B612 Concrete Curb	LF	0	\$ 30.00	\$ -
Concrete Curb Stops	EA	5	\$ 500.00	\$ 2,500.00
Access Ramp	EA	0	\$ 2,500.00	\$ -
ADA Signage	EA	2	\$ 400.00	\$ 800.00
Striping	LS	1	\$ 800.00	\$ 800.00
Landscaping	LS	1	\$ 10,000.00	\$ 10,000.00
Seed Prep and Turf Hydro-Seeding	SY	1,100	\$ 3.00	\$ 3,300.00
Straw Erosion Blanket (Around Basin Edges)	SY	150	\$ 4.00	\$ 600.00
OPTIONAL Permanent Cornhole Goals & Concrete Surfacing	LS	1	\$ 5,000.00	\$ 5,000.00
OPTIONAL Seat Wall and Fireplace	LS	1	\$ 60,000.00	\$ 60,000.00
OPTIONAL Charcoal Grill	EA	1	\$ 1,200.00	\$ 1,200.00
ALTERNATE - WEST PARKING AREA			Subtotal	\$ 144,040.00
Tree Clearing and Removals	LS	1	\$ 6,000.00	\$ 6,000.00
Rock Construction Entrance Pad	LS	1	\$ 2,200.00	\$ 2,200.00
Sawing Bituminous Pavement at Entrances	LF	110	\$ 6.00	\$ 660.00
Subcut for Stomwater Basin (waste excavated material on-site)	CY	100	\$ 12.00	\$ 1,200.00
Cobble Spillway from Curb to Basin	LS	1	\$ 1,200.00	\$ 1,200.00
12" HDPE Storm Pipe	LF	90	\$ 60.00	\$ 5,400.00
Storm Structure Manhole	EA	0	\$ 5,000.00	\$ -
Flared Ends and Rip Rap	EA	1	\$ 1,250.00	\$ 1,250.00
Road Crossing - Sawcutting, Removals, and Patching of Asphalt	LS	1	\$ 5,000.00	\$ 5,000.00
Subcut for Parking Area (waste excavated material on-site) - 21" Depth	CY	1,075	\$ 12.00	\$ 12,900.00
Select Backfill Sub-Base - 12" Depth	CY	614	\$ 60.00	\$ 36,840.00
Class Five Base - 6" Depth	CY	307	\$ 50.00	\$ 15,350.00
3" Asphalt Paving in Two Lifts	SY	1,842	\$ 20.00	\$ 36,840.00
B612 Concrete Curb	LF	270	\$ 30.00	\$ 8,100.00
Access Ramps	EA	1	\$ 2,500.00	\$ 2,500.00
ADA Signage	EA	2	\$ 400.00	\$ 800.00
Striping	LS	1	\$ 2,000.00	\$ 2,000.00
Seed Prep and Turf Hydro-Seeding	SY	1,600	\$ 3.00	\$ 4,800.00
Straw Erosion Blanket (Around Basin Edges)	SY	250	\$ 4.00	\$ 1,000.00
BASE BID PROJECT TOTAL			TOTAL	\$ 794,547.00
15% Contingency Fund				\$ 119,182.05
				\$ 913,729.05



OVERALL LAYOUT PLAN:

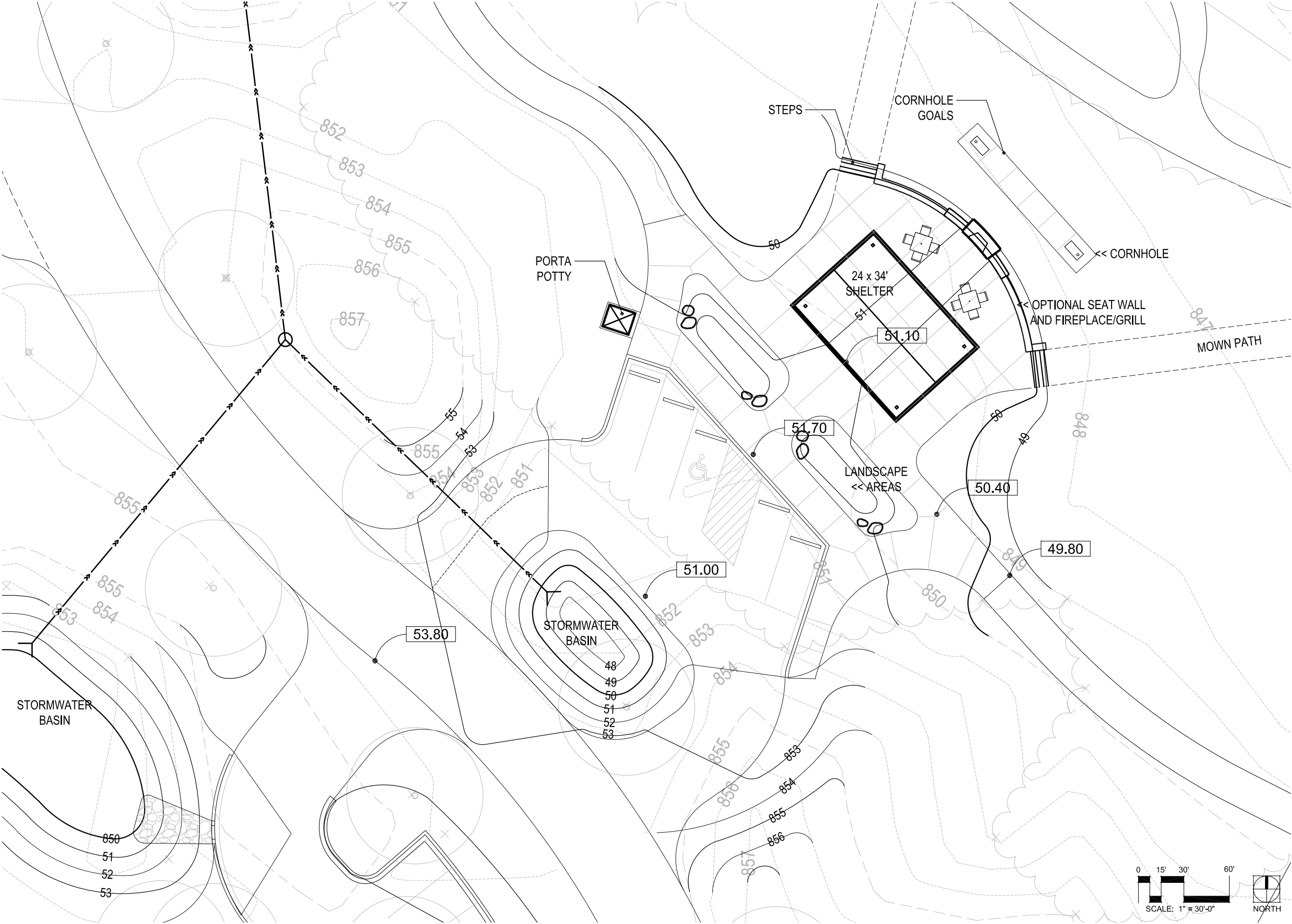


PERFORMANCE AREA:



RIVER ACCESS SHELTER LOCATIONS:

Project #:	22-003
Date:	11-27-2024
Revision:	
Drawn By:	PK
Checked By:	PK



Project #:	22-003
Date:	11-27-2024
Revision:	
Drawn By:	PK
Checked By:	PK

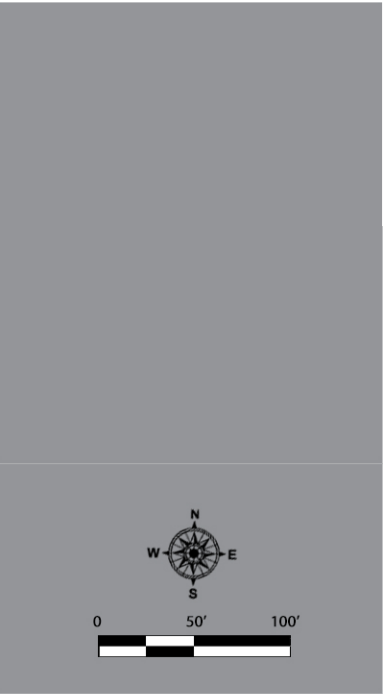


2025 PARKS
IMPROVEMENT
PROJECT

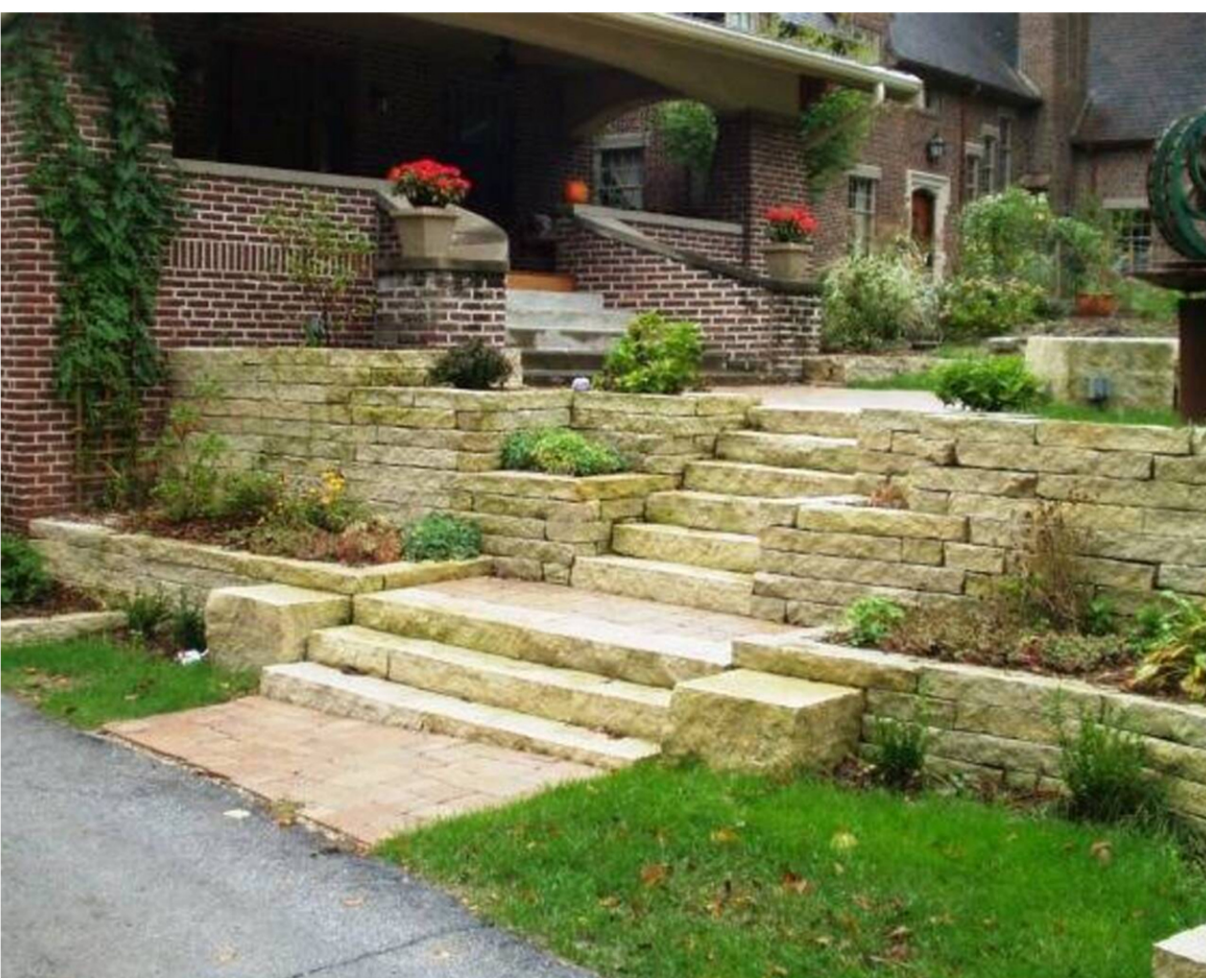
DAYTON, MN

Inside Outside
ARCHITECTURE
Inc.

NOVEMBER 27, 2024



ESP PROJECT
ELEMENTS
IMAGERY

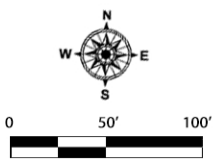


2025 PARKS
IMPROVEMENT
PROJECT

DAYTON, MN

Inside Outside
ARCHITECTURE
Inc.

NOVEMBER 27, 2024



ESP
STAGE AREA
IMAGERY



PROJECT:

LOCATION:

BUILDING TYPE: REK 24x34

ROOF TYPE: MULTI-RIB

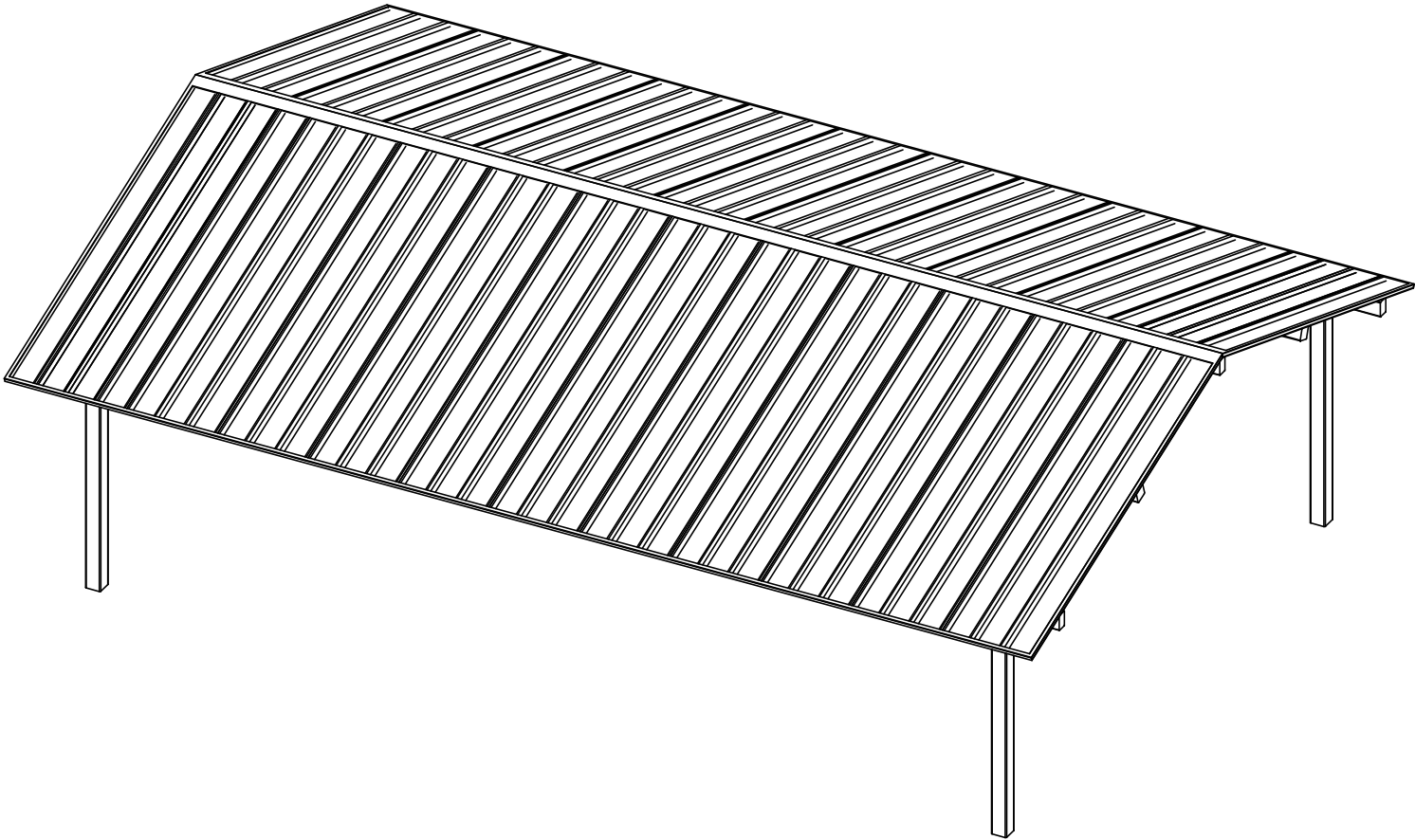
BUILDING NUMBER:

ORDER NUMBER:

QUOTE NUMBER:

DRAWING LIST:

SHEET NUMBER	DRAWING DESCRIPTION
CS	COVER SHEET
1	ARCHITECTURAL ELEVATIONS
2	STRUCTURAL FRAMING PLAN
3	COLUMN LAYOUT



CERTIFICATES:
MIAMI-DADE COUNTY CERTIFICATE OF COMPETENCY NO. 21-0819.13
PCI (POWDER COATING INSTITUTE) 4000 CERTIFIED

FABRICATOR APPROVALS:
CITY OF PHOENIX, AZ APPROVED FABRICATOR #C08-2010
CITY OF LOS ANGELES, CA APPROVED FABRICATOR #FB01596
CITY OF RIVERSIDE, CA APPROVED FABRICATOR #SF_000042
CITY OF HOUSTON, TX APPROVED FABRICATOR #470
CLARK COUNTY, NV APPROVED FABRICATOR #264
STATE OF UTAH APPROVED FABRICATOR 02008-14
AISC APPROVED FABRICATOR C-00018751

DESCRIPTION	ASTM DESIGNATION
TUBE STEEL	A500 (GRADE B)
SCHEDULE PIPE	A53 (GRADE B)
RMT PIPE	A519
LIGHT GAGE COLD FORMED	A1003 (GRADE 50)
STRUCTURAL STEEL PLATE	A36
ROOF PANELS (STEEL)	A653



GENERAL NOTES:
UNLESS NOTED OTHERWISE, THIS STRUCTURE WAS DESIGNED TO ONLY SUPPORT WHAT IS SHOWN ON THESE DRAWINGS. THE MANUFACTURER MUST BE CONTACTED IF ANYTHING ELSE IS TO BE ATTACHED TO THIS STRUCTURE (WALLS, COLUMN WRAPS, RAILINGS, ETC.) SO THE DESIGN OF THIS STRUCTURE CAN BE REVIEWED AND POSSIBLY REVISED.

UNLESS NOTED OTHERWISE, THIS STRUCTURE WAS DESIGNED ASSUMING A 20' SEPARATION BETWEEN ANY ADJACENT STRUCTURE WITH AN EAVE HEIGHT EQUAL TO OR GREATER THAN THE EAVE HEIGHT OF THIS STRUCTURE. IF THAT SEPARATION DOES NOT EXIST, THE MANUFACTURER MUST BE CONTACTED SO THE DESIGN OF THIS STRUCTURE CAN BE REVIEWED AND POSSIBLY REVISED.

STRUCTURAL STEEL SHALL BE DETAILED, FABRICATED, AND ERECTED IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) SPECIFICATION MANUAL.

ALL WELDING IS PERFORMED BY AMERICAN WELDING SOCIETY (AWS) CERTIFIED WELDERS AND CONFORMS TO THE LATEST EDITION OF AWS D1.1 OR D1.3 AS REQUIRED.

PARTS SHOWN MAY BE UPGRADED DUE TO STANDARDIZED FABRICATION. REFER TO THE SHIPPING BILL OF MATERIALS FOR POSSIBLE SUBSTITUTIONS.

FOR PROPER FIELD INSTALLATION OF THE BUILDING IT IS RECOMMENDED THAT THE PRIMARY FRAME INSTALLER AND THE ROOF INSTALLER HAVE A MINIMUM FIVE (5) YEARS DOCUMENTED EXPERIENCE INSTALLING THIS TYPE OF PRODUCT.

FOR PROPER FIELD INSTALLATION OF THE BUILDING IT IS RECOMMENDED THAT ELECTRIC WIRING, IF REQUIRED, BE RUN THROUGH THE STRUCTURAL MEMBERS BEFORE THE BUILDING IS ERECTED.

STOP!!

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by PORTER CORP

WWW.POLIGON.COM

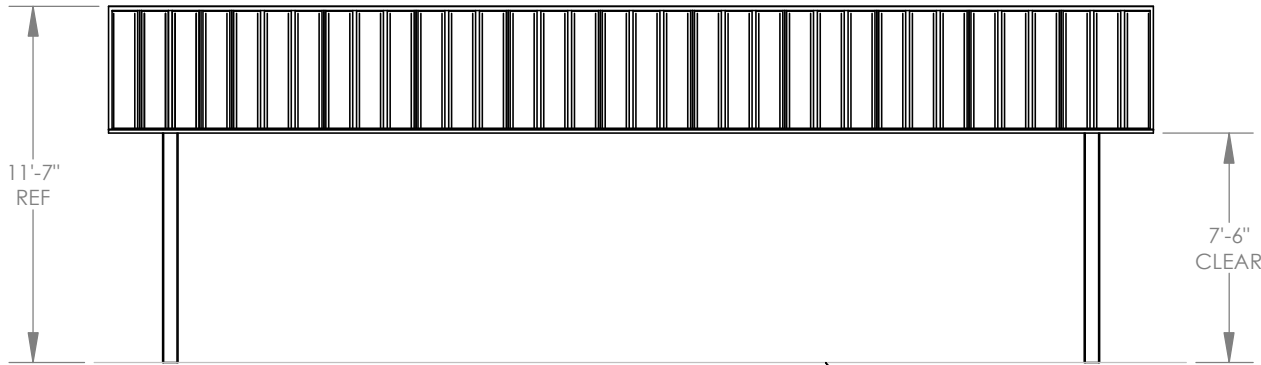
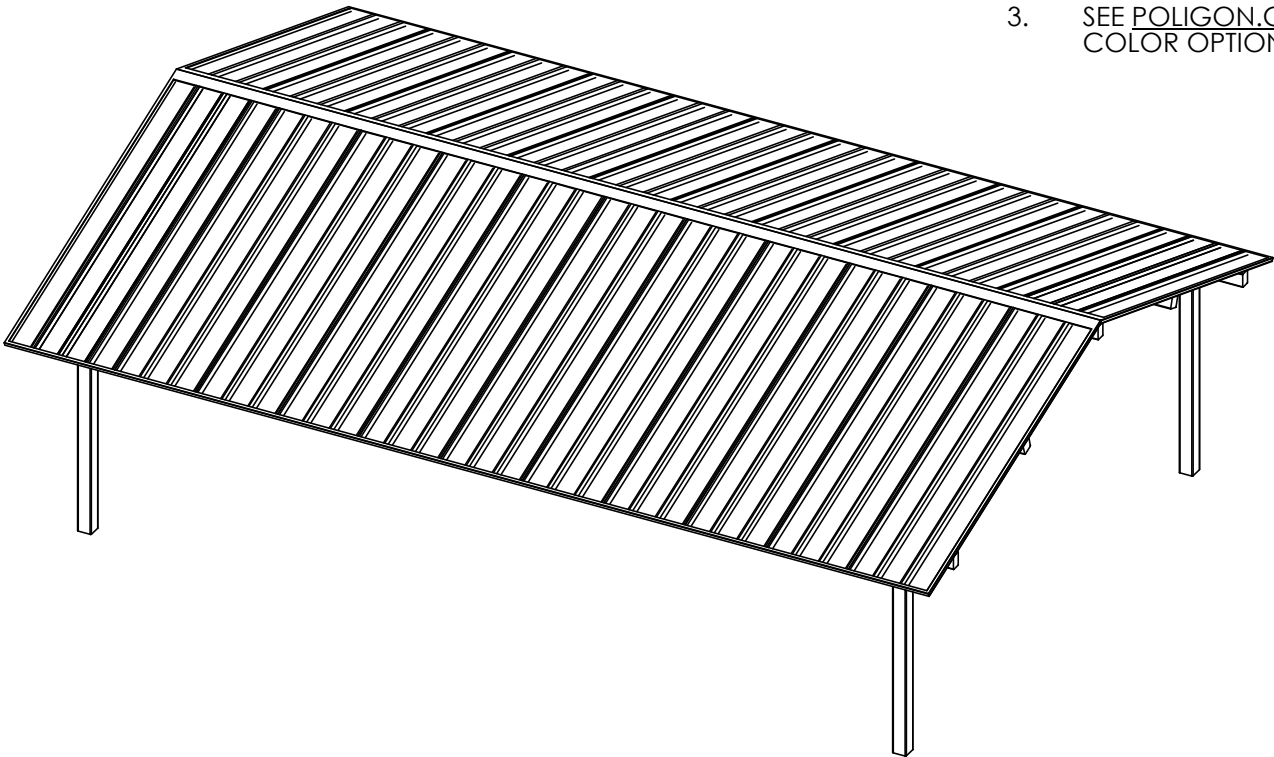
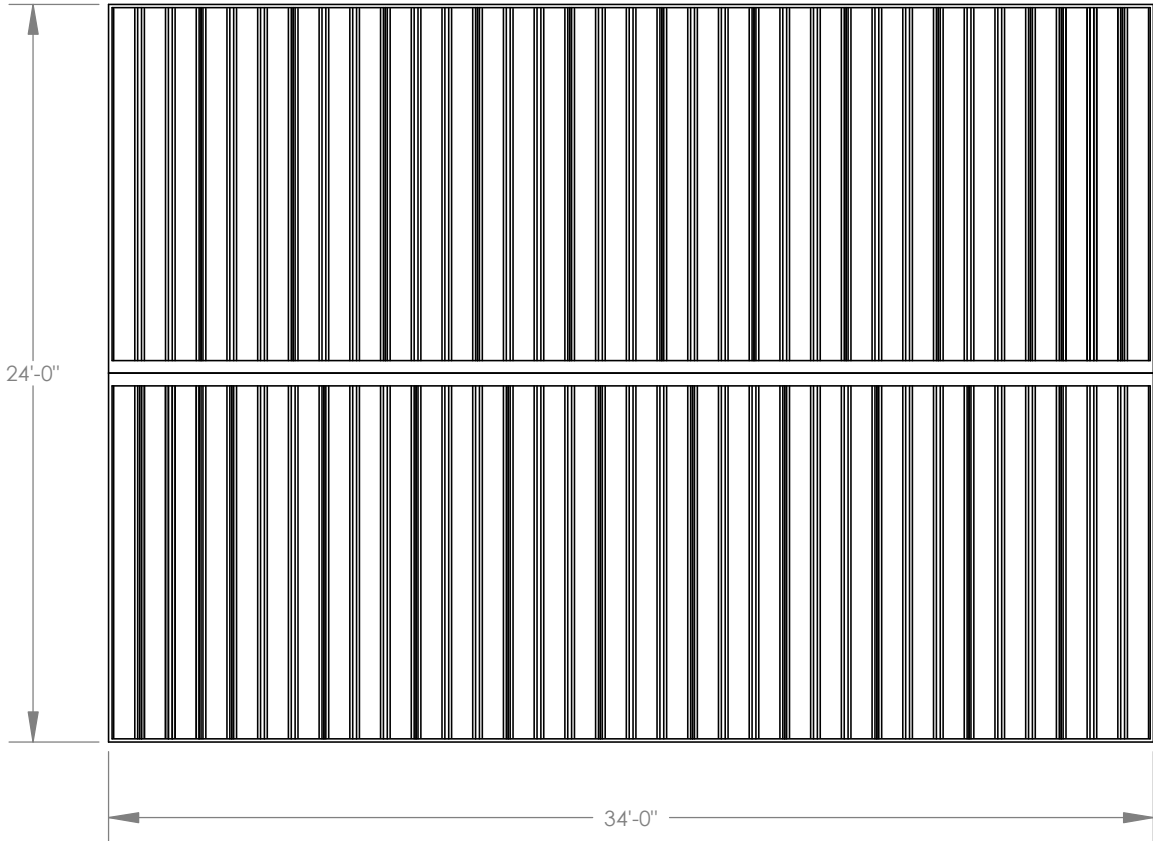
MAIN: (616) 888-3500

FIELD SUPPORT: (616) 888-3504

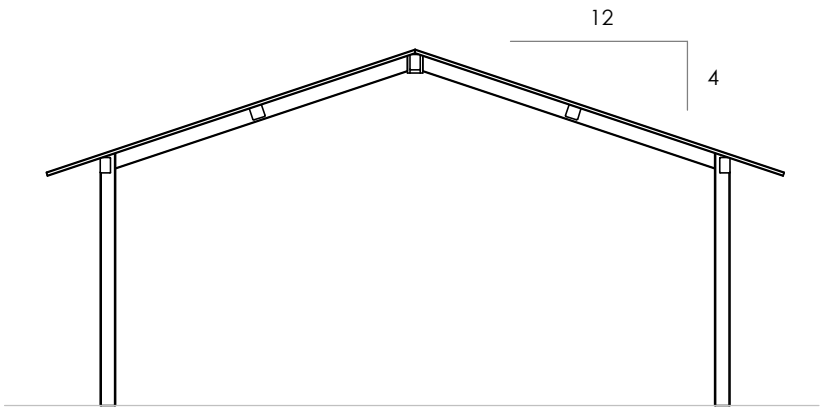
REV LEVEL:	A	DRAWN BY:	chris.lisac	PRINT DATE:	12/27/2023	PROJECT:	
SCALE:	1:64			JOB NO:		LOCATION:	
				CAD MODEL:	REK-24x34-E1W	DRAWING:	COVER SHEET
						SHEET	CS

GENERAL ROOF NOTES:

1. METAL ROOFING:
 - 24 GAUGE
 - GALVALUME COATED
 - KYNAR 500 PAINTED
2. TRIM COLOR MATCHES ROOF
3. SEE POLIGON.COM FOR COLOR OPTIONS



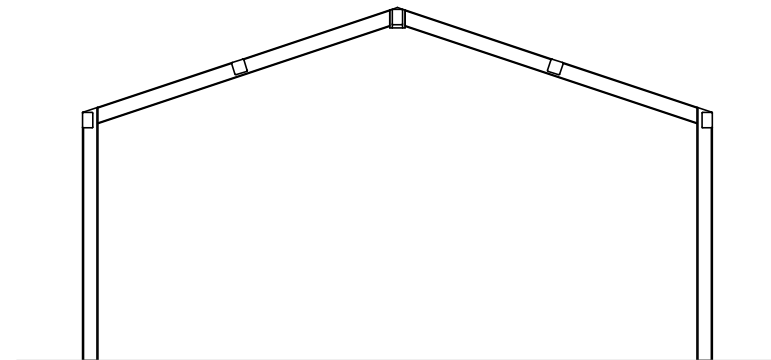
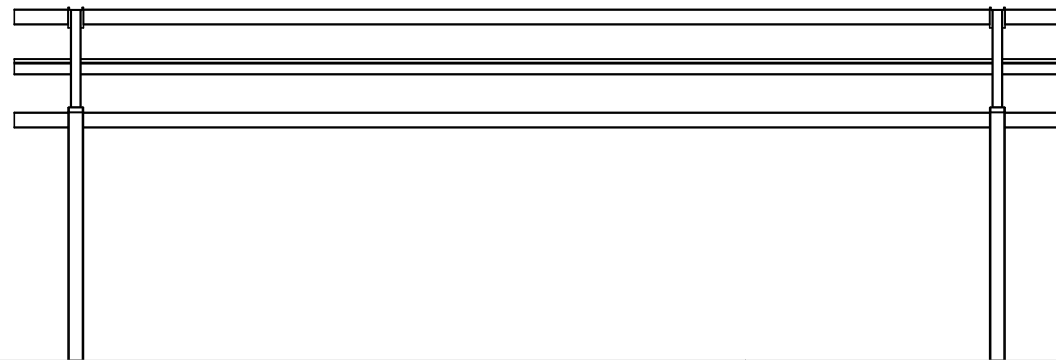
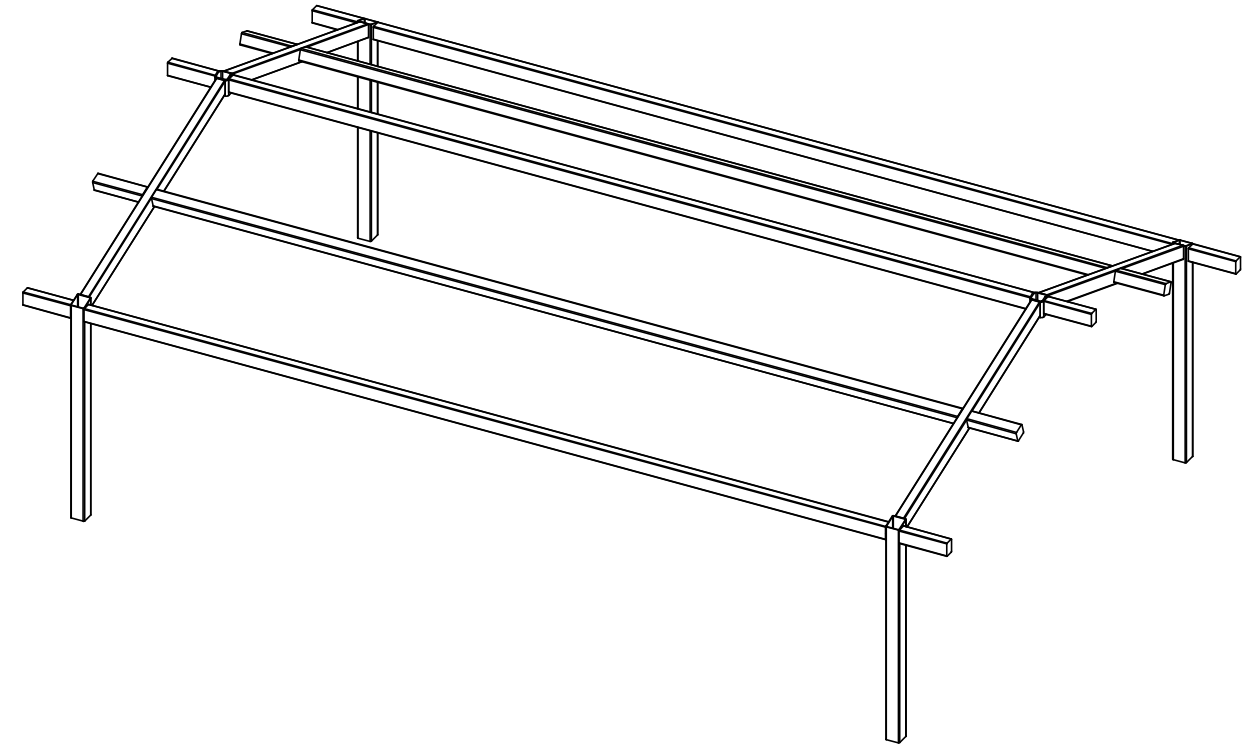
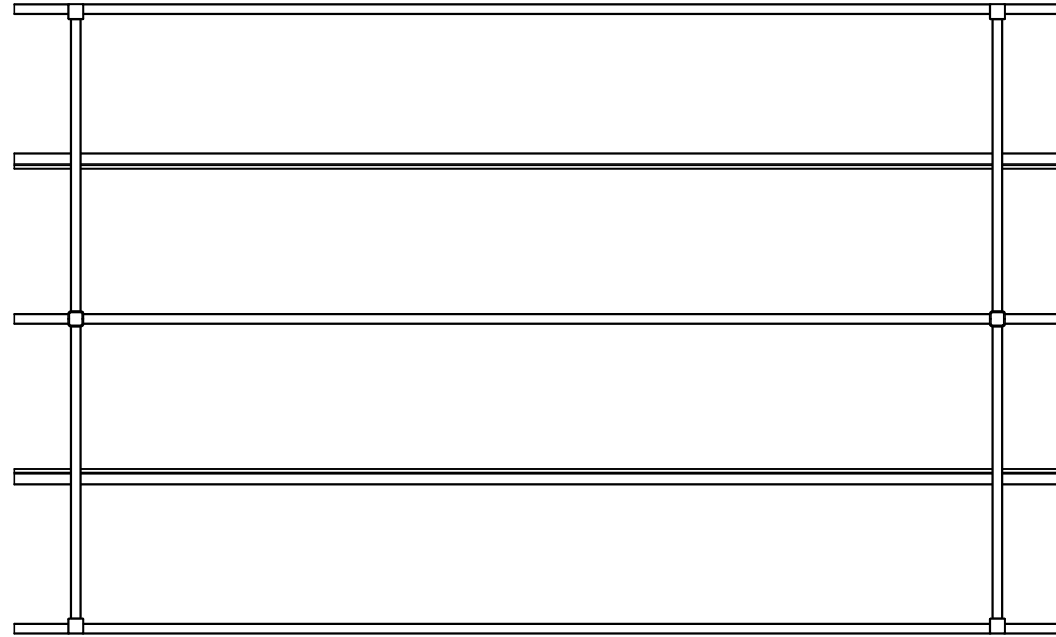
FINISH GRADE.
MOUNTING VARIES
BASED ON ENGINEERING
REQUIREMENTS.




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DRAWING: ARCHITECTURAL ELEVATIONS	
SCALE: 1:75	REV LEVEL: A
poligon ® COPYRIGHT 2016 PATENTED OR PATENTS PENDING PORTERCORP 4240 N. 136th AVE HOLLAND, MI 49424	
(616)399-1963 www.poligon.com by PORTERCORP	SHEET 1

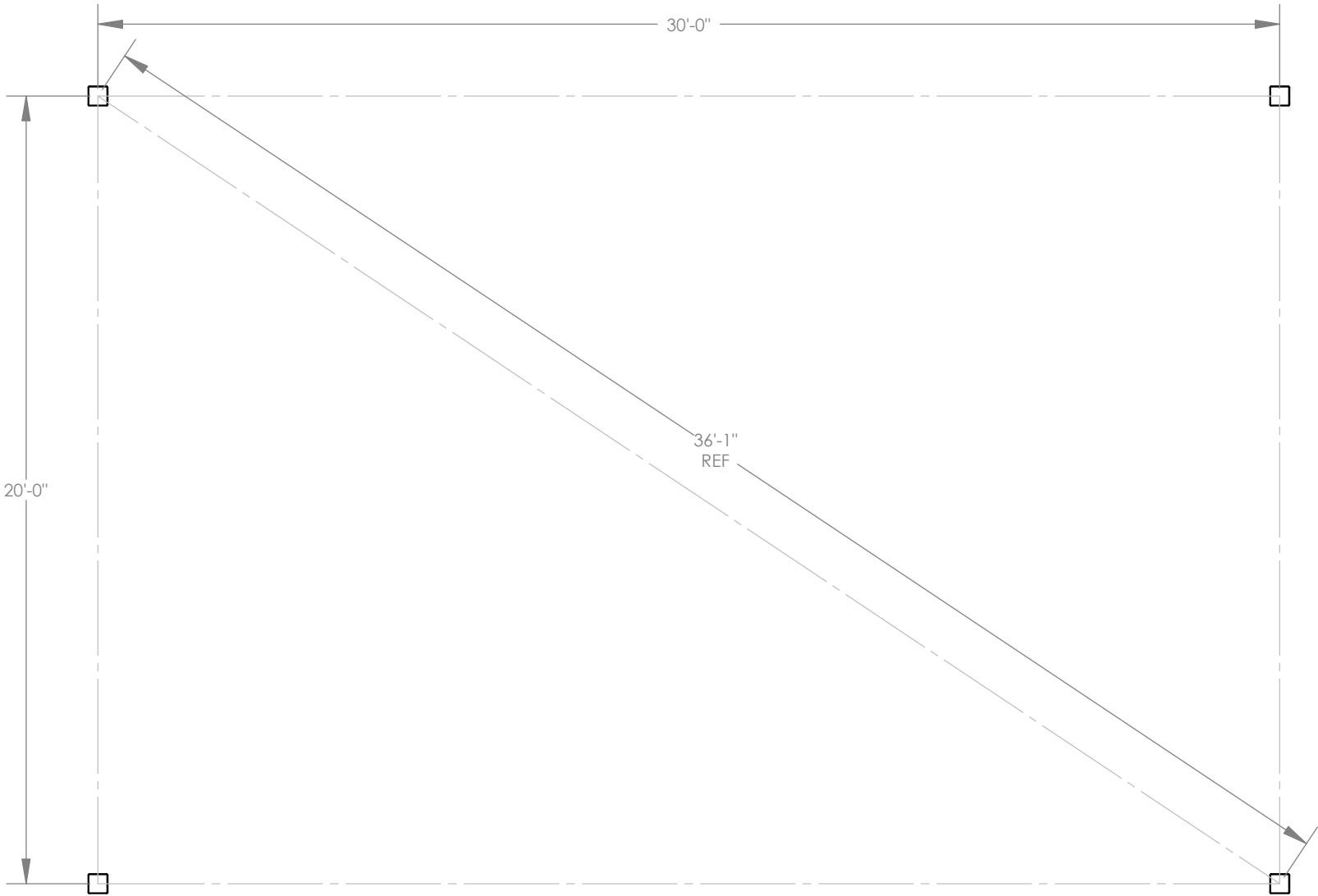



 FINISH GRADE.
 MOUNTING VARIES
 BASED ON ENGINEERING
 REQUIREMENTS.

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 ONLY

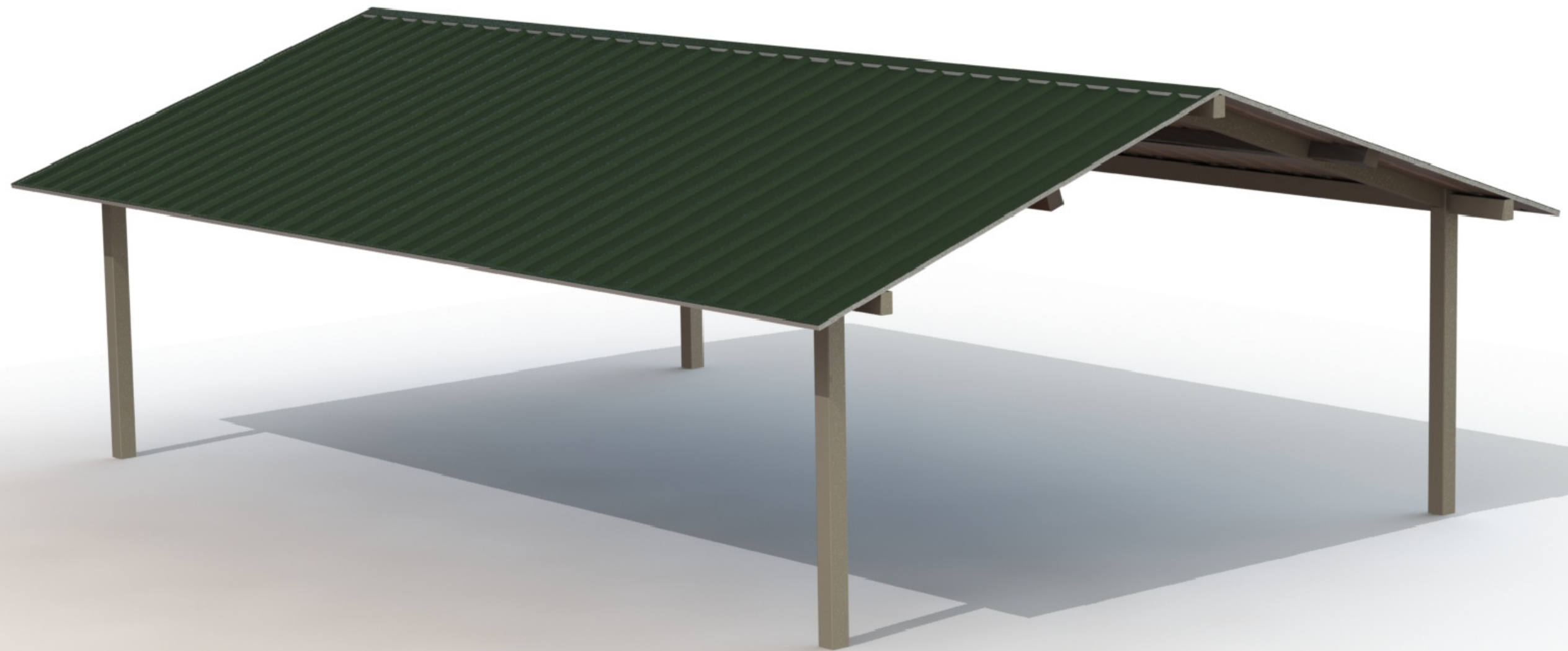
DRAWING: STRUCTURAL FRAMING PLAN		REV LEVEL: A
SCALE: 1:75	(616)399-1963 www.poligon.com	
 by PORTERCORP		SHEET 2
<small> COPYRIGHT 2016 PATENTED OR PATENTS PENDING PORTERCORP 4240 N. 136th AVE HOLLAND, MI 49424 </small>		

- BASEPLATE NOTES:**
- 1. POLIGON ENGINEERING WILL DETERMINE REQUIRED BASEPLATE DESIGN AFTER ENGINEERING PACKAGE IS ORDERED.
 - 2. CUSTOMER MAY SUGGEST PREFERRED BASEPLATE DESIGN.



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DRAWING: COLUMN LAYOUT		
SCALE: 1:48	REV LEVEL: A	
poligon [®] <small>COPYRIGHT 2016 PATENTED OR PATENTS PENDING PORTERCORP 4240 N. 136th AVE HOLLAND, MI 49424</small>		(616)399-1963 www.poligon.com by PORTERCORP
		SHEET 3



FRAME COLOR: SURREY BEIGE
ROOF COLOR: EVERGREEN

COLORS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. FOR OTHER
COLOR SELECTIONS, PLEASE SUBMIT AN E1 DRAWING REQUEST.

REK 24x34



QUOTATION

20197-R0

Customer

Paul Kangas
14165 James Rd - Suite 200A
Rogers, MN 55374
612-237-8355

Sales Representative

Sue Ayers
Northland Recreation LLC
10085 Bridgewater Bay
Woodbury, MN 55129
651.815.4097

Project Information

Project Name Dayton REK 24x34
Location Dayton, MN
Zip Code Site 55327
Zip Code Shipping 55327
Date Quoted 11/21/2024
Expiration 1/20/2025
Quantity 1

Design Criteria

Building Code 2020 MINNESOTA BC
Ground Snow 50
Wind Speed 110

REK-24x34STGSS - 4:12 - 7.5 ft.

Product Information	Product Description	Unit Price	Extended Price
---------------------	---------------------	------------	----------------

Base

Steel Frame	24x34 ft. Gable	\$45,098.55	\$45,098.55
Primary Roof	Stained Tongue & Groove	\$10,310.00	\$10,310.00
Secondary Roof	Standing Seam	\$9,985.00	\$9,985.00
		SubTotal	\$65,393.55

Options

Electrical Access	Electrical Access	\$350.00	\$350.00
Electrical Cutouts	4 Cutouts	\$50.00	\$200.00
Anchor Bolt Kit		\$530.00	\$530.00
		SubTotal	\$1,080.00

Misc

Engineering		\$500.00	\$500.00
Freight	468 miles Weight (lbs): 6200	\$3,260.00	\$3,260.00
		SubTotal	\$3,760.00



Notes

Summarized Price

Base	\$65,393.55
Options	\$1,080.00
Structure Subtotal	\$66,473.55
Building Price Each	\$66,323.55
Miscellaneous	\$3,760.00
TOTAL	\$70,233.55

Subject To Submittal Approval

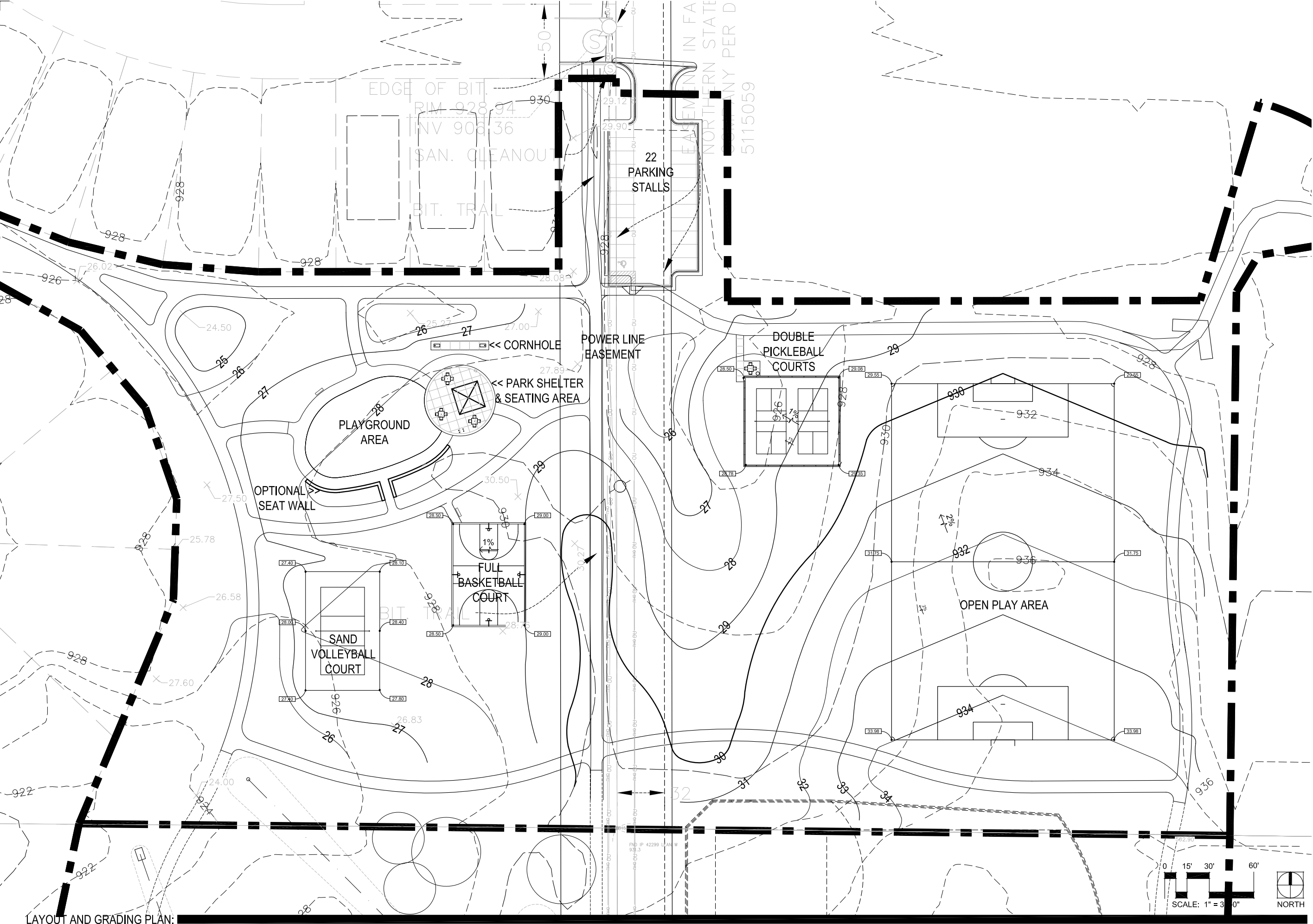
See following pages for Qualifications, Terms and Conditions, and Warranty Information

Design and Engineering

1. Pricing assumes Risk Category II for all structures with roof coverings and Risk Category I for all other structures (e.g. trellis, portal, etc.) as well as Wind Exposure C and clear wind flow as defined by ASCE 7, unless noted otherwise.
2. Pricing assumes a 20' separation between any adjacent structure with an eave height equal to or greater than the eave height of this structure if the ground snow load is greater than 0 PSF to account for drifted snow, unless noted otherwise.
3. Pricing assumes standard size electrical cutouts, unless noted otherwise: 2-3/8" wide x 4" tall single gang cutouts in columns at 18" or 48" above finish grade or 3/4" diameter cutouts in roof framing members.
4. Quotation is based on Poligon's interpretation of any drawings or documentation provided at time of quote request.
5. Deviation of design from the supplied quote and preliminary drawing may result in price changes. All design changes should be submitted to Poligon for re-quoting purposes.
6. Poligon provides pricing and engineering for the most cost effective and efficient frame, meeting Poligon's design philosophy of hidden bolted connections (no field welding required).
7. If this quotation does not reference specific design elements that must be incorporated, please work with Poligon to update the quotation as required (e.g. column sizes, column locations, roof pitch, snow guards, etc.). Snow guards are required for structures with a pitch of 4:12 or greater per the Kentucky Building Code.
8. All member sizes are preliminary until the engineering package has been completed. Preliminary reaction forces and foundation sizing may be provided upon request and should be used for budget purposes only.
9. Due to the varying tax requirements nationwide, if applicable, all required taxes should be applied to this quotation and included on the customer purchase order and/or contract for ordering purposes. All applicable taxes will be applied to the invoice if a tax exemption certificate is not provided.
10. Porter Corp is responsible only for the structural design of the Steel Structure (and foundation design if applicable) it sells to the Builder. Porter Corp or their engineer is not the Design Professional or Engineer of Record for the Construction Project. Porter Corp is not responsible for the design of any components or materials not sold by it or their interface and connection with the Steel Structure.

Fabrication and Shipping

1. Upon order entry, Poligon will provide an order acknowledgement that will contain an expected ship date range. As the manufacturing process moves closer to these dates, a definitive ship date will be confirmed.
2. Poligon will not accept orders with restricted ship dates subject to liquidated damage clauses.
3. Upon manufacturing completion, the day prior to shipment, the Poligon Shipping Department will call the specified contact for shipment confirmation. Once the structure is loaded, the truck driver will call the specified contact to confirm the exact time of delivery to the job site or other location.



Project #:	
Date:	11-27-2024
Revision:	
Drawn By:	PK
Checked By:	PK



MWP Recreation
5101 Highway 55, Suite 6000 Golden Valley, Minnesota 55422
Ph. 800-622-5425 | 763-546-7787 Fax 763-546-5050 | dan@mnwplay.com

03/29/2024
Quote #
104831-01-03

CONSULTANT: DAN LANES

D12175L - Neighborhood Park - Dayton, MN - I

City of Dayton
Attn: Martin Farrell
12260 S Diamond Lake Rd
Dayton, MN 55327
Phone: 763-427-3224
mfarrell@cityofdaytonmn.com

Ship to Zip 55327

Quantity	Part #	Description	Unit Price	Amount
1	INSTALL	Install - Installation of Equipment - Includes installation of play equipment Includes installation of Safety surfacing and geo textile fabric includes disposal packing material	\$18,588.83	\$18,588.83
			Sub Total	\$18,588.83
			Total	\$18,588.83

Comments

Owner is responsible for providing a flat and level area with less than 1% grade change
Owner is responsible adequate border to contain safety surface
Owner is responsible for adequate safety surfacing of play are

This quotation is subject to current MWP Recreation (MWP) policies as well as the following terms and conditions. Our quotation is based on shipment of all items at one time to a single destination, unless noted, and changes are subject to price adjustment. Purchases in excess of \$1,000.00 to be supported by your written purchase order made out to MWP Recreation.

Each quote is handled on a per order/project basis. Unless a long-term agreement is in place between purchaser and MWP, terms and conditions of this quotation shall be as outlined herein with no other requirements applicable.

Any changes made to product and/or services after initial order(s) has/have been received by MWP will result in production and/or schedule time frame modifications. Please contact your regional representative to receive a revised schedule for your order/project.

Indemnification; Owner/Owner's Representative will indemnify and hold Minnesota Playground, Inc., dba, MWP Recreation (MWP), harmless for all claims, damages and related costs, including reasonable legal fees and costs, arising out of Owner/Owner's Representative's negligence or noncompliance with any of its commitments under this document. MWP will indemnify and hold Owner/Owner's Representative harmless for all claims, damages and related costs, including reasonable legal fees and costs, arising out of MWP's negligence or noncompliance with any of its commitments under this document.

Excusable Delays/Additional Costs: MWP, and/or its affiliates, shall be liable for default unless delay of performance, whether supplying materials only or including installation in accordance with our project scope, is caused by an occurrence beyond reasonable control of MWP, and/or its affiliates, such as, but not limited to, acts of Superior Force or the public enemy, acts of Government in either its sovereign or contractual capacity, fire, floods, epidemics, quarantine restrictions, strikes, unusually severe weather, delays of common carriers (for transportation of goods whether raw materials or finished product) and attainability of raw materials. Such events resulting in additional costs are not included in quoted amounts and shall be the responsibility of the Owner/Owner's Representative. Any additional costs shall be provided in writing for purchaser's records and shall be due upon payment of invoice.





MWP Recreation
5101 Highway 55, Suite 6000 Golden Valley, Minnesota 55422
Ph. 800-622-5425 | 763-546-7787 Fax 763-546-5050 | dan@mnwplay.com

03/29/2024
Quote #
104831-01-03

CONSULTANT: DAN LANES

D12175L - Neighborhood Park - Dayton, MN - I

This quotation is subject to policies in the current GameTime Park and Playground catalog and the following terms and conditions. Our quotation is based on shipment of all items at one time to a single destination, unless noted, and changes are subject to price adjustment. Purchases in excess of \$1,000.00 to be supported by your written purchase order made out to GameTime, c/o MWP Recreation.

Each quote is handled on a per order/project basis. Unless a long-term agreement is in place between purchaser and GameTime, terms and conditions of this quotation shall be as outlined herein with no other requirements applicable.

Any changes made to product and/or services after initial order(s) has/have been received by GameTime will result in production and/or schedule time frame modifications. Please contact your regional representative to receive a revised schedule for your order/project.

Payment terms: net 30 days for tax supported governmental agencies. Should this quotation be forwarded to an agency not listed on this quote, credit terms, as well as other terms and conditions herein, may be need to be altered. For instance, non-tax supported organization purchasing any or all products and/or services quoted herein may require full payment for that amount due at time of order entry. Remaining balance owed by tax supported agency, if any, shall still be net 30 days. A 1.5% per month finance charge will be imposed on all past due accounts. Equipment shall be invoiced separately from other services and shall be payable in advance of those services and project completion. Retainage not accepted.

Unless already on file, please include a tax exempt certificate upon order entry whether a tax supported government agency or other.

Freight charges: Prepaid & added

Installation: shall be by a Certified GameTime Installer. Customer shall be responsible for scheduling coordination and site preparation. Site should be level and permit installation equipment access. Purchaser shall be responsible for unknown conditions such as buried utilities, tree stumps, bedrock or any concealed materials or conditions that may result in additional labor or material costs.





CONSULTANT: DAN LANES

D12175L - Neighborhood Park - Dayton, MN - I

Project Scope:

Please note, installation is based on site being ready prior to our arrival to install play equipment as well as site conditions that have been conveyed to our organization by the owner/owner's representative and/or ideal conditions existing for a timely completion of your project as quoted. Unless addressed prior to the installation quote being issued or specifically mentioned herein, any issues that arise that impede the progress/completion of your project as quoted will result in additional charges.

Weather can change project scheduling in many ways. Take rain for an example. Day, or days, before rain... If weather forecasts show a high percentage chance for rain that will effect the site conditions, a postponement may be in order. Digging holes, laying certain surfacing materials, etc., are greatly affected by weather conditions and work may not begin/continue due to weather forecasts. There's the rain days themselves, which if heavy enough rainfall occurs, makes a site unworkable. Day, or days, after rain... Drying time will be needed after rain and the number of days needed will vary depending on amount of moisture received. One actual rain day may equal multiple delay days depending on work scheduled to be done.

+ INCLUSIONS +

- + One mobilization
- + Public utility locates only
- + Installation of equipment as outlined on quote #104831-01-02
- + Marking and digging of footings holes to accept direct embedment supports as needed
- + Unpacking of play equipment
- + Assembly of play equipment
- + Concrete for footings as needed
- + Pouring of concrete for footings
- + Engineered wood fiber (EWF) surfacing
- + Geo textile Fabric
- + Spreading of EWF
- + Construction tape/temporary bracing (as needed)
- + Standard insurance offerings
- + Standard warranty offerings
- + Standard industry accepted labor wages
- + Disposal of packing material

- EXCLUSIONS -

- Clear access path up to and into play area for installation equipment (minimum of 8-foot wide, includes but not limited to gates, walkways, driveways, etc.)
- Staging area for materials and installation equipment, trailers, etc.
- Unobstructed space for maneuvering installation equipment as well as performing work
- Security fencing of any type
- On site security personnel
- If fencing is in place (by others), ability to unlock fencing is to be provided to our office a minimum of one week prior to our start
- Private utility locates such as, but not limited to, irrigation, fiber optics, private lighting, etc.
- Accepting, unloading and storage of order(s)/shipment(s) prior to installation. Please note, orders can be packaged/shipped in large crates, pallets, etc., requiring heavy-duty equipment to unload.
- Sitework of any kind such as, but not limited to, grading (play area to have max slope of 1%), site restoration, drainage, etc.
- Removal of existing play equipment, border, safety surfacing, etc.
- Backfill and compaction of backfill after removal of existing items (for footing holes as an example) that leave voids in area (marking and digging of new footing holes based on workable site)
- Digging in compacted sub-surfaces, rock, hard pan, tree roots, unstable soil conditions, etc.
- Restoration of compacted sub-surfaces for playground surfacings such as, but not limited to, poured-in-place rubber, rubber tiles, artificial turf, etc.
- Digging/maneuvering in sand, pea gravel, mud, etc.
- Offsite removal of spoils from footing holes (can be stockpiled near play area for owner/owner's representative removal or spread within play area)
- Playground safety surfacing
- Border to help contain playground safety surfacing





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D12175L - Neighborhood Park - Dayton, MN - I

- Removal of temporary braces, caution/construction tape, etc. (Can be removed and disposed of after concrete has cured.)
- Bonding of any type
- Permits of any kind
- Prevailing, Davis Bacon, Union, or similar, wages
- Restroom facilities. Please provide access to restrooms whether within a building or portable style. Should use of site facilities not be available, additional charges will be required to bring on site temporary/portable restrooms. These temporary facilities will be removed once your project has been completed.
- Short term maintenance, check manufacturer's owner's manual recommendations for maintenance and always follow these written instructions. To help set up short (and ongoing) term maintenance, use the first twelve months to regularly check equipment (such as, but not limited to, tightening hardware, checking moving features, etc.). Twelve months allows use in all seasons and will provide a better understanding of what will be necessary for your ongoing maintenance. This short term schedule will be based on the amount of use the play equipment is getting as well as the type of play event that is being played on. Activities with movement have a more dynamic play which can lead to more maintenance due to the nature of the motion but also because these types of play events tend to be more popular. Static features may require less attention during the short term and ongoing maintenance as inspections will determine frequency of maintenance needed for these events. There may be a need for scheduled lower and higher frequency inspections.
- Ongoing maintenance, check manufacturer's owner's manual recommendations for maintenance and always follow these written instructions. After short term maintenance period is done and data is collected for that time period, an ongoing schedule should be implemented. The ongoing maintenance can change with age and greater use. There may be a need for scheduled lower and higher frequency inspections.

Should weekend work be necessary or non-standard hours be worked, please provide a site contact and the best telephone number to reach this person in case an urgent matter arises requiring immediate attention.

(Name) _____

(Cell) _____

(Other Telephone Number) _____

Wet Site Conditions: installation areas located near wetlands, where a high water table exists or in any environment that produces excessive moisture will require additional planning prior to installation of your project. Unless excessively wet conditions have been conveyed prior to installation quote and accounted for in some manner, your installation will not proceed. Ideal dry conditions need to be present to begin, and complete, your project as quoted.

Exclusions: unless specifically included, this quotation excludes all site work and landscaping; removal of existing equipment; acceptance of equipment and off-loading; storage of goods prior to installation; equipment assembly and installation; safety surfacing; borders and drainage provisions.

Order Information:

Bill To: _____ Ship To: _____

Company: _____ Project Name: _____

Attn: _____ Attn: _____

Address: _____ Address: _____

City, State, Zip: _____ City, State, Zip: _____

Contact: _____ Contact: _____

Tel: _____ Tel: _____

Fax: _____ Fax: _____





MWP Recreation
5101 Highway 55, Suite 6000 Golden Valley, Minnesota 55422
Ph. 800-622-5425 | 763-546-7787 Fax 763-546-5050 | dan@mnwisplay.com

03/29/2024
Quote #
104831-01-03

CONSULTANT: DAN LANES

D12175L - Neighborhood Park - Dayton, MN - I

Acceptance of quotation:

Accepted By (printed): _____ P.O. No: _____

Signature: _____ Date: _____

Title: _____ Phone: _____

Facsimile: _____ Purchase Amount: **\$18,588.83**





MWP Recreation
5101 Highway 55, Suite 6000 Golden Valley, Minnesota 55422
Ph. 800-622-5425 | 763-546-7787 Fax 763-546-5050 | dan@mnwplay.com

03/29/2024
Quote #
104831-01-02

CONSULTANT: DAN LANES

D12175L - Neighborhood Park - Dayton, MN - M

City of Dayton
Attn: Martin Farrell
12260 S Diamond Lake Rd
Dayton, MN 55327
Phone: 763-427-3224
mfarrell@cityofdaytonmn.com

Ship to Zip 55327

Quantity	Part #	Description	Unit Price	Amount
1	RDU	GameTime - Powerscape Play Unit	\$64,174.40	\$64,174.40
		(1) 178749 -- Owner's Kit		
		(1) 80000 -- 49" Sq Punched Steel Deck		
		(1) 81483 -- 90 Deg Loop Ladder Link		
		(1) 81664 -- Single Thunderring		
		(1) 81670 -- Crunch Bar		
		(1) 81699 -- Bongos		
		(1) 90193 -- 2-6"/3' Single Curved Zip Slide		
		(1) 90207 -- Overhead Ladder Access Package		
		(2) 90266 -- 8' Upright, Alum		
		(2) 90267 -- 9' Upright, Alum		
		(4) 90269 -- 11' Upright, Alum		
		(1) 91139 -- Entryway - Barrier		
		(2) 91140 -- High Point Entryway - Barrier		
		(1) 91581 -- Space Race Panel		
		(1) 91618 -- Hi-Line Climbing Link 1' Rise (1 dk)		
		(1) 91679 -- Wiggle Wobble Attach. 4'-0"		
		(1) 91712 -- Modern Transfer w/Guardrail 2' Rise		
		(1) 91766 -- Altus X Tower Spiral Slide		
		(1) 91807 -- Altus Spire 10' - Slide Left		
		(4) G90271 -- 13' Upright, Galv		
1	6310	GameTime - G6	\$3,039.00	\$3,039.00
1	RDU	GameTime - Swing Set	\$5,704.00	\$5,704.00
		(1) 5128 -- Expression Swing 3 1/2" X 8'		
		(1) 5152 -- Pt Solo Add-A-Bay 3 1/2" X 8'		
		(2) 8910 -- Belt Seat 3 1/2"Od(8910)		
		(1) 12583 -- Ada Primetime Swing Frame, 3 1/2" Od		
1	91782	GameTime - SkyRun Zip Track 50 - Zip Seat	\$20,999.00	\$20,999.00
1	EWFLGE	EWFLGE - Engineered Wood Fiber - 219 CY 12" depth	\$5,278.00	\$5,278.00





CONSULTANT: DAN LANES

D12175L - Neighborhood Park - Dayton, MN - M

Quantity	Part #	Description	Unit Price	Amount
			Sub Total	\$99,194.40
			Freight	\$7,216.77
			Total	\$106,411.17

Comments

Owner is responsible for providing a flat and level area with less than 1% grade change
Owner is responsible for adequate safety surfacing of play are

This quotation is subject to current MWP Recreation (MWP) policies as well as the following terms and conditions. Our quotation is based on shipment of all items at one time to a single destination, unless noted, and changes are subject to price adjustment. Purchases in excess of \$1,000.00 to be supported by your written purchase order made out to MWP Recreation.

Each quote is handled on a per order/project basis. Unless a long-term agreement is in place between purchaser and MWP, terms and conditions of this quotation shall be as outlined herein with no other requirements applicable.

Any changes made to product and/or services after initial order(s) has/have been received by MWP will result in production and/or schedule time frame modifications. Please contact your regional representative to receive a revised schedule for your order/project.

Indemnification; Owner/Owner's Representative will indemnify and hold Minnesota Playground, Inc., dba, MWP Recreation (MWP), harmless for all claims, damages and related costs, including reasonable legal fees and costs, arising out of Owner/Owner's Representative's negligence or noncompliance with any of its commitments under this document. MWP will indemnify and hold Owner/Owner's Representative harmless for all claims, damages and related costs, including reasonable legal fees and costs, arising out of MWP's negligence or noncompliance with any of its commitments under this document.

Excusable Delays/Additional Costs: MWP, and/or its affiliates, shall be liable for default unless delay of performance, whether supplying materials only or including installation in accordance with our project scope, is caused by an occurrence beyond reasonable control of MWP, and/or its affiliates, such as, but not limited to, acts of Superior Force or the public enemy, acts of Government in either its sovereign or contractual capacity, fire, floods, epidemics, quarantine restrictions, strikes, unusually severe weather, delays of common carriers (for transportation of goods whether raw materials or finished product) and attainability of raw materials. Such events resulting in additional costs are not included in quoted amounts and shall be the responsibility of the Owner/Owner's Representative. Any additional costs shall be provided in writing for purchaser's records and shall be due upon payment of invoice.

This quotation is subject to polices in the current GameTime Park and Playground catalog and the following terms and conditions. Our quotation is based on shipment of all items at one time to a single destination, unless noted, and changes are subject to price adjustment. Purchases in excess of \$1,000.00 to be supported by your written purchase order made out to GameTime, c/o MWP Recreation.

Each quote is handled on a per order/project basis. Unless a long-term agreement is in place between purchaser and GameTime, terms and conditions of this quotation shall be as outlined herein with no other requirements applicable.

Any changes made to product and/or services after initial order(s) has/have been received by GameTime will result in production and/or schedule time frame modifications. Please contact your regional representative to receive a revised schedule for your order/project.

Payment terms: net 30 days for tax supported governmental agencies. Should this quotation be forwarded to an agency not listed on this quote, credit terms, as well as other terms and conditions herein, may be need to be altered. For instance, non-tax supported organization purchasing any or all products and/or services quoted herein may require full payment for that amount due at time of order entry. Remaining balance owed by tax supported agency, if any, shall still be net 30 days. A 1.5% per month finance charge will be imposed on all past due accounts. Equipment shall be invoiced separately from other services and shall be payable in advance of those services and project completion. Retainage not accepted.

Unless already on file, please include a tax exempt certificate upon order entry whether a tax supported government agency or other.

Freight charges: Prepaid & added





MWP Recreation
5101 Highway 55, Suite 6000 Golden Valley, Minnesota 55422
Ph. 800-622-5425 | 763-546-7787 Fax 763-546-5050 | dan@mnwisplay.com

03/29/2024
Quote #
104831-01-02

CONSULTANT: DAN LANES

D12175L - Neighborhood Park - Dayton, MN - M

Exclusions: unless specifically included, this quotation excludes all site work and landscaping; removal of existing equipment; acceptance of equipment and off-loading; storage of goods prior to installation; equipment assembly and installation; safety surfacing; borders and drainage provisions.

Order Information:

Bill To: _____ Ship To: _____

Company: _____ Project Name: _____

Attn: _____ Attn: _____

Address: _____ Address: _____

City, State, Zip: _____ City, State, Zip: _____

Contact: _____ Contact: _____

Tel: _____ Tel: _____

Fax: _____ Fax: _____

Acceptance of quotation:

Accepted By (printed): _____ P.O. No: _____

Signature: _____ Date: _____

Title: _____ Phone: _____

Facsimile: _____ Purchase Amount: **\$106,411.17**





an AECOM Company

Color Palette: Jurassic

Uprights: Sage

Accent: Butterscotch

HDPE: Dolphin Gray

Tube: Champagne

Roto Plastic: Green

Decks: Brown

NEIGHBORHOOD PARK

Dayton, MN D12175L



Images are a representation only.
Actual product may vary.



NEIGHBORHOOD PARK

Dayton, MN D12175L





A PLAYCORE Company



NEIGHBORHOOD PARK

Dayton, MN D12175L



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Dayton, MN D12175L



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Actual product may vary.

- ACCESSIBILITY KEY
- ① TRANSFER ACCESSIBLE = BLUE
 - ② GROUND ACCESSIBLE = BROWN
 - ③ ELEVATED NOT ACCESSIBLE = MAGENTA
 - ④ NON PARTICIPATING = BLACK
 - ⑤ RAMP ACCESSIBLE = RED
 - ⑥ ACCESS ROUTE = GREEN

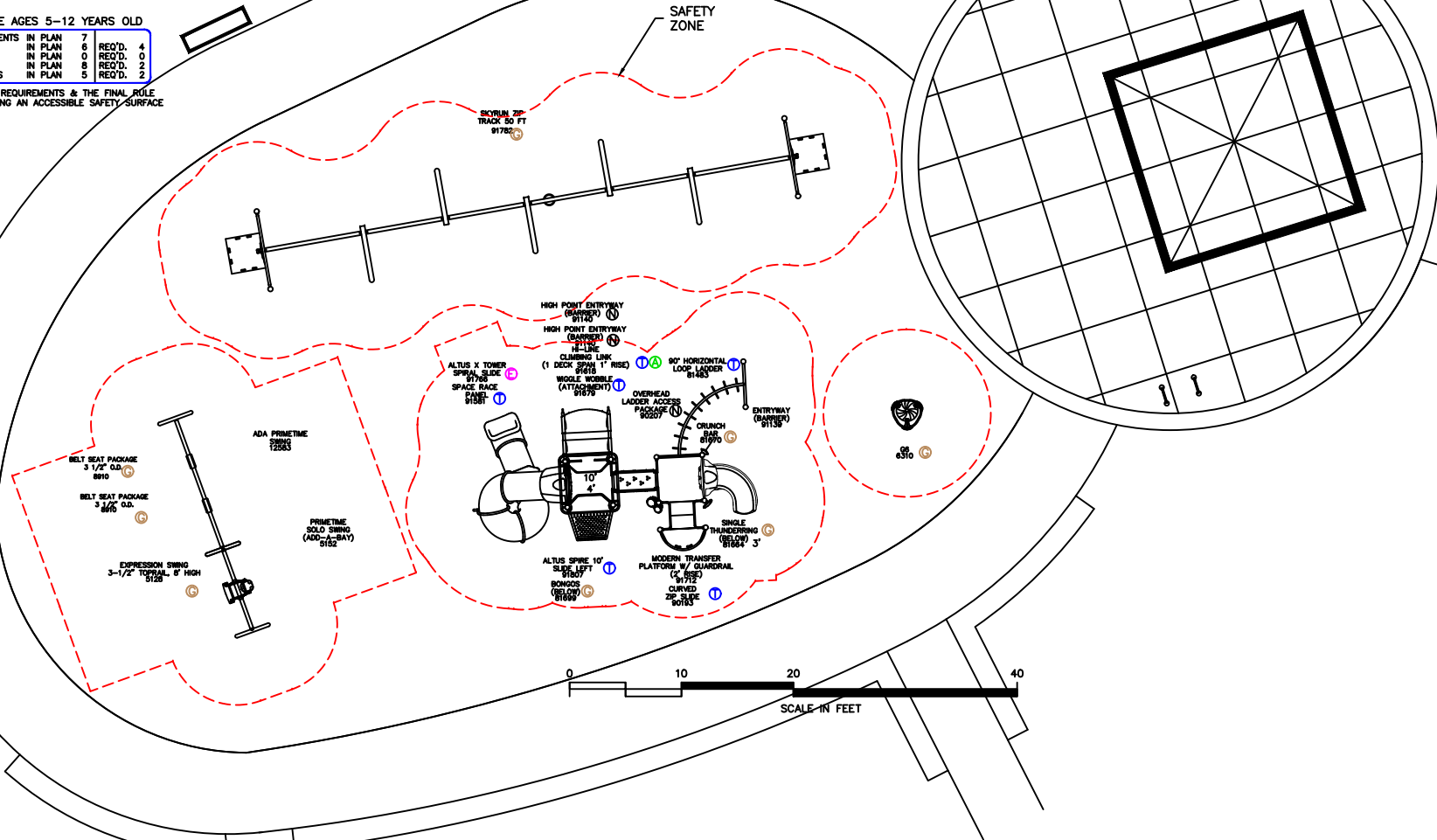
ADA REQUIREMENTS FOR STRUCTURE AGES 5-12 YEARS OLD			
TOTAL NUMBER OF ELEVATED PLAY COMPONENTS	IN PLAN	7	REQ'D. 4
TOTAL EVENTS ACCESSIBLE VIA TRANSFER	IN PLAN	8	REQ'D. 4
TOTAL ACCESSIBLE EVENTS VIA RAMP	IN PLAN	0	REQ'D. 0
TOTAL ACCESSIBLE GROUND LEVEL EVENTS	IN PLAN	8	REQ'D. 2
DIFFERENT TYPES OF GROUND LEVEL EVENTS	IN PLAN	5	REQ'D. 2

THIS PLAYGROUND MEETS ALL CURRENT ADA REQUIREMENTS & THE FINAL ROLE ABOVE CHART/INFO IS APPLICABLE WHEN USING AN ACCESSIBLE SAFETY SURFACE

While it is our intention to install your playground in a safe and timely manner, our success relies on your preparedness. Site preparation and grading to be performed by others and prior to installation. Slope within the play area(s) shall not exceed 1% to ensure a successful installation and a compliant playground. Drain tile systems other than within 4' of the perimeter along drain aggregate base material may require installing after the installation of the play equipment and must be coordinated with installation of safety surface materials. Failure to prepare site(s) to these expectations may result in additional charges if installer is required to re-mobilize. Please contact MN WI Playground if you have any questions.

Maximum depth of safety surface and drain aggregate base should not exceed an 18" depth and shall not be installed until play equipment has been installed.

Please Initial & Sign the Final Top View:



SCALE: 1" = 15'-0"

THIS PRINT IS THE PROPERTY OF MINNESOTA WISCONSIN PLAYGROUND INC. AND IS NOT TO BE USED, COPIED OR REPRODUCED WITHOUT THEIR EXPRESSED WRITTEN PERMISSION.

Mfg. By:



Sold & Distributed By:



P.O. Box 27328, Golden Valley, MN 55427
763-546-7787 1-800-622-5425
Fax 763-546-5050
E-Mail info@mwprecreation.com

THIS PLAN REQUIRES A FINISHED GRADE RESOLUTION

Neighborhood Park Dayton PSA

City, State

3-13-24

DWG. D12100L