

PLANNING COMMISSION AGENDA

Thursday, May 2, 2024

CITY OF DAYTON, MINNESOTA

12260 So. Diamond Lake Road, Dayton, MN 55327

CITY COUNCIL / PLANNING COMMISSION WORKSHOP – 5:00 P.M.

REGULAR MEETING OF THE PLANNING COMMISSION - 6:30 P.M.

To Participate in the Meeting, please see cityofdaytonmn.com Calendar for Zoom Invitation.

6:30 **1. CALL TO ORDER**

6:30 **2. PLEDGE OF ALLEGIANCE**

(Roll Call)

6:30 **3. ROLE OF THE PLANNING COMMISSION**

The Planning Commission consists of five residents appointed by the City Council. The Commission administers the Comprehensive Plan, Zoning and Subdivision regulations. The Commission conducts Public Hearings and provides recommendations to the City Council. It is the City Council who may approve or deny land use applications.

6:35 **4. APPROVAL OF AGENDA**

6:35 **5. CONSENT AGENDA**

These routine or previously discussed items are enacted with one motion. Note: Commissioners absent from previous meetings may still vote to approve minutes.

A. Planning Commission Minutes, April 4, 2024

6:35 **6. OPEN FORUM**

Public comments are limited to 3 minutes for non-agenda items; state your name and address; No Commission action will be taken, and items will be referred to staff. Group commenters are asked to have one main speaker.

6:40 **7. COUNCIL UPDATE**

A. April 9, 2024

B. April 24, 2024

6:45 **8. PUBLIC HEARINGS**

6:45 A. (none)

6:45 **9. NEW BUSINESS**

6:45 A. Kwik Trip 1187

7:15 **10. NOTICES AND ANNOUNCEMENTS**

The City of Dayton's mission is to promote a thriving community and to provide residents with a safe and pleasant place to live while preserving our rural character, creating connections to our natural resources, and providing customer service that is efficient, fiscally responsible, and responsive.

- A. The next Regular Planning Commission Meeting is tentatively scheduled for June 6, 2024 at 6:30pm.

7:20 **11. ADJOURNMENT** (Motion to Adjourn)

I. CALL TO ORDER

DeMuth called the April 4, 2024, Planning Commission Meeting to order at 6:30 p.m.

Present: DeMuth, Crosland, Preisler, and Van Asten

Absent: Browen,

Also in Attendance: Mayor, Dennis Fisher; Jon Sevald, Community Development Director;

II. PLEDGE OF ALLEGIANCE

III. APPROVAL OF AGENDA

MOTION by Preisler, second by Van Asten, to approve the agenda as presented. The motion carried unanimously.

IV. CONSENT AGENDA

A. Planning Commission Minutes for March 7, 2024

MOTION by Preisler, second by Van Asten, to approve the consent agenda as presented. The motion carried unanimously.

V. OPEN FORUM

No one present for open forum.

VI. COUNCIL UPDATE

A. March 12, 2024, City Council Meeting

Fisher updated the Commission on Council actions. Ken Adams, a Hennepin County Commissioner, gave a presentation to City Council. The Fire Training Facility and future park dollars were discussed. A technical review was added to the Wellhead Treatment Plant as an overview to make sure that something was not missed.

B. March 26, 2024, City Council Meeting

Fisher updated the Commission on Council actions. The development on Levee Street was discussed and approved as the Planning Commission had recommended. The Ziegler Development Conditional Use Permit and Driven Auto Sales were approved. The consensus amongst City Council was that there was no downside to approving it. The Kwik Trip Concept

Review went through and there was a long discussion on park improvements.

VII. PUBLIC HEARINGS

There are no public hearings this evening. Sevald stated that he missed the publication date, so the public hearings will be held at the City Council Meeting on April 23, 2024.

Additional discussion ensued.

VIII. NEW BUSINESS

A. Interim Use Permit for an Extended Home Business, Lawn Smart, 17480 117th Avenue North

Sevald came forward and stated that the applicant's name is Michael Groves. An extended home business is basically larger than most home businesses. The property is approximately 4.6 acres. Lawn Smart employs four full-time employees and up to 12 seasonal employees. In addition to a lawncare service, the company provides outdoor storage.

DeMuth stated that he wants to go on record as potentially having a perceived conflict of interest in this particular matter. From May of 2021 through May of 2023, DeMuth used this property for storage of his boat. Currently, DeMuth's boat is not stored there.

Michael Groves of 17480 117th Avenue North came forward to answer any questions that the Commissioners may have. He stated they do lawncare, landscaping, storage, and snow removal. Typically, during the summer months there are 12 employees who come to the property, pick up their equipment, leave, and return in the evening. Usually, they work Monday through Thursday for ten hours each day.

Van Asten asked how early the employees report to work. The answer is 7 a.m., and they are typically done by 5 p.m.

Crosland asked about Mr. Groves' relationship with his neighbors. The only complaint Groves has received are from a neighbor to the east because of some damage to the fence. Groves went on to say that both of his neighbors are in their seventies, so he plows their driveways free of charge.

DeMuth stated that while he was using this property for boat storage, he may have seen one or two people on the property.

Groves' property is guided medium-density residential in the future and to the south it is guided industrial.

Van Asten inquired about the environmental precautions that Groves is taken. The answer is none at this time.

Crosland stated this body is generally against outdoor storage, but the screening is so thick that it shouldn't be a problem. Crosland also sees that being supportive and is also supporting a small business.

Preisler expressed some concern that the east side screening is all on the adjacent property.

Van Asten expressed concern about how it looks on paper versus how it feels when on the property.

MOTION by Crosland, second by Van Asten, to recommend approval of the Interim Use Permit for and Extended Home Business, Lawn Smart, that includes the five recommendations by staff. The motion carried unanimously.

B. Interim Use Permit for an Event Center, Dehn's Pumpkins, 17270 125th Avenue

Sevald stated the Applicant's name is Bruce Dehn. Dehn was asked to list every type of event that he could possibly imagine being held at his event center. The following was the list he provided: 1) Corn Maze; 2) Hayrides / Sleighrides; 3) Haunted Attractions; 4) Concerts; 5) Ice Castles; 6) Christmas Tree Sales; 7) Birthday Parties / Corn Pit / Inflatables; 7) Weddings / Receptions; 8) Easter Activities; and 9) Motocross.

Bruce Dehn of 18351 South Diamond Lake Trail and Kyle Dehn of 11371 East French Lake Road came forward to answer any questions that the Commissioners may have.

It was noted the dirt bike trail has been present for years. Occasionally the Dehn family has had up to 20 family and friends using it with no problem. The Dehn brothers explained the approximate locations for each of the potential events they would like to have.

Van Asten asked if the Dehn brothers would be agreeable to the current Event Center standard of nothing after 11:00 p.m. rather than their proposed 11:30 p.m. The answer is yes.

DeMuth asked if all the activities, other than the dirt bike trail and the haunted attraction, would be centered around the actual pumpkin farm. The answer is yes.

Van Asten reminded the Dehn brothers that outside magnification of sound (concerts) would have to end by 8:00 p.m., but indoor magnification of sound is appropriate prior to 11:00 p.m.

Sevald stated that this is a remote location. The nearest home that is not owned by one of the Dehn family members is about 1,000 feet away.

Preisler stated that from his point of view, this type of event center can bring the community together. Preisler's only concern was that the paperwork indicated the event center could potentially operate 365 days per year.

Van Asten asked if the property closest to the dirt bike trail sold, and the new owners expressed concern, could this IUP be revisited. The answer is yes, after the sunset date of the IUP.

DeMuth stated that the IUP has a five-year sunset date. B. Dehn stated that he would like to bump that up. DeMuth stated that his biggest concern is the dirt bike trail.

Crosland stated that this is an upstanding business in Dayton and recommended a sunset date of 20 years. Van Asten suggested 30 years.

DeMuth stated that the IUP is tied to the applicant, not the property.

MOTION by Crosland, second by Van Asten, to recommend approval for Interim Use Permit for an Event Center, Dehn's Pumpkins, 17270 125th Avenue with the conditions noted by Sevald. The motion carried unanimously.

C. Discussion: Minimum Garage Size

DeMuth stated that item C and item D will be discussed together; and, if separate motions are needed, the Commission will do that.

Sevald stated that he has a long list of items to discuss with the Planning Commission, and his plan is to take care of the simpler ones now and push the more difficult items until later when there is more staff to assist.

Sevald stated that there is currently a minimum size for garages, which is a minimum of 440 square feet. This is typically known as a two-car-garage. What is standard for most builders today is a three-car-garage. A standard

complaint that is made is that garages are too small. Sevald asked the Planning Commission to have a discussion about how big garages should be, and would they like to amend the Code to reflect any changes.

Fisher asked where the complaints are coming from. Sevald stated that he heard it from a number of individuals when he was on the Planning Commission. Preisler stated that if it is left up to the builders, they will build the smallest garage possible.

DeMuth stated that he spoke with Sevald earlier on this topic. DeMuth's biggest concern is that if there are going to be three-car-garages on the front of a house, then three cars should be able to actually fit in them. Preisler disagreed and stated that you have to be creative.

Additional discussion ensued regarding the width and depth of the garage stalls in speck homes.

Van Asten stated that she has a serious problem making a required minimum because she personally does not want a large garage, nor does she believe that large garages should be forced on to others just because some of the Planning Commissioners want bigger garages.

Preisler suggested that there be a minimum size requirement for a two-stall-garage and a minimum size requirement for a three-stall-garage, and not necessarily a mandate that all homes must have a garage.

Preisler stated that there is currently some legislation that will completely obliterate the City's ability to control things of this sort, so this item may need to be tabled at this time.

Crossland agreed with the idea of separating the minimum size requirements for both two-stall-garages and three-stall-garages. Crossland also stated that there needs to be some standard regarding how much space the garage takes from the front of the home.

Additional conversation ensued.

Fisher stated that it seems odd to mandate a two-car-garage for a small family who may only have one car.

Sevald stated that there is consensus for a minimum of 22 feet in width for a two-car-garage and a minimum of 34 feet in width for a three-car-garage.

Van Asten again stated that the Planning Commission should not dictate that their particular lifestyle is more important than another, and this will force up the price of housing. The current minimum square footage for a two-car-garage is adequate. If the issue is the minimum square footage for a three-car-garage, then we don't solve that problem by forcing everyone to have a three-car-garage.

Preisler suggested that the two-car-garage minimum be left alone and add that a three-car-garage must meet the minimum square footage of 660.

MOTION by Crosland, second by Preisler, to recommend no changes to the minimum garage size. The motion carried unanimously.

D. Discussion: Driveway Aprons

Sevald apologized for the slide not being legible.

Preisler stated that the Building Code is the problem. There is no density currently required by the Building Code outside the foundational walls.

DeMuth stated that adding an apron would be between \$10,000 and \$15,000. This is a big problem if affordability is the City's ultimate goal.

Additional conversation ensued.

Crosland stated that since the builders are clearly not going to self-regulate, he'd be in favor of requiring an apron because it does provide extended life.

DeMuth stated that if we require aprons, we should also require rebar to be in the concrete.

Van Asten stated that she does not have a strong opinion regarding this issue.

DeMuth stated that adding an apron to many of the houses in his neighborhood, would be aesthetically unpleasing.

Preisler expressed concern about requiring the apron as it could be a problem for a lot of residents. This is a new home problem, yet it would impact current homeowners who choose to add garages.

Additional conversation ensued.

There was consensus that if the Planning Commission moves forward with requiring aprons, it would only be required for new construction because, in theory, compaction would have already taken place for established homes.

MOTION by Crosland, second by Preisler, to recommend a four-foot concrete apron for all attached garages on new construction projects prior to getting a Certificate of Occupancy. The motion carried unanimously.

IX. NOTICES AND ANNOUNCEMENTS

- A.** The next Planning Commission meeting is tentatively scheduled for May 2, 2024, at 6:30 p.m.
- B.** A Joint Work Session is planned with City Council on Tuesday, April 23, 2024, to discuss the Master Plan. Preisler, Van Asten, and DeMuth all have conflicts. Sevald will send out an email to the City Council and the Planning Commission to work out a mutually agreed upon date for the Joint Work Session.

X. ADJOURNMENT

MOTION by Crosland to adjourn, Preisler seconded the motion. Motion carried unanimously. The meeting adjourned at 8:54 p.m.

Respectfully submitted,

Sandra Major, Recording Secretary
TimeSaver Off Site Secretarial, Inc

ITEM:

Kwik Trip 1187

APPLICANT/PRESENTERS:

Dean George, Kwik Trip

PREPARED BY:

Jon Sevald, Community Development Director

POLICY DECISION / ACTION TO BE CONSIDERED:

Recommend Approval of:

1. Zoning Map Amendment, from B-P Business Park to B-3 General Business District
2. Preliminary / Final Plat of Kwik Trip 1187
3. Conditional Use Permit for a Motor Fuel Station
4. Site Plan

BACKGROUND/OVERVIEW:

Kwik Trip is proposing a gas station with semi-truck parking, operating 24-hours per day. The project was previously proposed in 2021, and denied. It was the Council's opinion that a gas station & truck stop was not the highest and best use. Since 2021, there has not been much interest in this site other than for industrial uses and gas stations. The proposed project is unchanged from what was proposed in 2021.

Zoning Map Amendment

The Applicant propose to rezone the property from B-P Business Park to B-3 General Business. Motor Fuel Stations are a Conditional Use (CUP) in the B-3 district.¹ The intent of the B-3 district *"is to provide for the establishment of areas devoted to high intensity retailing and service activity primarily oriented toward motorists and requiring higher volumes of traffic and visibility from major roads. Uses will serve a City-wide and multi-community consumer market."*²

The 2040 Comprehensive Plan guides the property as both Commercial (east) and Industrial (west), assuming this parcel would be subdivided into multiple lots. "Gas Stations" are among uses intended in Commercial areas. "Automotive" are among uses intended in Industrial areas. It would be "cleaner" if the Future Land Use Map were amended from Industrial to Commercial, but it is not critical. Staff's recommendation is to leave it as-is, and address this in the 2050 Comprehensive Plan.

Preliminary/Final Plat

Minimum Requirements ³	Required	Proposed
Lot Size	1 acre	10.27 acres
Lot Width	150'	500'+

¹ City Code 1001.061, Subd 3(4)(a); *Conditional uses; (a) Any conditional use allowed in the B-1 and B-2 Districts.* Motor Fuel Stations and Car Wash are a Conditional Use in the B-2 Neighborhood District.

² City Code 1001.061, Subd 3(1) (General Business District; Intent)

³ City Code 1001.061, Subd 3(6) (Lot Area....)

Lot Depth		150'	300'+
Maximum impervious surface		80%	55%
Maximum building footprint coverage		50%	32%
Structure height		45'	24'
Building	Front setback	40'	253'-6"
	Side setback	25'	N/A
	Side (street) setback	25'	101'
	Rear setback	25'	118'
Parking	Front/Side/Rear (street)	20'	16.5
	Side Interior	10'	N/A
	Rear yard	10'	22'
Fuel Canopy ⁴	Front/Side/Rear	30'	110'
Parking stalls ⁵		TBD	41

The parking lot/drive aisle in the SE corner is 16.5' set back from Maple Court whereas a minimum of 20' is required. There is space to comply.

Vehicle related services require two stalls + one stall per 250 sq ft of building used for retail. The building's floor plan was not submitted with the plan set, which is needed to confirm parking stalls.

Proposed parking stalls are 9.5' X 20' whereas 10' X 20' is required.⁶

Conditional Use Permit

A Motor Fuel Station requires a CUP in the B-3 district.^{7 8}

Site Plan

Proposed signage is not compliant with the Sign Code. A condition of approval states that the sign plan shall be resubmitted and reviewed administratively.

Landscaping ⁹		Required	Proposed
Over-story tree	1 per 3,000 sf open area	57	57
Ornamental tree	1 per 1,500 sf open area	114	114
Evergreen tree	1 per 3,000 sf open area	57	57
Shrub	1 per 100 sf open area	1,704	557

Staff suggests that the Applicant provide an alternative Landscape Plan for City Council review, with the required number of shrubs shown. The Council may opt to reduce the number required based on site conditions.

⁴ City Code 1001.06, Subd 2(1)(h)(1) (Structure shall be set back...)

⁵ City Code 1001.19, Subd 7(2)(r)(Vehicle related retail/service...)

⁶ City Code 1001.19, Subd 9(1) (Minimum Parking Space and Aisle Dimensions)

⁷ City Code 1001.061, Subd 3(4)(a) (Conditional uses allowed; (a) any conditional use allowed in the B-1 and B-2 Districts).

⁸ City Code 1001.061, Subd 2(4)(c) (Motor Fuel Stations).

⁹ City Code 1001.24, Subd 4(3)(1) (Plant diversity)

The Applicant is responsible for maintaining the boulevard in-between Dayton Parkway, other streets, and the property line. Consideration should be given for low maintenance native grasses appropriate for steep slopes.

Accessory buildings are not permitted in Business Districts.¹⁰ The gator shed and trash enclosure are to be incorporated into the primary building.

CRITICAL ISSUES:

Garage/trash Accessory Buildings are not permitted in Business districts. The building needs to be modified to incorporate the gator shed and trash enclosure.

Signage. Applicable to this project, the City Code allows two free standing signs, 25' in height, 64 sf in area, pylon or monument masonry sign.^{11 12}

Proposed:

1. 60' pylon sign in NW corner, 302 sf in area.
2. 25' pylon sign in NE corner, 117 sf in area.
3. 16' pylon sign (CAT Scale), 100 sf in area.

The proposed NW pylon sign is about 22' below Dayton Parkway elevation. A Variance may be an option to permit a sign 25' above this grade (e.g. 50' tall sign). 60' is proposed by the Applicant. Size is still an issue.

Staff recommends:

1. 50' pylon sign in NW corner, 64 sq ft in area (requires Variance to height and to exceed 64 sq ft in area).
2. 25' masonry monument sign in NE corner, 64 sq ft in area, with dynamic display.
3. No CAT scale sign at scale location.

Parking. Confirmation is needed regarding required number of parking stalls. Stalls need to be adjusted from 9.5' width to 10' width.

Landscaping. 1,200 additional shrubs are required. The Planning Commission should provide an opinion if this is necessary.

RELATIONSHIP TO CITY COUNCIL GOALS:

Create a Sought-After Community

BUDGET IMPACT:

N/A

¹⁰ City Code 1001.35, Subd 2(12)

¹¹ City Code 1001.20, Subd 5(2)(b)(3).

¹² City Code 1001.20, Subd 5(2)(f)

ROLE OF PLANNING COMMISSION:

Review the Staff Report and Plan set and provide a recommendation.

STAFF RECOMMENDATION:

Staff recommends approval with changes as noted.

The Applicant has requested that the plat of *Kwik Trip 1187* be released from certain requirements of the plat of *VF13 Addition* (2006).¹³ These are being reviewed by the City Attorney and will be acted upon by the City Council.

60/120-DAY RULE:

	Complete Application	60-Days	120-Days
Zoning Map Amendment	April 4, 2024	June 3, 2024	August 2, 2024
Preliminary Plat		N/A	August 2, 2024
Final Plat		N/A	August 2, 2024 ¹⁴
Conditional Use Permit		June 3, 2024	August 2, 2024
Site Plan Review		June 3, 2024	August 2, 2024

A Public Hearing Notice will be published by THE PRESS on May 10, 2024, and mailed to property owners within 500' of the project. The City Council will hold the Public Hearing on May 28, 2024. Staff missed the deadline to post the Public Hearing notice in time for it to be held by the Planning Commission.

ATTACHMENT(S):

Aerial Photo
 Site Photos
 2040 Future Land Use
 Zoning Map
 Ordinance 2024-__ (Zoning Map Amendment)
 Resolution __-2024 (Preliminary/Final Plat, CUP, Site Plan)
 Plan Set

¹³ Resolution 26-2006, item #9. Resolution 59-2008, item # 11. Resolution 11-2017, item # 15. Subdivision Agreement VF13 addition, item #11. Settlement Agreement, item #13.

¹⁴ City Code 1002.05, Subd 1(2)(g)(2); Final Plat must be submitted within one year after Preliminary Plat approval. Final Plat is subject to 60-Day Rule.

AERIAL PHOTO



SITE PHOTOS

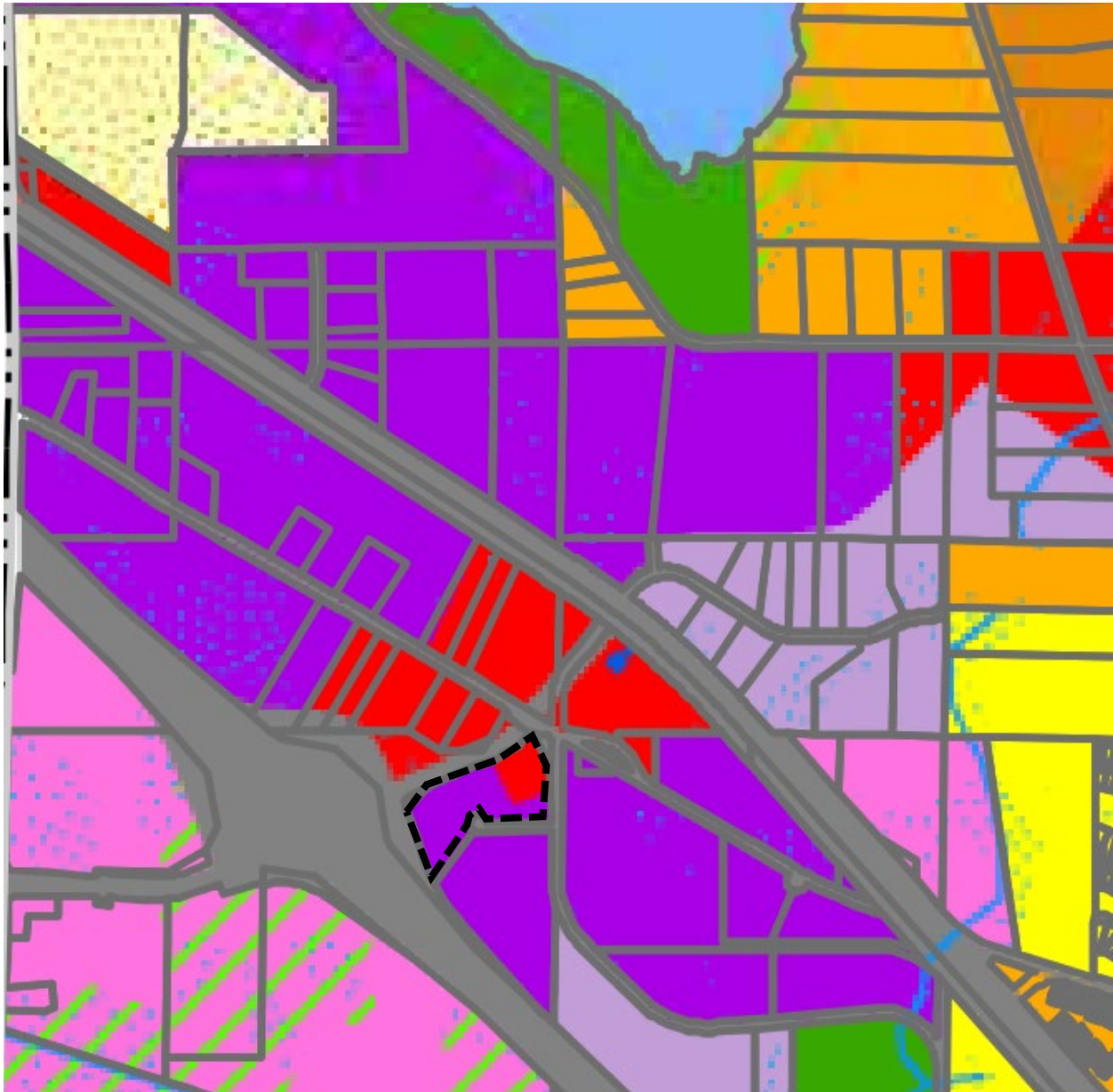


View looking Southeast from Dayton Parkway. Cemstone is at left, and RDO at right (photo March 6, 2024).



View looking West from top of dirt hill (north area of property). I-94 is on horizon. Dayton Parkway is on right (photo March 6, 2024)

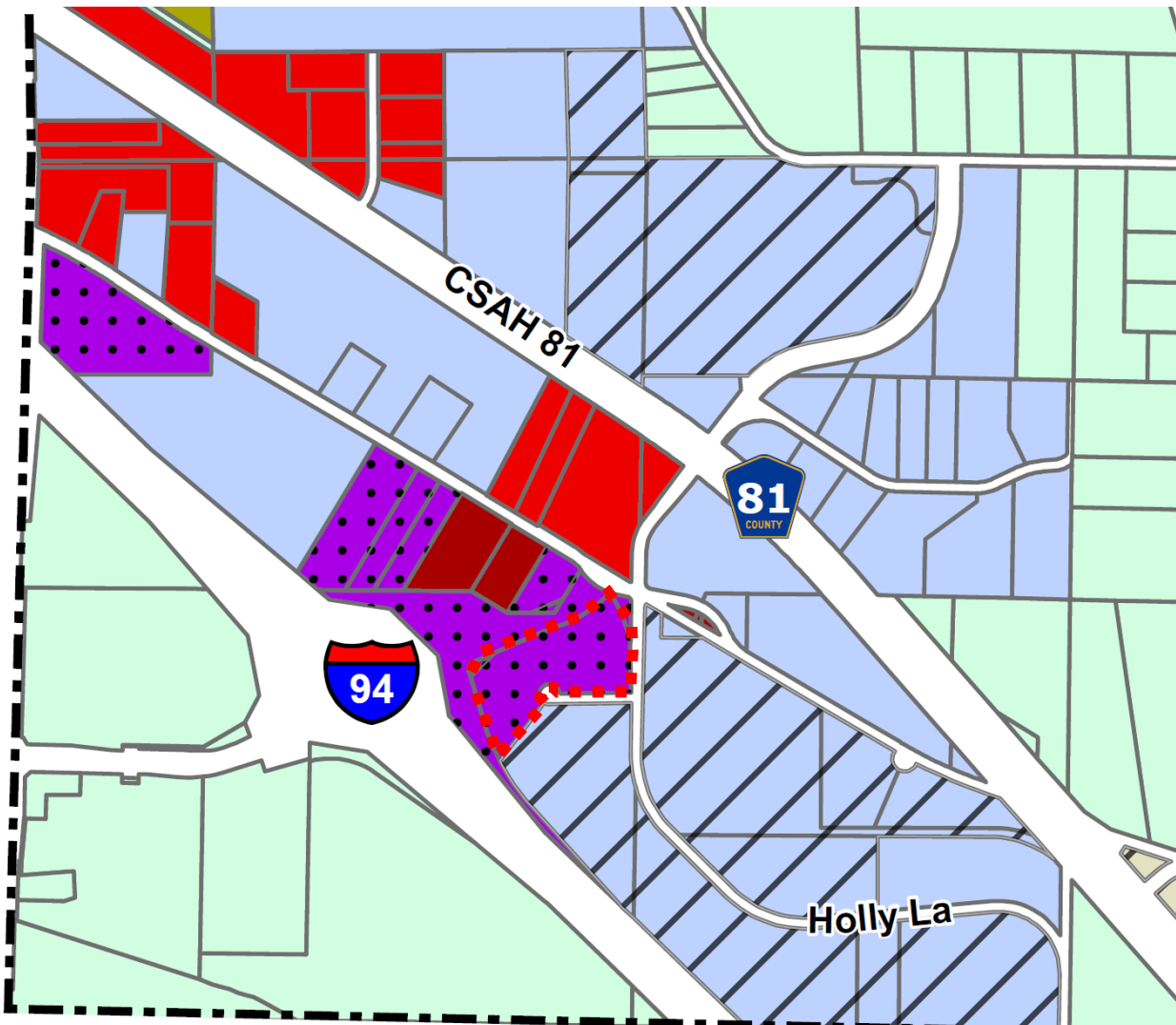
2040 Comprehensive Plan Future Land Use Map



Legend

	City Boundary		Greenway Overlay		Rural Estate		Existing Mobile Home Park		Mixed Use		Public/Institutional
	Parcel Boundary		Agricultural Preserve		Low Density Residential		Master Planned Development		Business Park		Open Water
	City Hall		Existing Unsewered Low Density Residential		Medium Density Residential		Neighborhood Commercial		Industrial		Right-of-Way
	Golf Course		Existing Sewered Low Density Residential		High Density Residential		Commercial		Park & Open Space		
	National Wetlands								Golf Course		

ZONING MAP



Legend

	A-1 Agricultural District		R-1A Single Family Residential
	A-2 Agricultural District		R-2 Single Family District (90,000 Sf, Unsewered)
	B-2 Neighborhood Business District		R-3 Single Family and Attached Residential
	B-3 General Business District		R-E Single Family District (5 Ac, Unsewered)
	B-4 Commercial/ Industrial District		R-M Medium Density Residential District
	B-P Business Park District		R-MH Mobile Home District
	ES Essential Service District		R-O Old Village Residential
	G-MU-4 Balsam Lane		S-A Special Agriculture District
	I-1 Light Industrial District		GMU-3 Historic Village
	P-R Public Recreation District		City Boundary
	R-1 Single Family District		PUD

ORDINANCE No. 2024-__

CITY OF DAYTON

COUNTIES OF HENNEPIN AND WRIGHT

AN ORDINANCE AMENDING THE OFFICAL ZONING MAP

THE CITY COUNCIL OF THE CITY OF DAYTON DOES HEREBY ORDAIN:

SECTION 1. **AMENDMENT.** The Zoning classification of the property described in Section 2, as shown on the Zoning Map referred to in Section 1001.04, subd 2, of the Dayton City Code is hereby amended from I-1 Industrial to B-3 General Business.

SECTION 2. **PROPERTY DESCRIPTION.**

(SEE EXHIBIT A)

SECTION 3. **EFFECT.** This Ordinance shall be in full force and effect from and after its passage and publication as required by law.

Adopted by the Dayton City Council on May 28, 2024.

Mayor Dennis Fisher

ATTEST:

City Clerk Amy Benting

Published in THE PRESS on _____.

EXHIBIT A

That part of Lot 3, Block 1, VF13 ADDITION, according to the recorded plot thereof, Hennepin County, Minnesota, described as follows:

Commencing at the most southerly corner of Lot 1, Block 1, RDO Addition, City of Day on, Hennepin County, Minnesota; thence North 46°06'40" West, along the southwest line of said Lot 1, a distance of 107.83; thence North 42°18'14" West a distance of 795.56 feet; thence northwesterly 337.99 feet along the southwest line of said Lot 1 and a non-tangential curve concave to the northeast having a radius of 1332.00 feet, a central angle of 14°32'18", a chord bearing of North 35°01'30" West and a chord length of 337.08 feet, to the Northwest corner of said Lot 1 and the true point of beginning; thence continue along said curve for a distance of 249.33 feet, a central angle of 10°43'31", a chord bearing of North 22°23'35" West and a chord length of 248.97 feet; thence North 17°01'50" West, tangent to last curve, a distance of 289.30 feet; thence North 45°32'46" East a distance of 199.32 feet; thence North 65°46'36" East a distance of 319.16 feet; thence North 69°29'52" East a distance of 180.65 feet; thence northeasterly 263.34 feet along a non-tangential curve concave to the northwest having a radius of 765.00 feet, a central angle of 19°43'23", a chord bearing of North 54°22'30" East and a chord length of 262.04 feet; thence South 86°40'48" East, not tangent to last curve, a distance of 32.31 feet; thence southeasterly 149.51 feet along a non-tangential curve concave to the southwest having a radius of 519.00 feet, a central angle of 16°30'19", a chord bearing of South 27°18'06" East and a chord length of 148.99 feet; thence South 19°02'56" East, tangent to last curve, a distance of 136.77 feet to the east line of said Lot 3; thence South 00°41'19" West, along the east line of said Lot 3, for a distance of 32.88 feet; thence South 01°13'14" East, along the east line of said Lot 3, for a distance of 285.06 feet to the northeast corner of said RDO Addition; thence South 88°46'46" West, along the northerly line of said RDO Addition, for a distance of 413.03 feet to a tangential curve concave to the northeast having a radius of 20.00 feet; thence westerly and northwesterly a distance of 26.36 feet, along the northerly line of said RDO Addition and along said curve, a central angle of 75°31'21", a chord bearing of North 53°27'34" West and a chord length of 24.49 feet to a curve concave to the southeast having a radius of 60.00 feet; thence northwesterly, westerly, southwesterly, southerly, and southeasterly, along the northerly line of said RDO Addition and along said curve, for a distance of 233.45 feet, a central angle of 222°55'49", a chord bearing of South 52°50'12" West and a chord length of 111.68 feet to the northwest corner of said Lot 1; thence South 37°08'43" West, not tangent to last curve and along the northwesterly line of said Lot 1, for a distance of 439.28 feet to the true point of beginning.

(abstract property)

CITY OF DAYTON

COUNTIES OF HENNEPIN AND WRIGHT

STATE OF MINNESOTA

RESOLUTION __-2024

**APPROVAL OF THE PRELIMINARY PLAT AND FINAL PLAT OF KWICK TRIP 1187,
CONDITIONAL USE PERMIT FOR A MOTOR FUEL STATION, AND SITE PLAN REVIEW**

WHEREAS, Steven Lowe, Kwik Trip, Inc (Applicant) has requested Approval of the Preliminary and Final Plat of KWIK TRIP 1187, consisting on one lot; and,

WHEREAS, the project is located at:

PID: 31-120-22-42-0015

That part of Lot 3, Block 1, VF13 ADDITION, according to the recorded plot thereof, Hennepin County, Minnesota, described as follows:

Commencing at the most southerly corner of Lot 1, Block 1, RDO Addition, City of Dayton, Hennepin County, Minnesota; thence North 46°06'40" West, along the southwest line of said Lot 1, a distance of 107.83; thence North 42°18'14" West a distance of 795.56 feet; thence northwesterly 337.99 feet along the southwest line of said Lot 1 and a non-tangential curve concave to the northeast having a radius of 1332.00 feet, a central angle of 14°32'18", a chord bearing of North 35°01'30" West and a chord length of 337.08 feet, to the Northwest corner of said Lot 1 and the true point of beginning; thence continue along said curve for a distance of 249.33 feet, a central angle of 10°43'31", a chord bearing of North 22°23'35" West and a chord length of 248.97 feet; thence North 17°01'50" West, tangent to last curve, a distance of 289.30 feet; thence North 45°32'46" East a distance of 199.32 feet; thence North 65°46'36" East a distance of 319.16 feet; thence North 69°29'52" East a distance of 180.65 feet; thence northeasterly 263.34 feet along a non-tangential curve concave to the northwest having a radius of 765.00 feet, a central angle of 19°43'23", a chord bearing of North 54°22'30" East and a chord length of 262.04 feet; thence South 86°40'48" East, not tangent to last curve, a distance of 32.31 feet; thence southeasterly 149.51 feet along a non-tangential curve concave to the southwest having a radius of 519.00 feet, a central angle of 16°30'19", a chord bearing of South 27°18'06" East and a chord length of 148.99 feet; thence South 19°02'56" East, tangent to last curve, a distance of 136.77 feet to the east line of said Lot 3; thence South 00°41'19" West, along the east line of said Lot 3, for a distance of 32.88 feet; thence South 01°13'14" East, along the east line of said Lot 3, for a distance of 285.06 feet to the northeast corner of said RDO Addition; thence South 88°46'46" West, along the northerly line of said RDO Addition, for a distance of 413.03 feet to a tangential curve concave to the northeast having a radius of 20.00 feet; thence westerly and northwesterly a distance of 26.36 feet, along the northerly line of said RDO Addition and along said curve, a central angle of 75°31'21", a chord bearing of North 53°27'34" West and a chord length of 24.49 feet to a curve concave to the southeast having a radius of 60.00 feet; thence northwesterly, westerly, southwesterly, southerly, and southeasterly, along the

northerly line of said RDO Addition and along said curve, for a distance of 233.45 feet, a central angle of 222°55'49", a chord bearing of South 52°50'12" West and a chord length of 111.68 feet to the northwest corner of said Lot 1; thence South 37°08'43" West, not tangent to last curve and along the northwesterly line of said Lot 1, for a distance of 439.28 feet to the true point of beginning.

(abstract property)

WHEREAS, City Staff studied the matter, reports were issued, and information was provided to the City Council regarding the Applications; and,

WHEREAS, consistent with City Code 1002.07, Subd 1(1) (General Requirements), the Planning Commission took into consideration the requirements of the community and the best use of the land being subdivided. The Planning Commission recommended Approval at its May 2, 2024 meeting; and,

WHEREAS, consistent with City Code 1001.23, Subd 1(d), the Planning Commission considered the effect of the proposed conditional use on the Comprehensive Plan and on the character and the development of the neighborhood; and,

WHEREAS, the City Council conducted a Public Hearing on May 28, 2024. A Public Hearing notice was published by THE PRESS on May 10, 2024, and mailed to property owners within 500' of the project property; and,

NOW, THEREFORE, based upon the Staff Report, Planning Commission recommendation, and in consideration of public testimony, the City Council makes the following:

FINDINGS:

1. The Preliminary Plat is consistent with City Code 1002.05, Subd 1(2)(f)(4);
 - (a) That the proposed subdivision is NOT in conflict with the City's Comprehensive Plan, Zoning Ordinance, Capital Improvements Program, or other policy or regulation.
 - (b) That the proposed subdivision is NOT in conflict with the purpose and intent of this chapter.
 - (c) That the physical characteristics of the site, including but not limited to topography, vegetation, susceptibility to erosion, and siltation, susceptibility to flooding, water storage, and retention, are such that the site IS suitable for the type of development or use contemplated.
 - (d) That the site IS physically suitable for the intensity or type of development or use contemplated.
 - (e) That the design of the subdivision or the proposed improvements are NOT likely to cause substantial and irreversible environmental damage.
 - (f) That the design of the subdivision or the type of improvements will NOT be detrimental to the health, safety or general welfare of the public.
 - (g) That the design of the subdivision or the type of improvement will NOT conflict with easements on record or with easements established by judgment of a court.
 - (h) That the subdivision is NOT premature as determined by the standards of Subsection 1002.03 of this section.

2. The Final Plat is consistent with the Preliminary Plat, dated August 30, 2021, and the Zoning and Subdivision codes, and 2040 Comprehensive Plan.
3. The Conditional Use Permit is consistent with City Code 1001.23, Subd 1(e):
 - (a) The proposed use is consistent with the Comprehensive Plan and the purpose of the underlying zoning district.
 - (b) The proposed use will not substantially diminish or impair property values within the immediate vicinity of the subject property.
 - (c) The proposed use will not be detrimental to the health, safety, morals or welfare of persons residing or working near the use.
 - (d) The proposed use will not impede the normal and orderly development of surrounding property.
 - (e) The proposed use will not create an undue burden on parks, schools, streets and other public facilities and utilities which serve or are proposed to serve the area.
 - (f) The proposed use is adequately screened.
 - (g) The proposed use will not create a nuisance, including but not limited to odor, noise, vibration or visual pollution.
 - (h) The proposed use will provide adequate parking and loading spaces, and all storage on the site is in compliance with this Subsection.
 - (i) The proposed use will protect sensitive natural features.
 - (j) The City Council may attach conditions to the permit, as it may deem necessary in order to lessen the impact of a proposed use, meet applicable performance standards and to promote health, safety and welfare.
4. The Site Plan Review is consistent with City Code 1001 (Zoning), pending corrections noted in the City Engineer's letter (April 19, 2024) and Community Development Director's letter (April 28, 2024), and as noted in the Staff Report regarding code deficiencies (May 28, 2024).

DECISION:

1. The Preliminary Plat (August 30, 2021) and Permit Set (October 25, 2021) shall be revised to comply with the City Engineer's letter (April 19, 2024), and Community Development's letter (April 28, 2024). Revisions shall be accepted by City Staff prior to the City signing the Final Plat.
2. Consistent with City Code 1002.08, Subd 7(14), prior to the City releasing the Final Plat for recording, the Applicant shall submit a Title Commitment to the satisfaction of the City Attorney.
3. Consistent with City Code 1002.08, Subd 5, the Applicant shall record the Final Plat within 60-days after authorization by the City (signing and releasing the Final Plat), and shall provide the City with proof of Recording by the County Recorder.
5. Prior to the City releasing the Final Plat, the Applicant shall submit the following fees:

Storm Water	\$9,086	X	10.27 acres	=	\$93,313.22
Sanitary Sewer	\$6,751	X	10.27 acres	=	\$69,332.77
Sanitary Sewer Lateral Charge					TBD
Water	\$10,527	X	10.27 acres	=	\$108,112.29

Park Dedication	\$7,900	X	10.27 acres	=	\$81,133.00
Trail Dedication	\$3,214	X	10.27 acres	=	\$33,007.78
					<u>\$384,899.06</u>

6. Consistent with City Code 1002.09, Subd 3(4), the Applicant shall provide the City a Surety to guarantee installation of public improvements equal to 120% of the City Engineer's estimated costs of improvements. This surety shall be provided to the City prior to the City releasing the Final Plat. The Applicant shall comply all requirements for public improvements and guarantees as stated in City Code 1002.09 (Basic Improvements Required) in lieu of a Development Agreement.
7. Consistent with City Code 1001.24, Subd 5(11), all landscape plantings shall be guaranteed for one-year. Dead or diseased plantings within the initial year shall be replaced and guaranteed for one-year. The Applicant shall provide an escrow, 120% of the cost of plantings, to be refunded one-year after planting.
8. Approval of the Site Plan does not include signage (proposed signage is not consistent with City Code 1001.20). The Applicant shall resubmit a sign plan for administrative review. This may be done concurrently with the Building Permit review.

Adopted this 28th Day of May, 2024 by the Dayton City Council.

Mayor Dennis Fisher

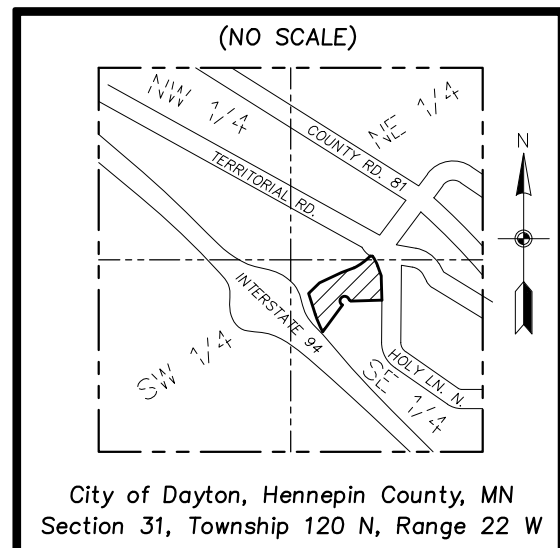
ATTEST:

City Clerk Amy Benting

Motion by _____, Second by _____.
Motion Approved.



VICINITY MAP



CONTROL POINTS

(ASSUMED COORDINATES)

#31	233855.0150°	467493.5040°	937.22°	TP PK
#32	233870.3260°	468091.9910°	950.55°	TP CP
#33	234339.6940°	468117.5460°	958.33°	TP CP
#34	233474.2050°	467238.0030°	930.32°	TP CP

OWNER:
CITY OF DAYTON
PID: 31-120-22-42-0014

OWNER:
CITY OF DAYTON
PID: 31-120-22-42-0014

OWNER:
CITY OF DAYTON
PID: 31-120-22-42-0012

OWNER:
CITY OF DAYTON
PID: 31-120-22-42-0014

OWNER:
RDO EQUIPMENT CO.
PID: 31-120-22-42-0013

LEGEND

●	- Denotes Found Iron Monument	— uq —	- Denotes Hand Hole
○	- Denotes set or to be set 5/8 inch by 14 inch rebar, marked with RLS 40361	— ufo —	- Denotes Electric Meter
✱	- Denotes Light Pole	— ohe —	- Denotes Underground Gas line
✱	- Denotes Miscellaneous Sign	— --- ---	- Denotes Underground Fiber Optic
✱	- Denotes Existing Spot Elevation	— --- ---	- Denotes Overhead Utility Line(s)
○	- Denotes Sanitary Manhole	— --- ---	- Denotes Watermain
○	- Denotes Catch Basin	— --- ---	- Denotes Sanitary Sewer
○	- Denotes Flared End Section	— --- ---	- Denotes Storm Sewer
○	- Denotes Fire Hydrant	— --- ---	- Denotes Existing Fence as noted
○	- Denotes Gate Valve	— --- ---	- Denotes Concrete Surface
○	- Denotes Guy Wire	— --- ---	- Denotes Bituminous Surface
○	- Denotes Utility Pole	— --- ---	- Denotes Existing 2 Ft. Contour
○	- Denotes Mail Box	— --- ---	- Denotes Existing 10 Ft. Contour
○	- Denotes Telephone Box		
○	- Denotes Television Box		

ALTA/NSPS LAND TITLE SURVEY

PART OF LOT 3,
BLOCK 1, VF13 ADDITION,
HENNEPIN COUNTY, MINNESOTA

PROPERTY DESCRIPTION: (Per Schedule A of Title Commitment File No. 1564778-2, with a commitment date of January 07, 2021 at 8:00 A.M., prepared by First American Title Insurance Company)

That part of Lot 3, Block 1, VF13 ADDITION, according to the recorded plat thereof, Hennepin County, Minnesota, described as follows:

Commencing at the most southerly corner of Lot 1, Block 1, RDO ADDITION, City of Dayton, Hennepin County, Minnesota; thence North 46°06'40" West, along the southwest line of said Lot 1, a distance of 107.83; thence North 42°18'14" West a distance of 795.56 feet; thence northwesterly 337.99 feet along the southwest line of said Lot 1 and a non-tangential curve concave to the northeast having a radius of 1332.00 feet, a central angle of 14°32'16", a chord bearing of North 35°01'30" West and a chord length of 337.08 feet, to the northwest corner of said Lot 1 and the true point of beginning; thence continue along said curve for a distance of 249.33 feet, a central angle of 10°43'31", a chord bearing of North 22°23'35" West and a chord length of 248.97 feet; thence North 17°01'50" West, tangent to last curve, a distance of 289.30 feet; thence North 65°46'36" East a distance of 199.32 feet; thence North 65°46'36" East a distance of 319.16 feet; thence North 69°29'52" East a distance of 180.65 feet; thence northeasterly 263.34 feet along a non-tangential curve concave to the northwest having a radius of 765.00 feet, a central angle of 19°43'23", a chord bearing of North 54°22'30" East and a chord length of 262.04 feet; thence South 86°40'48" East, not tangent to last curve, a distance of 32.31 feet; thence southeasterly 149.51 feet along a non-tangential curve concave to the southwest having a radius of 519.00 feet, a central angle of 16°50'19", a chord bearing of South 27°18'06" East and a chord length of 148.99 feet; thence South 19°02'56" East, tangent to last curve, a distance of 136.77 feet to the east line of said Lot 3; thence South 00°41'19" West, along the east line of said Lot 3, for a distance of 32.88 feet; thence South 01°13'14" East, along the east line of said Lot 3, for a distance of 285.06 feet to the northeast corner of said RDO ADDITION; thence South 66°46'46" West, along the northerly line of said RDO ADDITION, for a distance of 413.03 feet to a tangential curve concave to the northeast having a radius of 20.00 feet; thence westerly and northwesterly a distance of 26.36 feet, along the northerly line of said RDO ADDITION and along said curve, a central angle of 75°31'21", a chord bearing of North 53°27'34" West and a chord length of 24.49 feet to a curve concave to the southeast having a radius of 60.00 feet; thence northwesterly, westerly, southwesterly, southerly, and southeasterly, along the northerly line of said RDO ADDITION and along said curve, for a distance of 233.45 feet, a central angle of 222°55'49", a chord bearing of South 52°50'12" West and a chord length of 111.68 feet to the northwest corner of said Lot 1; thence South 37°08'43" West, not tangent to last curve and along the northwesterly line of said Lot 1, for a distance of 439.28 feet to the true point of beginning.

(abstract property)

GENERAL NOTES:

- Bearings shown hereon are based on the most southerly southwest line of Lot 1, Block 1, RDO ADDITION, which is assumed to bear N46°06'40"W.
- Monuments have been found, set, or will be set at all major corners of the boundary and indicated on this survey.
- Surveyed property address, per title commitment - vacant land
- Per FEMA Flood Insurance Rate Map Number 27053C0045F with an effective date of 11/04/2016, surveyed property is located in Zone X, areas of minimal flooding. Areas determined to be outside 500-year floodplain determined to be outside the 1% and 0.2% annual chance floodplains.
- Surveyed property contains ±10.27 acres.
- BENCHMARK: Minnesota Department of Transportation Geodetic GSID Station No. 11201 (MnDot Name Brenna MNDT RM 2) - Elev. = 950.22 ft. (NAVD 88)
- Per the undated zoning verification letter prepared by Alec Henderson, Planner with the City of Dayton, the surveyed property is zoned Business Park, B-P. The setback requirements, height and floor space area restrictions, and parking requirements specific to the surveyed property are as follows:

Building - Principle Structure
- Minimum Front Yard - 40 ft. plus 1 ft. for every 1 ft. of building height over 30 ft. (maximum setback of 80 ft.)
- Minimum Side Yard - 20 ft. (Minimum Side Yard (Street) - 40 ft.)
- Minimum Rear Yard - 20 ft.
- Maximum Structure Height - 45 ft. or 3 stories, whichever is less
- Maximum Impervious Surface Coverage - 80%
- Maximum Building Footprint Coverage - 50%

Parking
- Minimum Setback to Front, Side, or Rear to a Street - 20 ft.
- Minimum Side Interior - 15 ft.
- Minimum Rear Yard - 15 ft.
- Minimum to Residential - 15 ft.

Note - The minimum setback requirements cannot be graphically depicted without an interpretation by the surveyor and are not shown hereon.

- At the time of this survey there were no buildings observed on the surveyed property.
- No parking spaces were observed on the surveyed property.
- Above ground utilities have been field located as shown. Underground utilities shown hereon are those which were field marked by utility companies responding to Gopher State One Call, Ticket No. 210680765, dated 3/09/21 or were taken from utility plans provided by the City of Dayton. All underground locations shown hereon are APPROXIMATE. Prior to any excavations or digging, contact Gopher State One Call for an on-site location (651-454-0002). However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, Gopher State One Call locate and other similar utility locate requests from surveyors may be ignored or result in an incomplete response. Where additional or more detailed information is required, the client is advised that excavation may be necessary.
- At the time of this survey, the adjacent land to the west, north, and east is currently under road construction or is proposed to be reconstructed. Surveyor is not aware of any proposed changes to the street right-of-way lines. There was observable evidence of recent street or sidewalk construction or repairs.
- Per Schedule B, Part II Exceptions of the above listed Title Commitment:

Item 8 - The terms, provisions and easements contained in the document entitled "Easement Agreement" recorded September 15, 2003 as Doc. No. 8163239 of Official Records. (Described sign easements are not on nor do they touch surveyed property and are not shown hereon.) Above has been amended by Doc. Nos. 8869622, A10251763 and A10447021. (Contains no plottable easements and is not shown hereon.)

Item 9 - The terms and provisions contained in the document entitled "Certification of Resolution 26-2006" recorded September 27, 2006 as Doc. No. 8869614 of Official Records. (The temporary easement right to install improvements/indemnification contained in this document is blanket in nature and is not shown hereon.)

Item 10 - The terms and provisions contained in the document entitled "Certification of Resolution 27-2006" recorded September 27, 2006 as Doc. No. 8869615 of Official Records. (Vacates the drainage and utility easements as dedicated in the underlying plat of Triple Eagle Addition. Said vacated easements are not shown hereon.)

Item 11 - The terms and provisions contained in the document entitled "Certification of Subdivision Agreement VF13 Addition" recorded September 27, 2006 as Doc. No. 8869615 of Official Records. (The temporary easement right to install improvements/indemnification contained in this document is blanket in nature and is not shown hereon.)

Item 12 - The terms and provisions contained in the document entitled "Certification of Resolution 59-2008" recorded May 27, 2009 as Doc. No. A9367079 of Official Records. (Not survey related and is not shown hereon.)

Item 13 - The terms and provisions contained in the document entitled "Certification of Settlement Agreement" recorded May 27, 2009 as Doc. No. A9367080 of Official Records. (Not survey related and is not shown hereon.)

Item 14 - The terms, provisions and easements contained in the document entitled "Temporary Construction Easement Agreement" recorded December 10, 2019 as Doc. No. A10733691 of Official Records. (as shown hereon)

Item 15 - The terms and provisions contained in the document entitled "Certification of Resolution 11-2017" recorded May 22, 2018 as Doc. No. A10555241 of Official Records. (Not survey related and is not shown hereon.)

Item 16 - The terms, provisions and easements contained in the document entitled "Order Granting Petition and Ordering Transfer of Title and Possession" recorded December 30, 2019 as Doc. No. A10740376 of Official Records. (Said document extinguishes an easement which does not lie on the surveyed property.)

Item 17 - An easement shown or dedicated on the Map as referred to in the legal description

For: drainage and utility purposes. (Drainage and utility easements as dedicated on the plat of VF13 ADDITION are shown hereon.)

STATEMENT OF POSSIBLE ENCROACHMENTS:

- 1) Sliding gate and chain link fence encroaches approximately crosses ±5 ft on to the surveyed property, as shown.
- 2) Dirt stock pile is located on and northwesterly of the surveyed property, as shown.

CERTIFICATION:

To: Kwik Trip, Inc., a Wisconsin Corporation; First American Title Insurance Company;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 8, 9, 11(c), 11(d), 14, 17, 18, and 20 of Table A thereof. The field work was completed on March 15, 2021.

Date of Plat or Map: April 13, 2021

Signed: Carlson McCain, Inc.

By: Thomas R. Balluff, L.S.

Minnesota License No. 40361
tballuff@carlsonmccain.com



ALTA/NSPS LAND TITLE SURVEY

PROPOSED KWIK TRIP 1187 SITE

Dayton, Minnesota

KWIK TRIP, INC.

P.O. BOX 2107
1626 Oak Street
Lacrosse, WI 54602

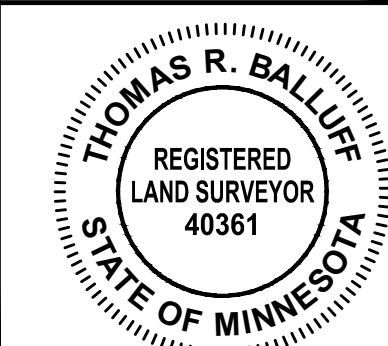
REVISIONS

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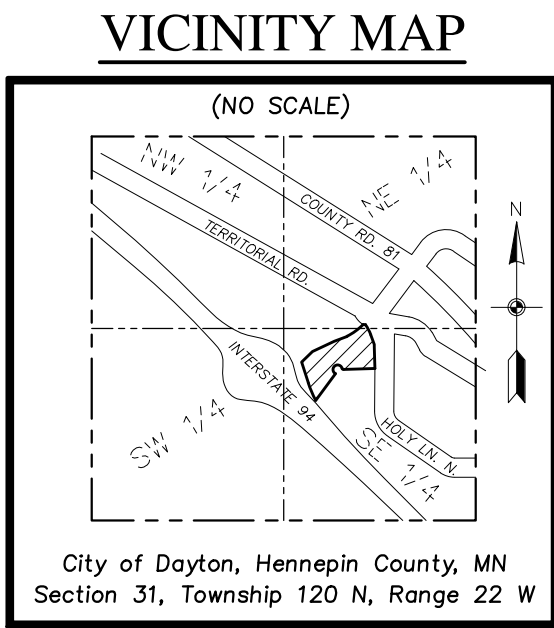
DRAWN BY: bjs

ISSUE DATE: 4/13/21

FILE NO: 2259



KWIK TRIP 1187



PROPERTY DESCRIPTION: (Per Schedule A of Title Commitment File No. 1564778-2, with a commitment date of January 07, 2021 at 8:00 A.M., prepared by First American Title Insurance Company)

That part of Lot 3, Block 1, VF13 ADDITION, according to the recorded plat thereof, Hennepin County, Minnesota, described as follows:

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(Abstract Property)

GENERAL NOTES:

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- Monuments have been found, set, or will be set at all major corners of the boundary and indicated on this survey.
- Surveyed property address, per title commitment - vacant land

SITE DATA

TOTAL SITE AREA ±10.27 AC.
TOTAL NUMBER OF LOTS 1
GROSS DENSITY 0.10 LOTS/AC.
EXISTING ZONING B-P
PROPOSED ZONING B-P
UTILITIES AVAILABLE

SETBACKS

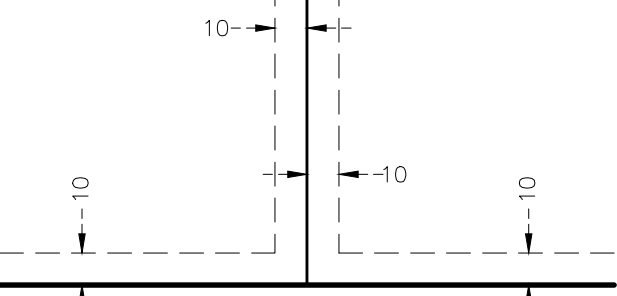
Building - Principle Structure
Minimum Front Yard - 40 ft. plus 1 ft. for every 1 ft. of building height over 30 ft. (maximum setback of 80 ft.)
Minimum Side Yard - 20 ft. Minimum Side Yard (Street) - 40 ft.
Minimum Rear Yard - 20 ft.
Maximum Structure Height - 45 ft. or 3 stories, whichever is less
Maximum Impervious Surface Coverage - 80%
Maximum Building Footprint Coverage - 50%

Parking
Minimum Setback to Front, Side, or Rear to a Street - 20 ft.
Minimum Side Interior - 15 ft.
Minimum Rear Yard - 15 ft.
Minimum to Residential - 15 ft.

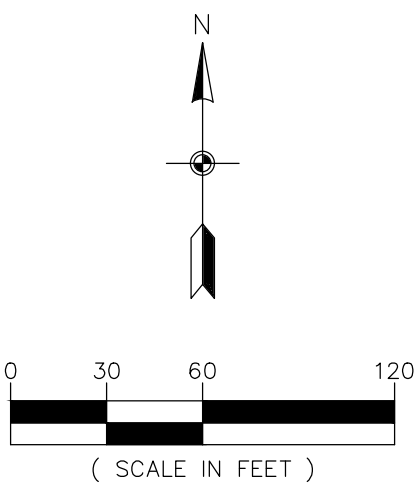
LEGEND

- Denotes Found Iron Monument
- Denotes set or to be set 5/8 inch by 14 inch rebar, marked with RLS 40361

PROPOSED DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



being 10 feet in width, and adjoining side lot lines, right of way lines and rear lot lines unless otherwise shown on this plat.



PRELIMINARY PLAT

KWIK TRIP 1187
Dayton, Minnesota

KWIK TRIP, INC.
P.O. BOX 2107
1626 Oak Street
Lacrosse, WI 54602

REVISIONS

1.	
2.	
3.	
4.	
5.	

DRAWN BY: JAB
ISSUE DATE: 08/30/21
FILE NO: 2259

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly licensed land surveyor under the laws of the State of Minnesota

Name: Thomas R. Balluff
Signature: *Thomas R. Balluff*
Date: 08/30/21 License #: 40361

KWIK TRIP 1187

C.R. DOC. NO. _____

KNOW ALL PERSONS BY THESE PRESENTS: That Kwik Trip, Inc., a Wisconsin corporation, owner of the following described property situated in the County of Hennepin, State of Minnesota, to wit:

That part of Lot 3, Block 1, VF13 ADDITION, according to the recorded plot thereof, Hennepin County, Minnesota, described as follows:

Commencing at the most southerly corner of Lot 1, Block 1, RDO ADDITION, City of Dayton, Hennepin County, Minnesota; thence North 45°06'40" West, along the southwest line of said Lot 1, a distance of 107.83; thence North 42°16'14" West a distance of 795.56 feet; thence northwesterly 337.99 feet along the southwest line of said Lot 1 and a non-tangential curve concave to the northeast having a radius of 1332.00 feet, a central angle of 14°32'18", a chord bearing of North 35°01'30" West and a chord length of 337.08 feet, to the northwest corner of said Lot 1 and the true point of beginning; thence continue along said curve for a distance of 249.33 feet, a central angle of 10°43'31", a chord bearing of North 22°23'35" West and a chord length of 248.97 feet; thence North 17°01'50" West, tangent to last curve, a distance of 289.30 feet; thence North 45°32'46" East a distance of 199.32 feet; thence North 65°46'36" East a distance of 319.16 feet; thence North 69°29'52" East a distance of 180.65 feet; thence northeasterly 263.34 feet along a non-tangential curve concave to the northwest having a radius of 765.00 feet, a central angle of 19°43'23", a chord bearing of North 54°22'30" East and a chord length of 262.04 feet; thence South 86°40'48" East, not tangent to last curve, a distance of 32.31 feet; thence southeasterly 149.51 feet along a non-tangential curve concave to the southwest having a radius of 519.00 feet, a central angle of 16°30'19", a chord bearing of South 27°18'06" East and a chord length of 148.99 feet; thence South 19°02'56" East, tangent to last curve, a distance of 136.77 feet to the east line of said Lot 3; thence South 00°41'19" West, along the east line of said Lot 3, for a distance of 32.88 feet; thence South 01°13'14" East, along the east line of said Lot 3, for a distance of 285.06 feet to the northeast corner of said RDO ADDITION; thence South 88°46'46" West, along the northerly line of said RDO ADDITION, for a distance of 413.03 feet to a tangential curve concave to the northeast having a radius of 20.00 feet; thence westerly and northwesterly a distance of 26.36 feet, along the northerly line of said RDO ADDITION and along said curve, a central angle of 75°31'21", a chord bearing of North 53°27'34" West and a chord length of 24.49 feet to a curve concave to the southeast having a radius of 60.00 feet; thence northwesterly, westerly, southwesterly, southerly, and southeasterly, along the northerly line of said RDO ADDITION and along said curve, for a distance of 233.45 feet, a central angle of 222°55'49", a chord bearing of South 52°50'12" West and a chord length of 111.68 feet to the northwest corner of said Lot 1; thence South 37°08'43" West, not tangent to last curve and along the northwesterly line of said Lot 1, for a distance of 439.28 feet to the true point of beginning.

Has caused the same to be surveyed and platted as KWIK TRIP 1187 and does hereby dedicate to the public for public use the easements created by this plat for drainage and utility purposes only.

In witness whereof said Kwik Trip, Inc., a Wisconsin corporation, has caused these presents to be signed by its proper officer this _____ day of _____, 20____.

KWIK TRIP, INC.

By: _____ as _____

STATE OF _____
COUNTY OF _____

This instrument was acknowledged before me on _____ by _____ as _____ of Kwik Trip, Inc., a Wisconsin corporation, on behalf of the corporation.

(Signed)

(Printed)
Notary Public, _____
My commission expires _____

I, Thomas R. Balluff, do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey, that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been or will be correctly set within one year; that all water boundaries and wet lands as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certification are shown and labeled on this plat; and that all public ways are shown and labeled on this plat.

Dated this _____ day of _____, 20____.

Thomas R. Balluff, Licensed Land Surveyor
Minnesota License No. 40361

STATE OF _____
COUNTY OF _____

This instrument was acknowledged before me on this _____ day of _____, 20____, by Thomas R. Balluff.

(Signed)

(Printed)
Notary Public, _____
My commission expires _____

CITY COUNCIL, CITY OF DAYTON, MINNESOTA

This plat of KWIK TRIP 1187 was approved and accepted by the City Council of the City of Dayton, Minnesota, at a regular meeting thereof held this _____ day of _____, 20____, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

City Council, City of Dayton, Minnesota

By: _____, Mayor By: _____, Clerk

RESIDENT AND REAL ESTATE SERVICES, Hennepin County, Minnesota

I hereby certify that taxes payable in 20____ and prior years have been paid for land described on this plat, dated this _____ day of _____, 20____.

Mark V. Chapin, County Auditor By: _____, Deputy

SURVEY DIVISION, Hennepin County, Minnesota

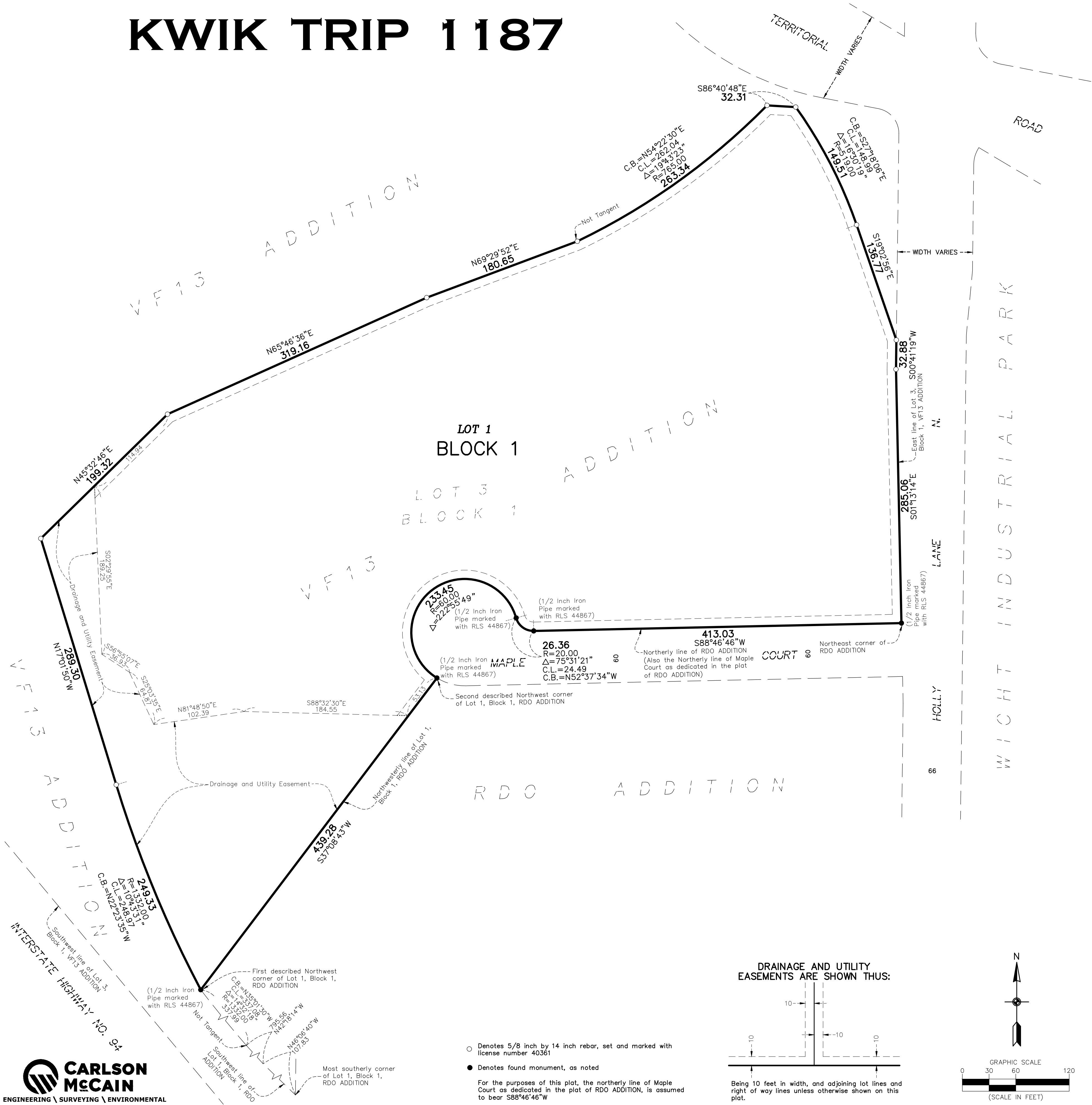
Pursuant to Minnesota Statutes, Section 383B.565 (1969), this plat has been approved this _____ day of _____, 20____.

Chris F. Mavis, County Surveyor By: _____

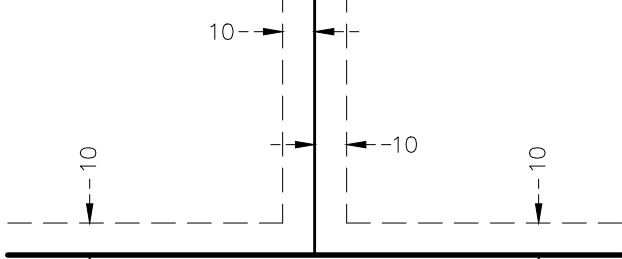
COUNTY RECORDER, Hennepin County, Minnesota

I hereby certify that the within plat of KWIK TRIP 1187 was recorded in this office this _____ day of _____, 20____, at _____ o'clock _____M.

_____, County Recorder By: _____, Deputy



DRAINAGE AND UTILITY
EASEMENTS ARE SHOWN THUS:



Being 10 feet in width, and adjoining lot lines and right of way lines unless otherwise shown on this plat.

- Denotes 5/8 inch by 14 inch rebar, set and marked with license number 40361
- Denotes found monument, as noted

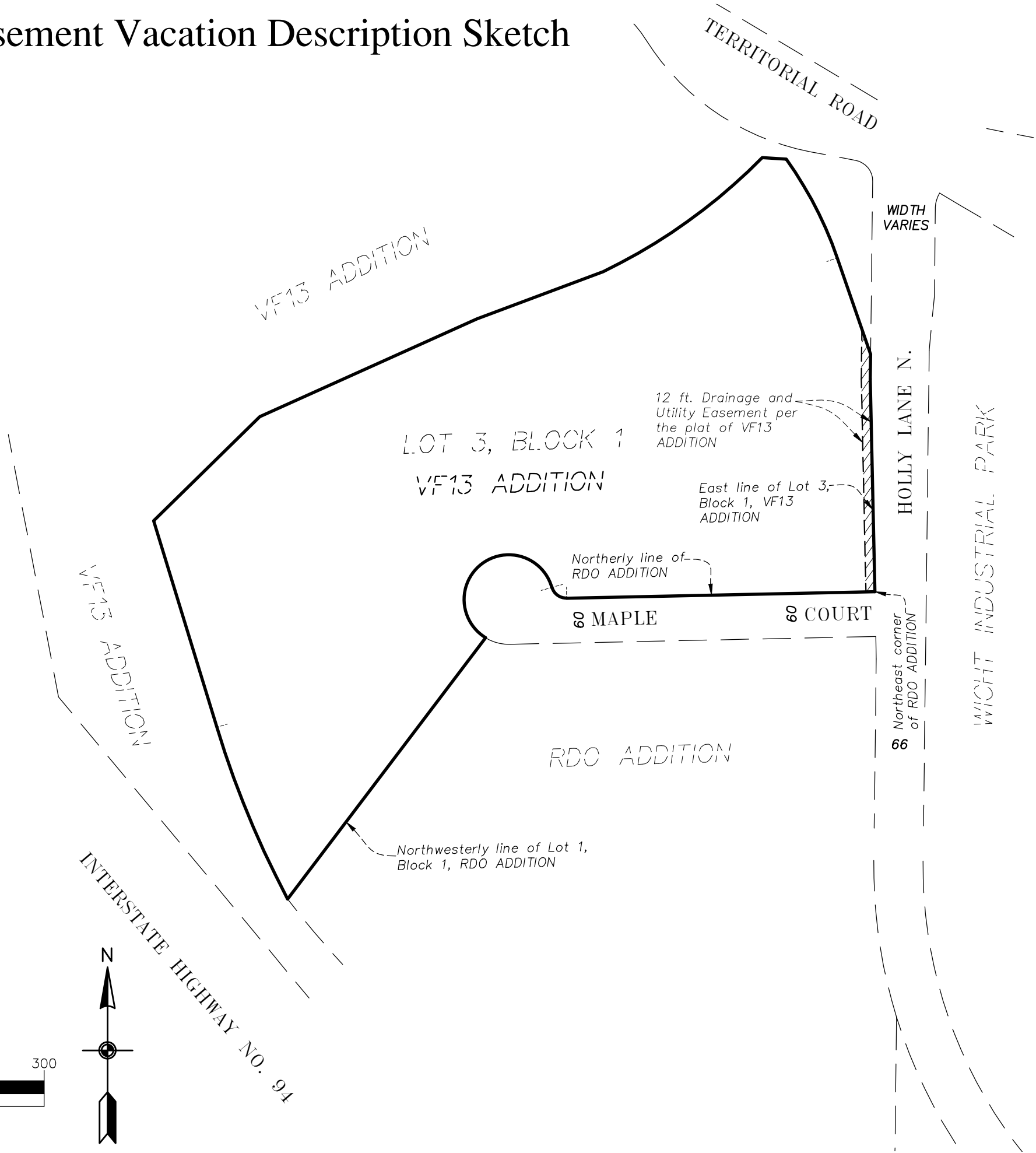
For the purposes of this plat, the northerly line of Maple Court as dedicated in the plat of RDO ADDITION, is assumed to bear S88°46'46" W

EASEMENT VACATION DESCRIPTION:

All of the drainage and utility easements, as created and dedicated in the plat of VF13 ADDITION, according to the recorded plat thereof, Hennepin County Minnesota, embraced within that part of Lot 3, Block 1, said VF13 ADDITION, described as follows:

Commencing at the most southerly corner of Lot 1, Block 1, RDO ADDITION, City of Dayton, Hennepin County, Minnesota; thence North 46°06'40" West, along the southwest line of said Lot 1, a distance of 107.83; thence North 42°18'14" West a distance of 795.56 feet; thence northwesterly 337.99 feet along the southwest line of said Lot 1 and a non-tangential curve concave to the northeast having a radius of 1332.00 feet, a central angle of 14°32'18", a chord bearing of North 35°01'30" West and a chord length of 337.08 feet, to the northwest corner of said Lot 1 and the true point of beginning; thence continue along said curve for a distance of 249.33 feet, a central angle of 10°43'31", a chord bearing of North 22°23'35" West and a chord length of 248.97 feet; thence North 17°01'50" West, tangent to last curve, a distance of 289.30 feet; thence North 45°32'46" East a distance of 199.32 feet; thence North 65°46'36" East a distance of 319.16 feet; thence North 69°29'52" East a distance of 180.65 feet; thence northeasterly 263.34 feet along a non-tangential curve concave to the northwest having a radius of 765.00 feet, a central angle of 19°43'23", a chord bearing of North 54°22'30" East and a chord length of 262.04 feet; thence South 86°40'48" East, not tangent to last curve, a distance of 32.31 feet; thence southeasterly 149.51 feet along a non-tangential curve concave to the southwest having a radius of 519.00 feet, a central angle of 16°30'19", a chord bearing of South 27°18'06" East and a chord length of 148.99 feet; thence South 19°02'56" East, tangent to last curve, a distance of 136.77 feet to the east line of said Lot 3; thence South 00°41'19" West, along the east line of said Lot 3, for a distance of 32.88 feet; thence South 01°13'14" East, along the east line of said Lot 3, for a distance of 285.06 feet to the northeast corner of said RDO ADDITION; thence South 88°46'46" West, along the northerly line of said RDO ADDITION, for a distance of 413.03 feet to a tangential curve concave to the northeast having a radius of 20.00 feet; thence westerly and northwesterly a distance of 26.36 feet, along the northerly line of said RDO ADDITION and along said curve, a central angle of 75°31'21", a chord bearing of North 53°27'34" West and a chord length of 24.49 feet to a curve concave to the southeast having a radius of 60.00 feet; thence northwesterly, westerly, southwesterly, southerly, and southeasterly, along the northerly line of said RDO ADDITION and along said curve, for a distance of 233.45 feet, a central angle of 222°55'49", a chord bearing of South 52°50'12" West and a chord length of 111.68 feet to the northwest corner of said Lot 1; thence South 37°08'43" West, not tangent to last curve and along the northwesterly line of said Lot 1, for a distance of 439.28 feet to the true point of beginning.

Easement Vacation Description Sketch



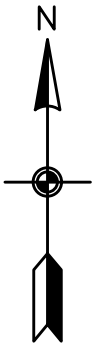
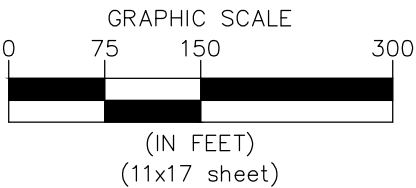
Denotes Easement Vacation Area

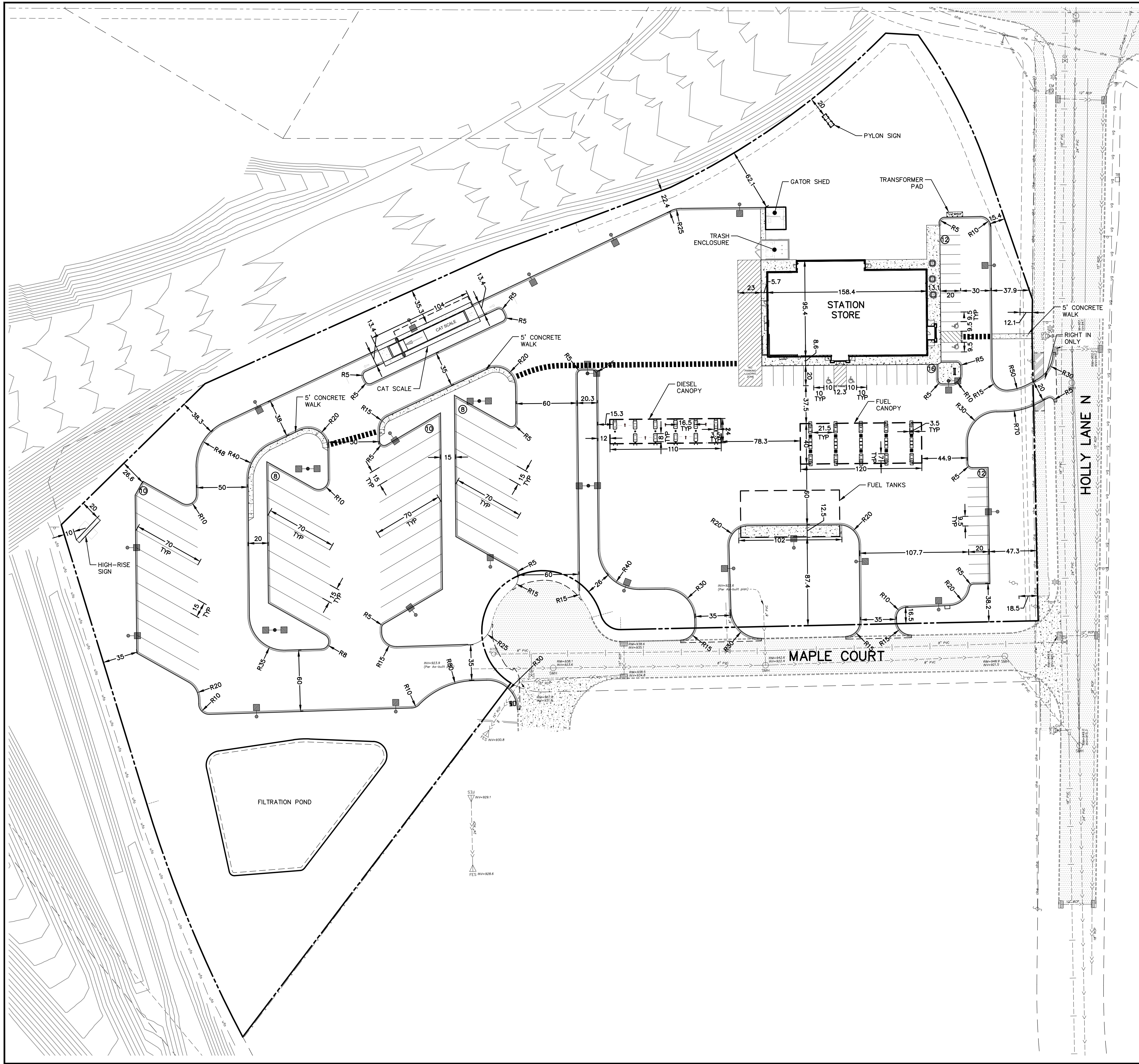


**CARLSON
McCAIN**

ENGINEERING
SURVEYING
ENVIRONMENTAL

3890 PHEASANT RIDGE DRIVE NE, SUITE 100, BLAINE, MN 55449
TEL 763.489.7900 \ FAX 763.489.7959 \ CARLSONMCCAIN.COM





PLAN LEGEND	
EXISTING	PROPOSED
CURB	
BITUMINOUS	
CONCRETE PAVEMENT	
CONCRETE WALK	
PROPERTY LINE	
EASEMENT LINE	
STORM SEWER	
SANITARY SEWER	
WATER MAIN	
UNDERGROUND GAS	
UNDERGROUND FIBER OPTIC	
OVERHEAD ELECTRIC	
FENCE	
SIGN	
POWER POLE	
SANITARY MANHOLE	
LIGHT POLE	
MAILBOX	
TELEPHONE BOX	
TELEVISION BOX	
GATE VALVE	
GUY WIRE	
HYDRANT	
HAND HOLE	
ELECTRIC METER	

SITE PLAN NOTES

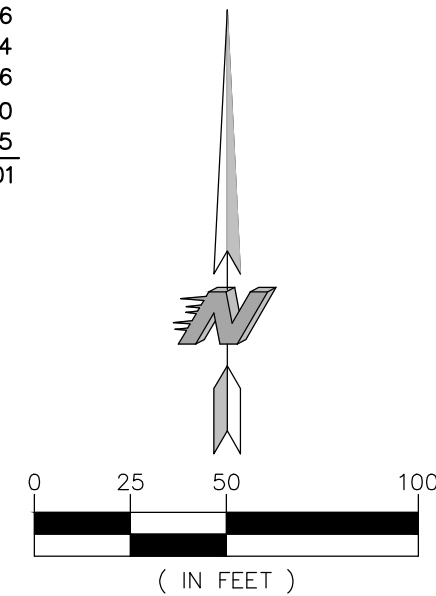
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- CONCRETE CURB AND GUTTER SHALL BE B612 UNLESS OTHERWISE NOTED.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO THE START OF SITE WORK. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF DISCREPANCIES OR VARIATIONS FROM THE PLAN.
- UNLESS OTHERWISE SHOWN ON THIS DRAWING, CONTRACTOR SHALL PROVIDE CONTROL JOINTS, CONSTRUCTION JOINT AND EXPANSION JOINTS IN SLAB ON GRADE, SIDEWALKS AND DRIVES PER THE FOLLOWING REQUIREMENTS:
CONTROL JOINT MAX. SPACING: WALKS-8" O.C.
ALL OTHERS-10" O.C.
SAW CUT CONTROL JOINTS MINIMUM 1/4 CONCRETE THICKNESS.
EXPANSION JOINT MAX. SPACING: WALKS-24" O.C.
*ALL OTHERS-40" O.C.
*ALL POINTS WHERE A CHANGE IN PAVEMENT THICKNESS OCCURS SHALL HAVE AN EXPANSION JOINT.
DOWELL ALL EXPANSION JOINTS: 24" O.C. MAX.
CONCRETE SEALER SHALL BE TK-26UV.

SITE DATA

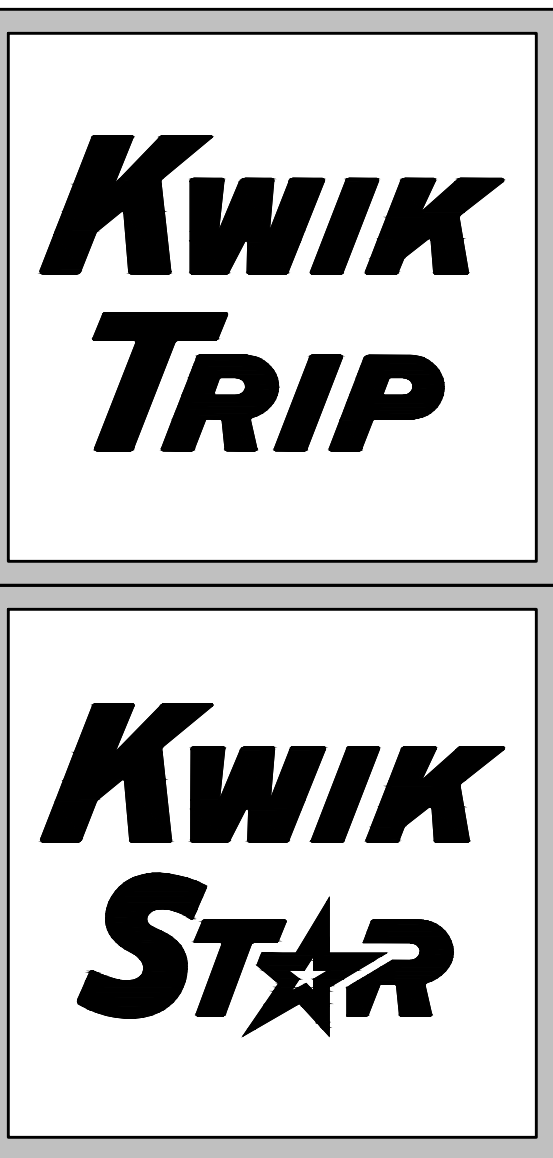
ZONING:	BP-BUSINESS PARK
PARCEL AREA:	447,509 SF
HARD SURFACE AREA:	
STATION STORE:	14,423 SF 3%
PAVEMENT:	233,959 SF 52%
TOTAL:	248,382 SF 55%
PERVIOUS SURFACE AREA:	199,127 SF 45%
BUILDING HEIGHTS:	
STATION STORE:	24.0 FT
FUEL CANOPIES:	15.5 FT

PARKING SUMMARY

STANDARD STALLS	36
HANDICAP STALLS	4
TRUCK STALLS	36
FUEL CANOPY STALLS	20
DIESEL CANOPY STALLS	5
TOTAL STALLS	101



BENCHMARKS	
1. MINNESOTA DEPARTMENT OF TRANSPORTATION GSID STATION #11201 (NAME: BRENNA MNDT RM 2) ELEVATION = 950.22 FT. (NAVD 88)	

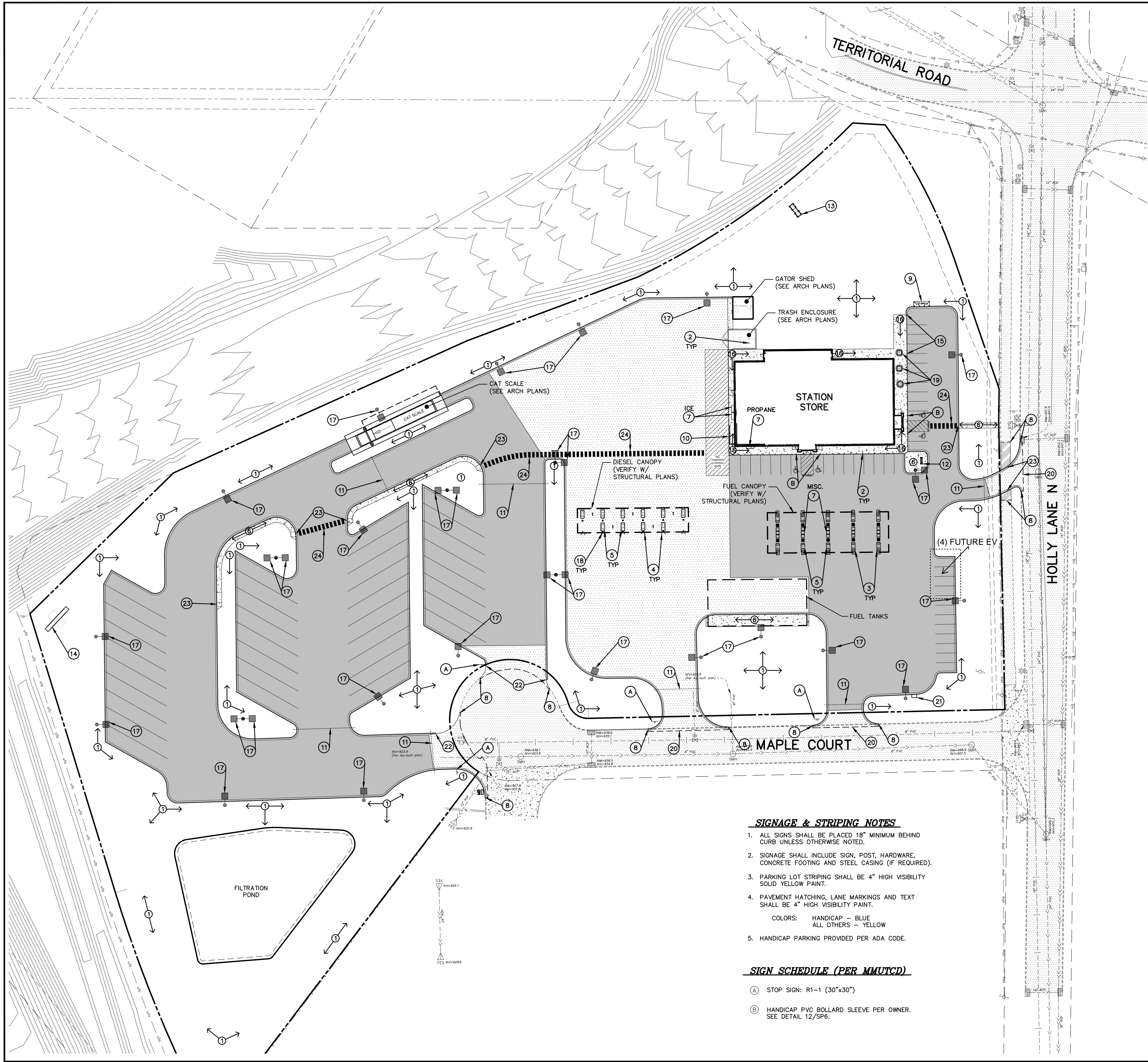


KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Name: Joseph T. Radach, P.E.
Signature: [Signature]
Date: 08/18/21 License #: 45889

SITE PLAN (LAYOUT)	
CONVENIENCE STORE #11187 WITH SIDE DIESEL	
MAPLE COURT & HOLLY LANE N DAYTON, MINNESOTA	
#	DATE DESCRIPTION
1	10/25/21 Per City Comments
2	
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DRAWN BY	JTR
SCALE	GRAPHIC
PROJ. NO.	9354-00
DATE	2021-08-18
SHEET	1187 SP2



PLAN LEGEND	
EXISTING	PROPOSED
CURB	BITUMINOUS
CONCRETE PAVEMENT	CONCRETE WALK
PROPERTY LINE	EASEMENT LINE
STORM SEWER	SANITARY SEWER
WATER MAIN	UNDERGROUND GAS
UNDERGROUND FIBER OPTIC	OVERHEAD ELECTRIC
FENCE	SIGN
POWER POLE	SANITARY MANHOLE
TELEPHONE BOX	TELEVISION BOX
GUY WIRE	HYDRANT
HAND HOLE	ELECTRIC METER

PLAN KEYNOTES

- LANDSCAPE AREA. SEE SHEET L1.
- 30" HEIGHT, 6" DIAMETER CONCRETE FILLED PIPE BOLLARD. SEE DETAIL 6/SP6.
- 36" HEIGHT, 6" DIAMETER CONCRETE FILLED PIPE BOLLARD. SEE DETAIL 7/SP6.
- 48" HEIGHT, 6" DIAMETER CONCRETE FILLED PIPE BOLLARD. SEE DETAIL 8/SP6.
- CONCRETE ISLAND WITH 6" EXPOSURE WITH FUEL DISPENSER. DISPENSER PER OWNER.
- 4" CONCRETE WALK.
- OUTDOOR MERCHANDISING.
- MATCH EXISTING CURB & GUTTER/SIDEWALK/PAVEMENT.
- TRANSFORMER LOCATION.
- TOTE SCREENING WALL. SEE ARCHITECTURAL PLANS.
- PVC IRRIGATION SLEEVE UNDER PAVEMENT. VERIFY WITH IRRIGATION PLAN FOR EXACT SIZE AND LOCATION BEFORE INSTALLATION.
- BIKE RACK PER OWNER.
- PYLON SIGN.
- HIGH-RISE SIGN.
- PAINT FACE OF CURB TRANSITION WITH HIGH VISIBILITY YELLOW PAINT.
- 6" INTEGRAL CONCRETE WALK/CURB.
- SITE AREA LIGHT WITH CONCRETE BASE PER DETAIL 5/SP6.
- DIESEL TRUCK AIR MACHINE.
- PICNIC TABLE PER OWNER.
- CONCRETE VALLEY GUTTER PER CITY PLATE STR-09.
- FREE AIR MACHINE.
- 3 FT TAPER OUT CURB.
- PEDESTRIAN CURB RAMP, PER CITY PLATE STR-16.
- CROSS-WALK MARKING

SIGNAGE & STRIPING NOTES

- ALL SIGNS SHALL BE PLACED 18" MINIMUM BEHIND CURB UNLESS OTHERWISE NOTED.
- SIGNAGE SHALL INCLUDE SIGN, POST, HARDWARE, CONCRETE FOOTING AND STEEL CASING (IF REQUIRED).
- PARKING LOT STRIPING SHALL BE 4" HIGH VISIBILITY SOLID YELLOW PAINT.
- PAVEMENT HATCHING, LANE MARKINGS AND TEXT SHALL BE 4" HIGH VISIBILITY PAINT.
COLORS: HANDICAP - BLUE
ALL OTHERS - YELLOW
- HANDICAP PARKING PROVIDED PER ADA CODE.

SIGN SCHEDULE (PER MMUTCD)

- Ⓐ STOP SIGN: R1-1 (30"x30")
- Ⓑ HANDICAP PVC BOLLARD SLEEVE PER OWNER. SEE DETAIL 12/SP6.

PLAN LEGEND

EXISTING	PROPOSED
CURB	BITUMINOUS
CONCRETE PAVEMENT	CONCRETE WALK
PROPERTY LINE	EASEMENT LINE
STORM SEWER	SANITARY SEWER
WATER MAIN	UNDERGROUND GAS
UNDERGROUND FIBER OPTIC	OVERHEAD ELECTRIC
FENCE	SIGN
POWER POLE	SANITARY MANHOLE
TELEPHONE BOX	TELEVISION BOX
GUY WIRE	HYDRANT
HAND HOLE	ELECTRIC METER

BENCHMARKS

- MINNESOTA DEPARTMENT OF TRANSPORTATION
GSID STATION #11201
(NAME: BRENNA MNDT RM 2)
ELEVATION = 950.22 FT. (NAVD 88)



**Kwik
TRIP**

**Kwik
Star**

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McCain**

3890 PHEASANT RIDGE DRIVE NE, SUITE 100, BLAINE, MN 55449
TEL 763.489.7900 \ FAX 763.489.7999 \ CARLSONMCCAIN.COM

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name: Joseph T. Radach, P.E.
Signature: *[Signature]*
Date: 08/18/21 License #: 45889

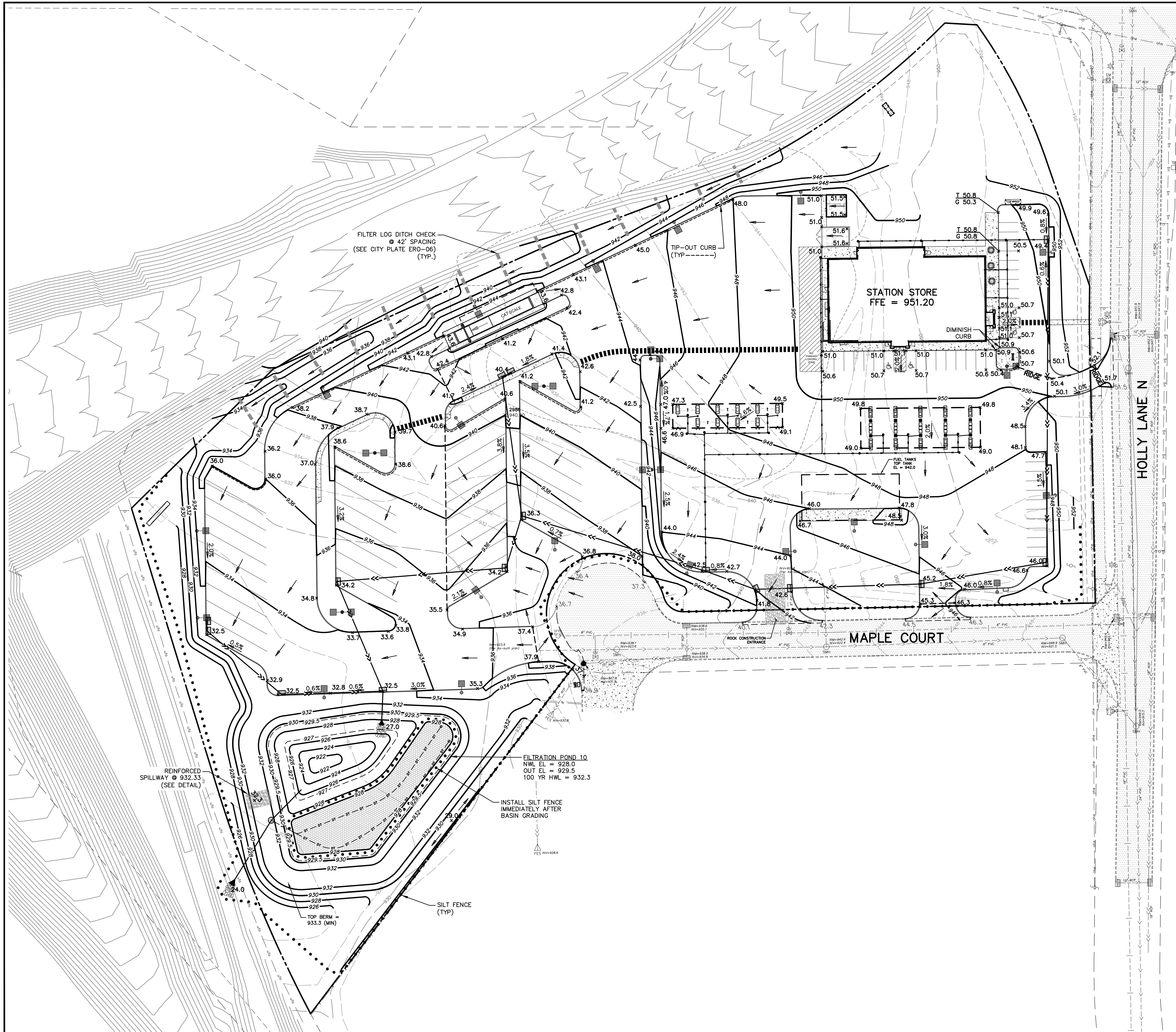
SITE PLAN (KEYNOTE)

CONVENIENCE STORE #11187
WITH SIDE DIESEL

MAPLE COURT & HOLLY LANE N
DAYTON, MINNESOTA

#	DATE	DESCRIPTION
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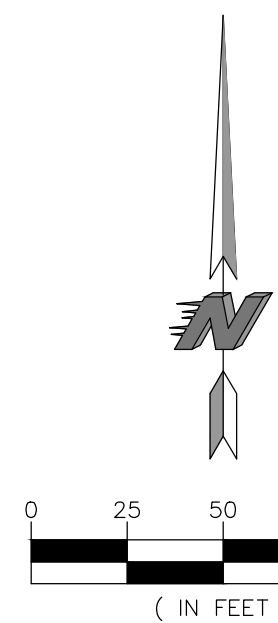
DRAWN BY: JTR
SCALE: GRAPHIC
PROJ. NO.: 9354-00
DATE: 2021-08-18
SHEET: 1187 SP2.1



PLAN LEGEND	
EXISTING	PROPOSED
CURB	
BITUMINOUS	
CONCRETE PAVEMENT	
CONCRETE WALK	
GRAVEL	
PROPERTY LINE	
EASEMENT LINE	
STORM SEWER	
SANITARY SEWER	
WATER MAIN	
UNDERGROUND GAS	
UNDERGROUND FIBER OPTIC	
OVERHEAD ELECTRIC	
FENCE	
COMMUNICATIONS BOX	
POWER POLE	
SANITARY MANHOLE	
LIGHT POLE	
SIGN	
TRANSMISSION TOWER	
GAS VALVE	
WATER VALVE	
GUY WIRE	
HYDRANT	
5' CONTOUR	
1' CONTOUR	
SPOT ELEVATION (CURB ELEVATIONS ARE TO GUTTER LINE)	
SILT FENCE	
DITCH CHECK	

- GOVERNING SPECIFICATIONS**
- THE LATEST EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION".
 - THE LATEST EDITION OF THE CITY OF DAYTON STANDARD DETAILS AND SPECIFICATIONS.
 - THE LATEST EDITION OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD).
 - THE LATEST EDITION OF THE CITY ENGINEERS' ASSOCIATION OF MINNESOTA (CEAM) STANDARD SPECIFICATIONS.

- GRADING NOTES**
- SILT FENCE AND EXISTING CATCH BASIN INLET PROTECTION SHALL BE INSTALLED PRIOR TO GRADING CONSTRUCTION, AND SHALL BE MAINTAINED UNTIL SITE HAS BEEN STABILIZED.
 - CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND PAVEMENTS PRIOR TO THE START OF GRADING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF DISCREPANCIES OR VARIATIONS FROM THE PLAN.
 - CONTRACTOR SHALL STRIP, STOCKPILE AND RESPREAD SUFFICIENT TOPSOIL TO PROVIDE A MINIMUM OF 4" OF TOPSOIL OVER ALL DISTURBED AREAS THAT WILL BE SODDED, SEEDDED OR LANDSCAPED.



BENCHMARKS	
1. MINNESOTA DEPARTMENT OF TRANSPORTATION GSID STATION #11201 (NAME: BRENNIA MNDT RM 2) ELEVATION = 950.22 FT. (NAVD 88)	



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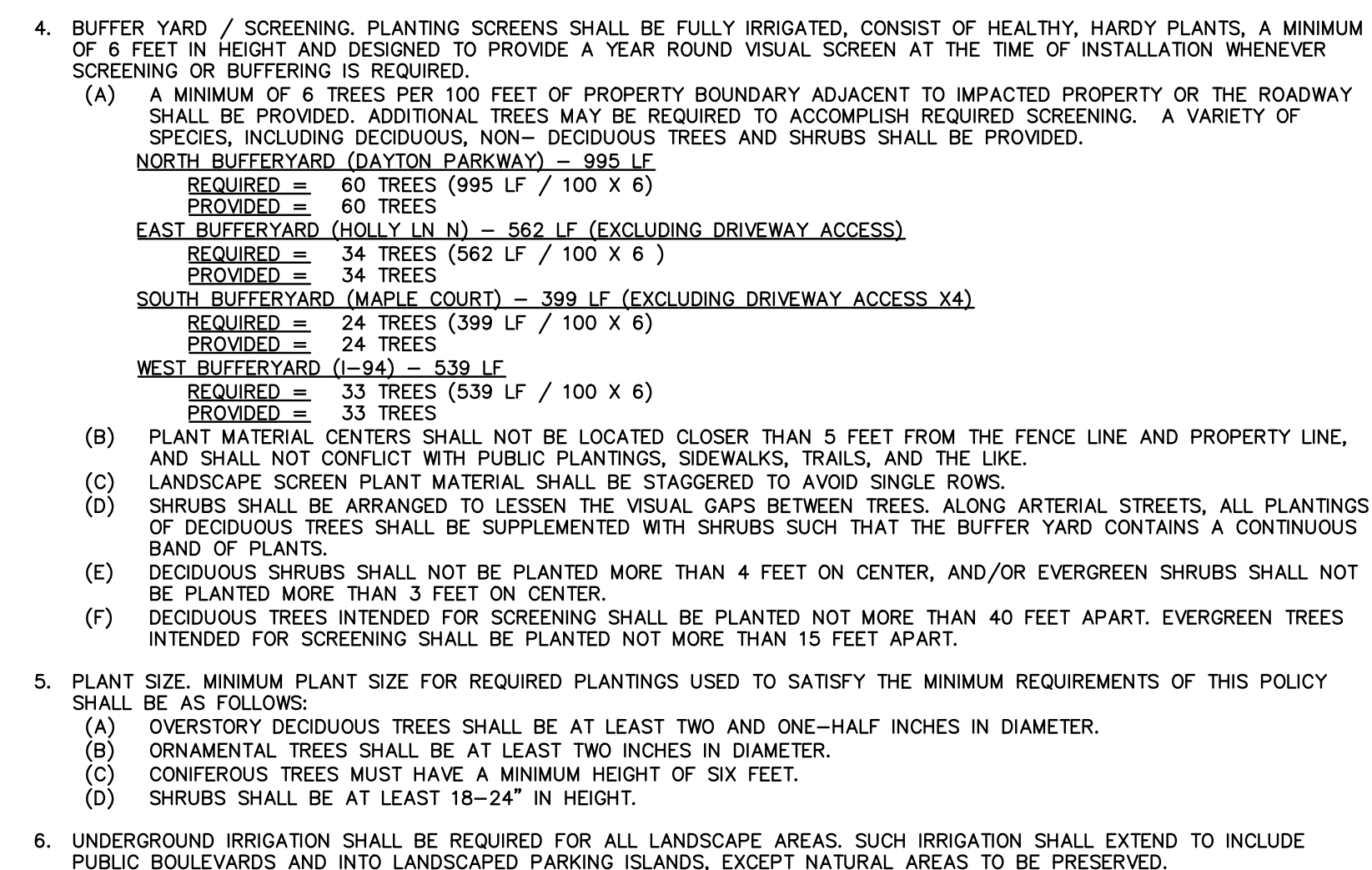
Name: Joseph T. Radach, P.E.
Signature: *Joseph T. Radach*
Date: 08/18/21 License #: 45889

GRADING & EROSION
CONTROL PLAN
CONVENIENCE STORE #1187
WITH SIDE DIESEL
MAPLE COURT & HOLLY LANE N
DAYTON, MINNESOTA

#	DATE	DESCRIPTION
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SHEET

1187 SP3



1. MINIMUM REQUIRED PLANTING: THE LANDSCAPE PLAN DESIGN SHALL, AT A MINIMUM, PROVIDE AT LEAST 3 OF THE FOLLOWING REQUIRED NUMBERS OF TREES AND SHRUBS IN ADDITION TO ANY TREES AND SHRUBS REQUIRED FOR SCREENING:

(A) ONE OVER-STORY TREE PER 3,000 SQUARE FEET OF OPEN AREA.
REQUIRED = 57 TREES (170,400 SF OPEN AREA / 3,000)
PROVIDED = 57 TREES

(B) ONE ORNAMENTAL TREE PER 1,500 SQUARE FEET OF OPEN SPACE.
REQUIRED = 114 TREES (170,400 SF OPEN AREA / 1,500)
PROVIDED = 114 TREES

(C) ONE EVERGREEN TREE PER 3,000 SQUARE FEET OF OPEN AREA.
REQUIRED = 57 TREES (170,400 SF OPEN AREA / 3,000)
PROVIDED = 57 TREES

(D) ONE DECIDUOUS OR EVERGREEN SHRUB PER 100 SQUARE FEET OF OPEN AREA.
REQUIRED = 1704 SHRUBS (170,400 SF OPEN AREA / 100)
PROVIDED = 557 SHRUBS

2. HEAT ISLAND REDUCTION: AT LEAST 1 OVER-STORY TREE SHALL BE PLANTED FOR EVERY 10 PARKING STALLS ON SITE. TO SATISFY THIS REQUIREMENT, THE TREE MUST BE LOCATED AT LEAST 4 FEET AND WITHIN 10 FEET OF A CURB ADJACENT TO ANY INTERNAL PARKING OR DRIVE AREA. THE TREES SHALL COUNT TOWARD MEETING THE OVERALL SITE GREEN SPACE AND LANDSCAPING REQUIREMENTS.

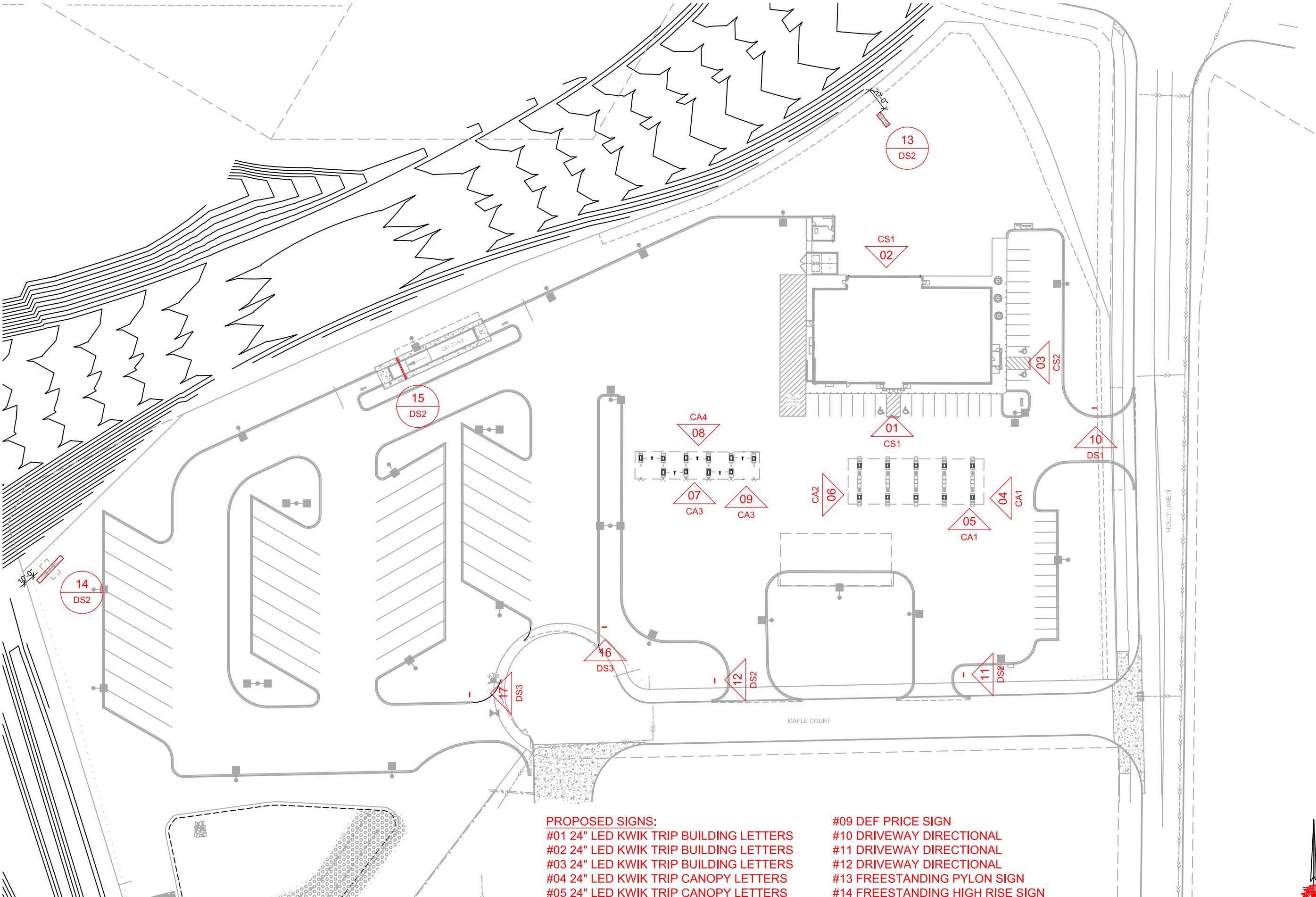
REQUIRED = 8 TREES (76 STALLS / 10)
PROVIDED = 8 TREES

3. LANDSCAPE REQUIREMENTS SPECIFIC TO B-3/B-4 GENERAL BUSINESS DISTRICT:

(A) AT LEAST 25% OF THE LAND AREA SHALL BE SOODED AND LANDSCAPED WITH APPROVED GROUND COVER, SHRUBBERY AND TREES.
AREA REQUIRED = 111,878 SF (447,509 SF LOT 1 AREA * .25)
AREA PROVIDED = 170,400 SF (38%)

(B) AT LEAST 3% OF THE INTERNAL PARKING AREA SHALL BE LANDSCAPED. THIS AREA IS COUNTED AS PART OF THE OVERALL REQUIRED LANDSCAPE AREA.
AREA REQUIRED = 7,077 SF (235,906 SF PARKING AREA * .03)
AREA PROVIDED = 41,506 SF (17.7%)

[illegible]



SITE PLAN
1" = 80'-0"

- PROPOSED SIGNS:
- #01 24" LED KWIK TRIP BUILDING LETTERS
 - #02 24" LED KWIK TRIP BUILDING LETTERS
 - #03 24" LED KWIK TRIP BUILDING LETTERS
 - #04 24" LED KWIK TRIP CANOPY LETTERS
 - #05 24" LED KWIK TRIP CANOPY LETTERS
 - #06 24" LED KWIK TRIP CANOPY LETTERS
 - #07 18" LED DIESEL ENTER CANOPY SIGN
 - #08 24" LED DIESEL EXIT CANOPY SIGN
 - #09 DEF PRICE SIGN
 - #10 DRIVEWAY DIRECTIONAL
 - #11 DRIVEWAY DIRECTIONAL
 - #12 DRIVEWAY DIRECTIONAL
 - #13 FREESTANDING PYLON SIGN
 - #14 FREESTANDING HIGH RISE SIGN
 - #15 CAT SCALE SIGN
 - #16 DRIVEWAY DIRECTIONAL
 - #17 DRIVEWAY DIRECTIONAL

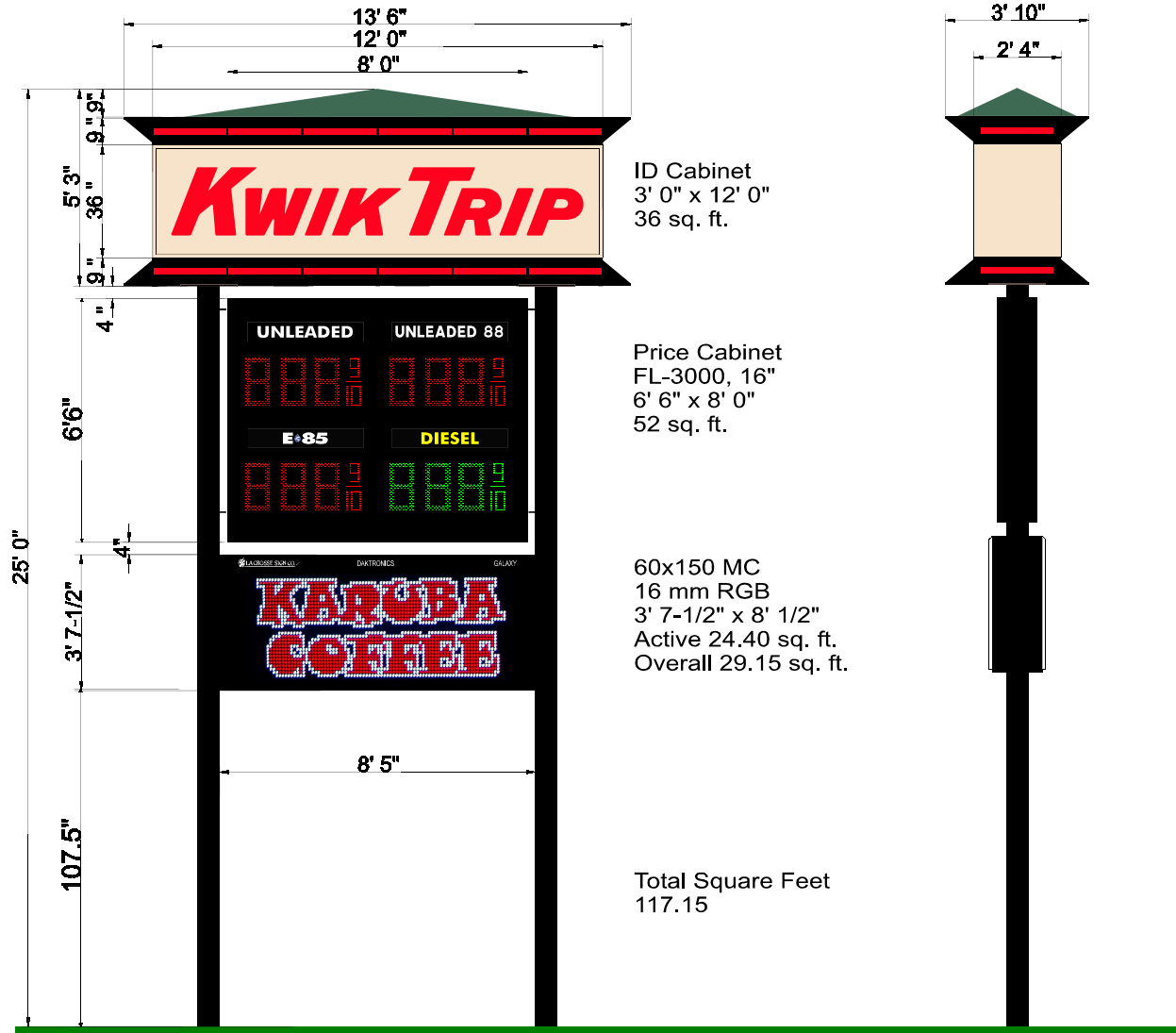


KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

SITE PLAN		
CONVENIENCE STORE #1187		
W/ SIDE DIESEL		
MAPLE COURT DAYTON, MN		
#	DATE	DESCRIPTION
△	2021 10/22	ADDED SIGN 16 & 17
DRAWN BY		KMK
SCALE		MULTIPLE
PROJ. NO.		0001
DATE		2021-08-18
SHEET		SP1

DOUBLE FACE PYLON

1187 Dayton, MN



Approved by: _____ Date: _____ Landlord: _____ Date: _____

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DESIGN

SALES

FILE

COLOR KEY

*COLORS ON SKETCH ARE ONLY A REPRESENTATION.
ACTUAL COLOR OF FINISHED PRODUCT MAY DIFFER



1450 Oak Forest Drive • Onalaska, WI 54650 • 608-781-1450
2242 Mustang Way • Madison, WI 53718 • 608-222-5353
2502 Melby Street • Eau Claire, WI 54703 • 715-835-6189

Drawing by: Bryan Cullen

Sign Type: Pylon

Date Created: 4-7-17

Last Modified:

Scale: 3/16" = 1'

Job Name: Kwik Trip

Job Address:

Salesperson: Cindy Bluske

Job Number:

Revision Number:

Job File Location:

S:\1 - Kwik Trip\

New Store\Design

1 NA 208080 Beige

2 Black S/G paint

3 #2283 Red Acrylic

4 White of Acrylic

5 Red LED

6 NA 307880 Hemlock Green

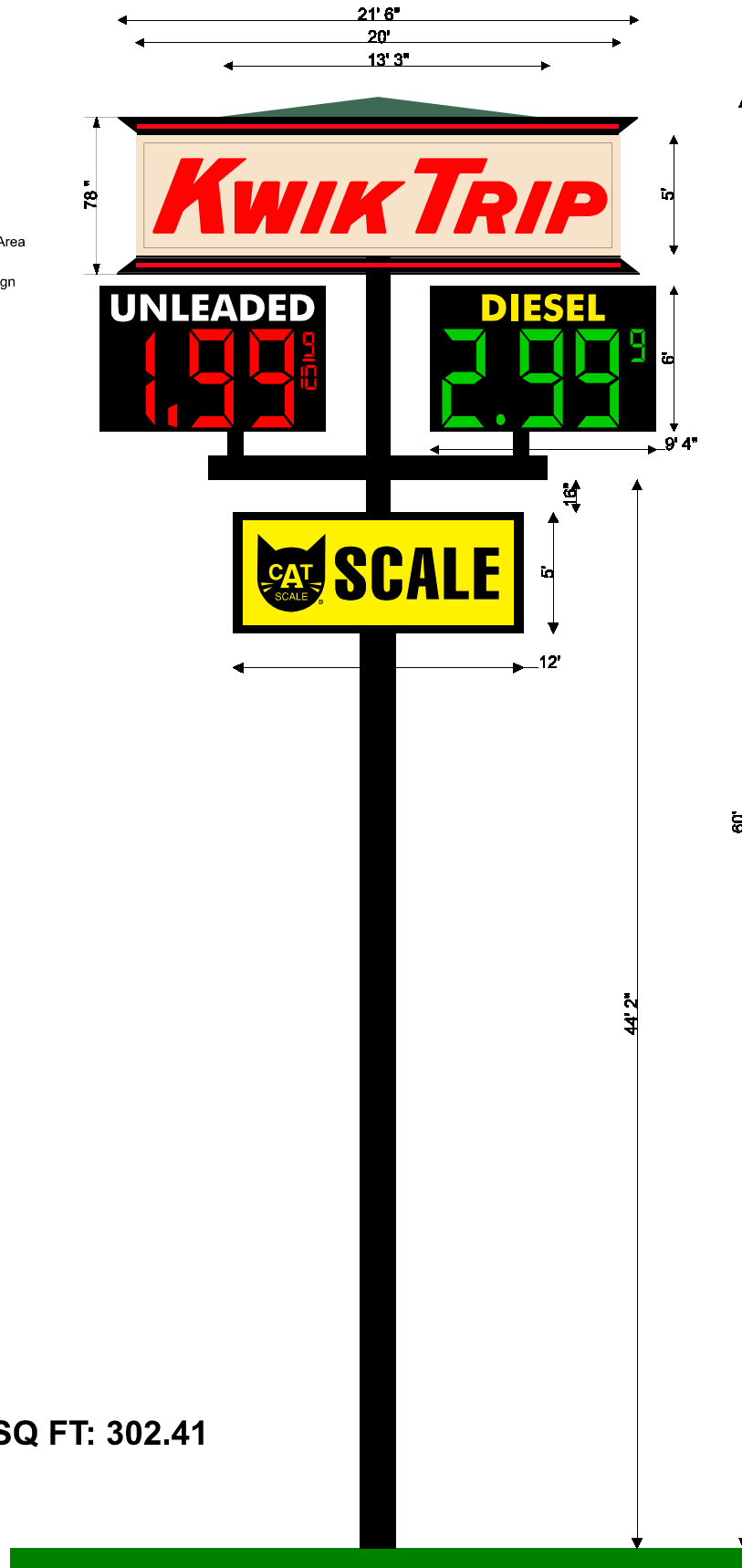
7 Green LED

8 Black (230-22)

9 Yellow (230-015)

10 Blue (230-167)

- 139.75 sq. ft.
I.D. Panel area
- 48" Pricers
51.33 sq. ft. each
102.66 Total Pricer Area
- 60 sq. ft.
Scale Illuminated Sign



TOTAL SQ FT: 302.41



FACES FOR 5 x 20 SIGN ARE 3M PANAFLEX 946-015 YELLOW SUBSTRATE WITH 3M SCOTCHCAL VINYL GRAPHICS APPLIED TO SURFACE.

SPECIAL CAT SCALE 5 X 20 D.F. SIGN

CAT SCALE, WALCOTT, IA SCALE 1/4" = 1'-0" DSN #404030P1

EAGLE SIGN®

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FRONT RIGHT VIEW



REAR RIGHT VIEW



FRONT LEFT VIEW



REAR LEFT VIEW



FRONT ELEVATION

**Kwik
TRIP**

**Kwik
STAR**

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EXTERIOR ELEVATIONS
GEN 3 LARGE TRAVEL CENTER



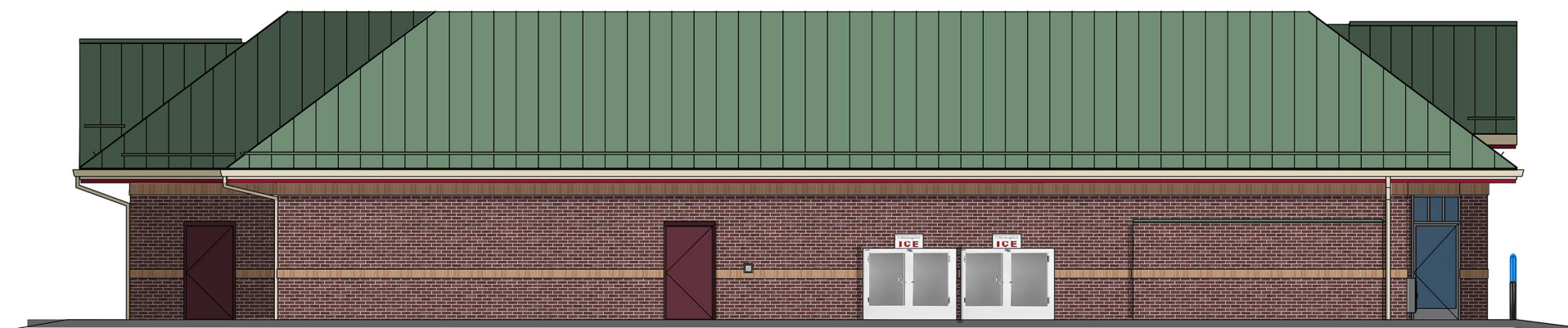
1 FRONT ELEVATION



2 RIGHT ELEVATION



3 REAR ELEVATION



4 LEFT ELEVATION



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1 FRONT ELEVATION



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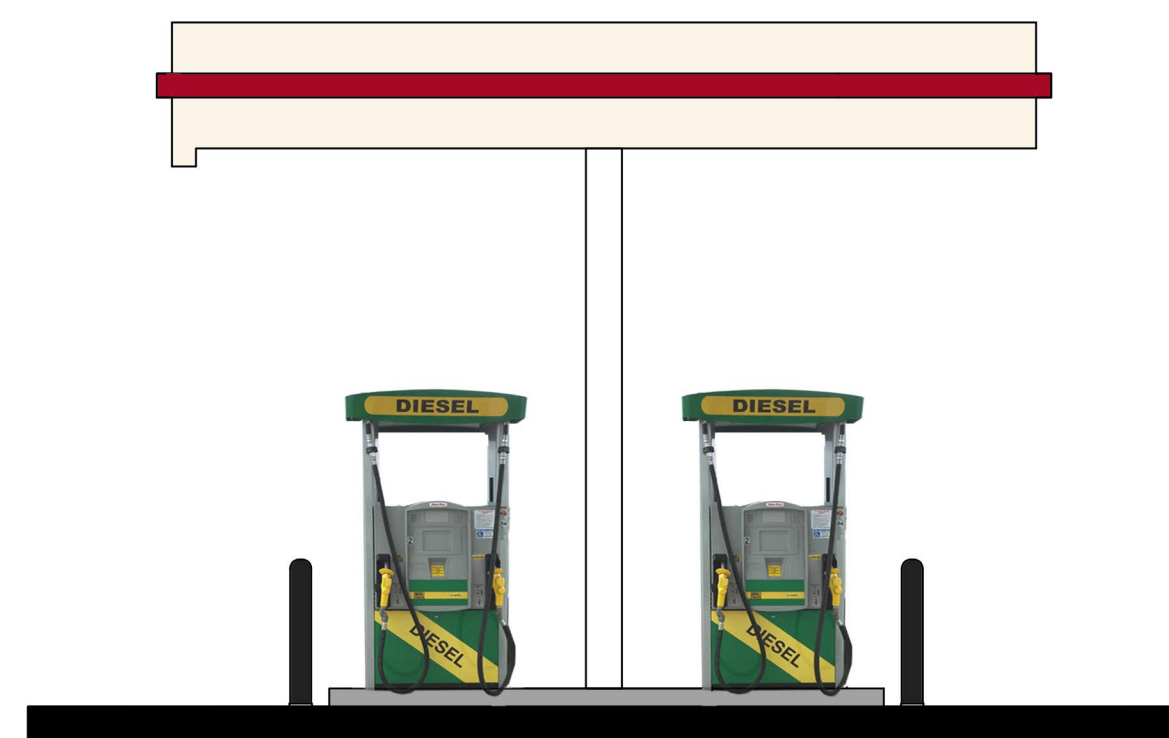
10 MPD

2 SIDE ELEVATION

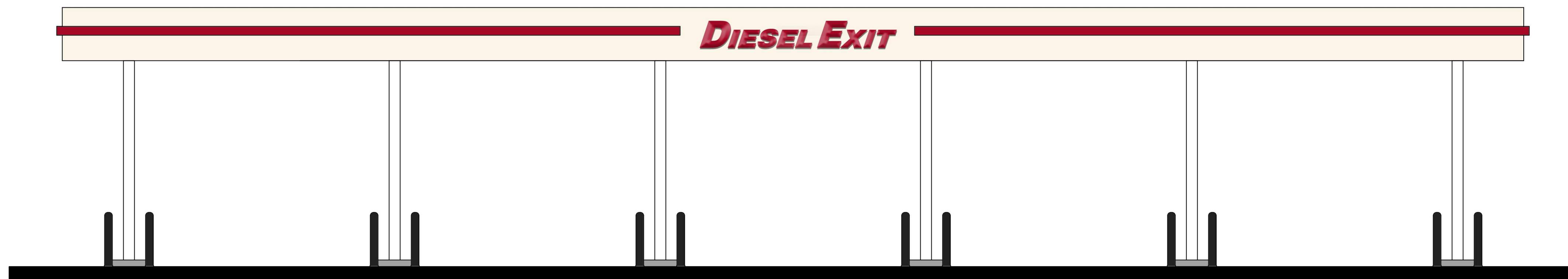




1 FRONT ELEVATION



2 SIDE ELEVATION

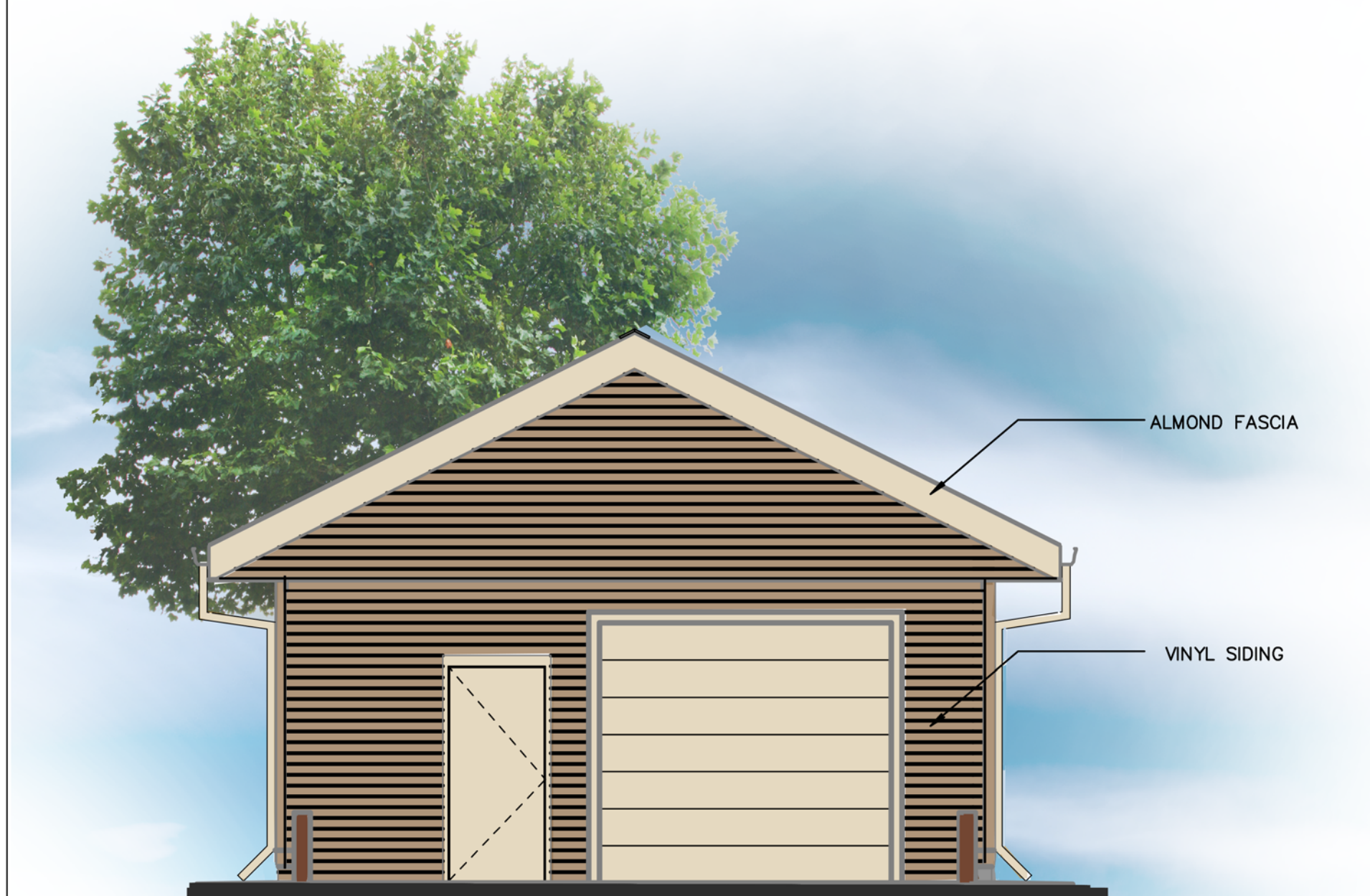


3 REAR ELEVATION



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5 LANE DIESEL

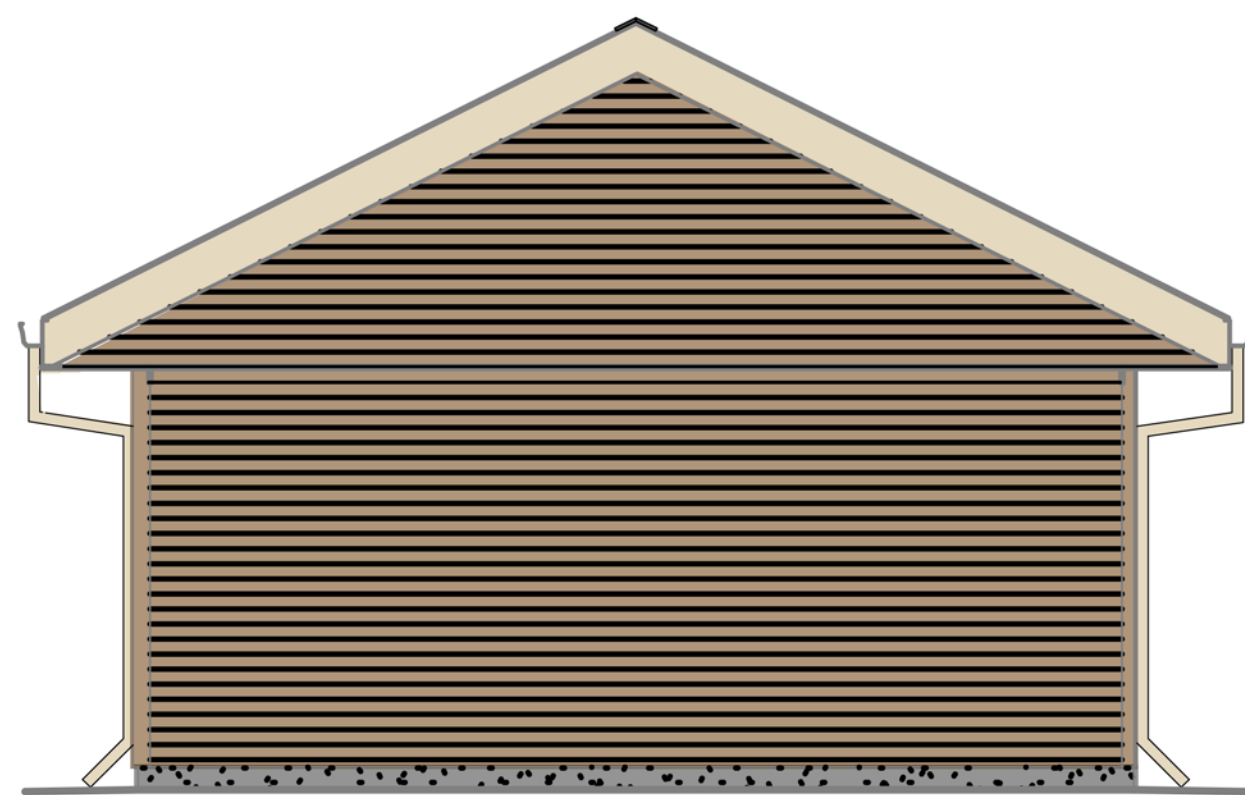


ALMOND FASCIA

VINYL SIDING

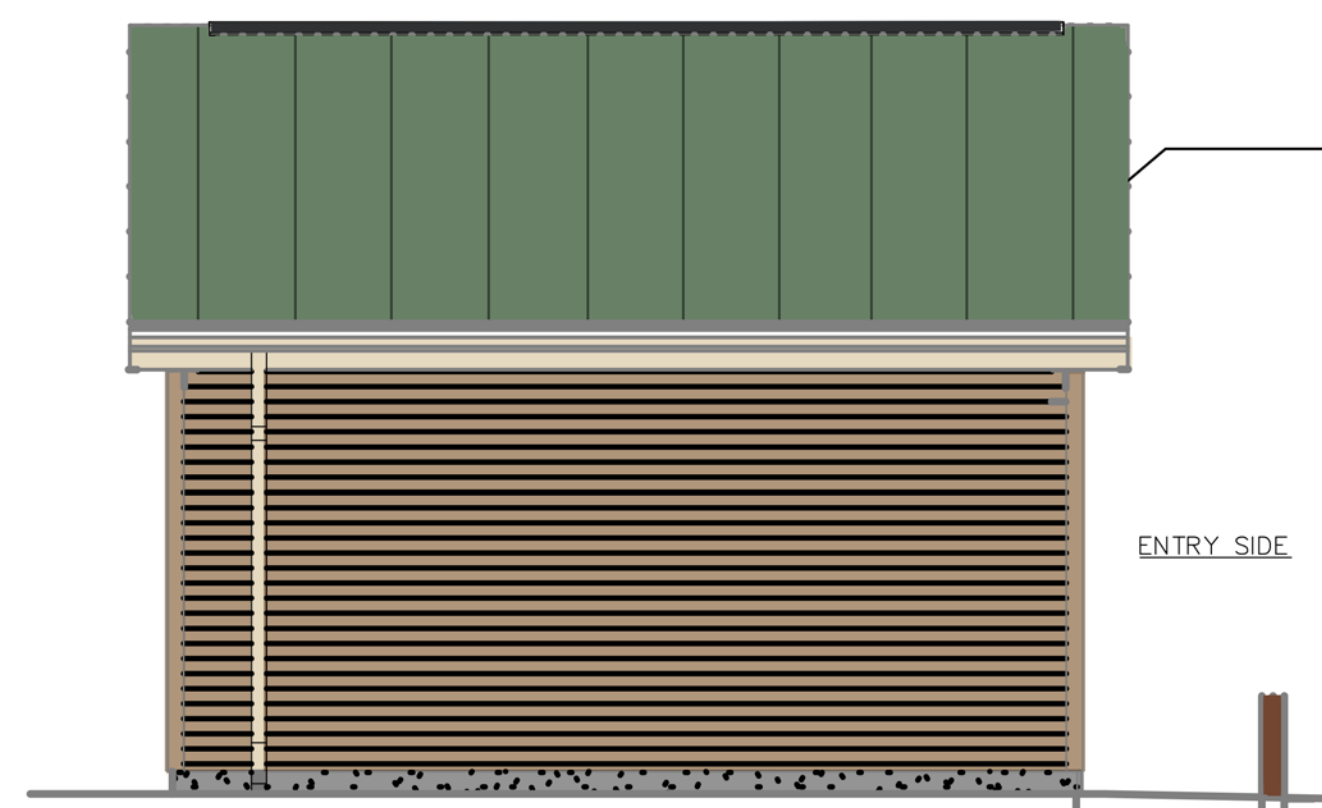
1

FRONT ELEVATION
1/4" = 1'-0"



2

BACK ELEVATION
1/4" = 1'-0"



GREEN STANDING
SEAM METAL
ROOFING

ENTRY SIDE

3

LEFT/RIGHT ELEVATIONS
1/4" = 1'-0"

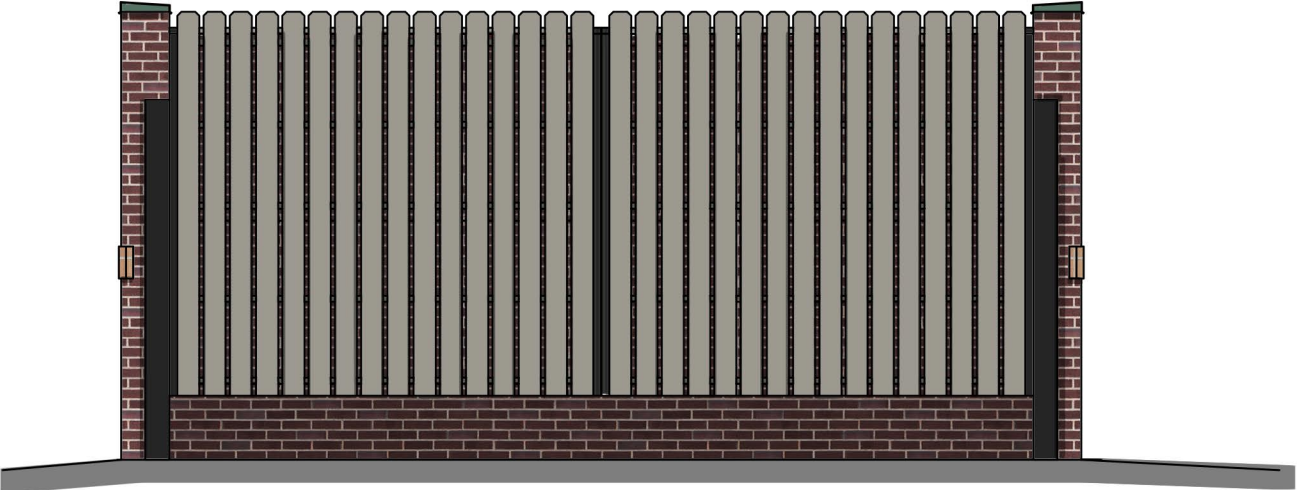
VANTAGE
ARCHITECTS ▴ INC

750 N. Third Street ▴ La Crosse, WI 54601
Ph (608) 784-2729 Fax (608) 784-2826

Kwik
TRIP

Kwik
STAR

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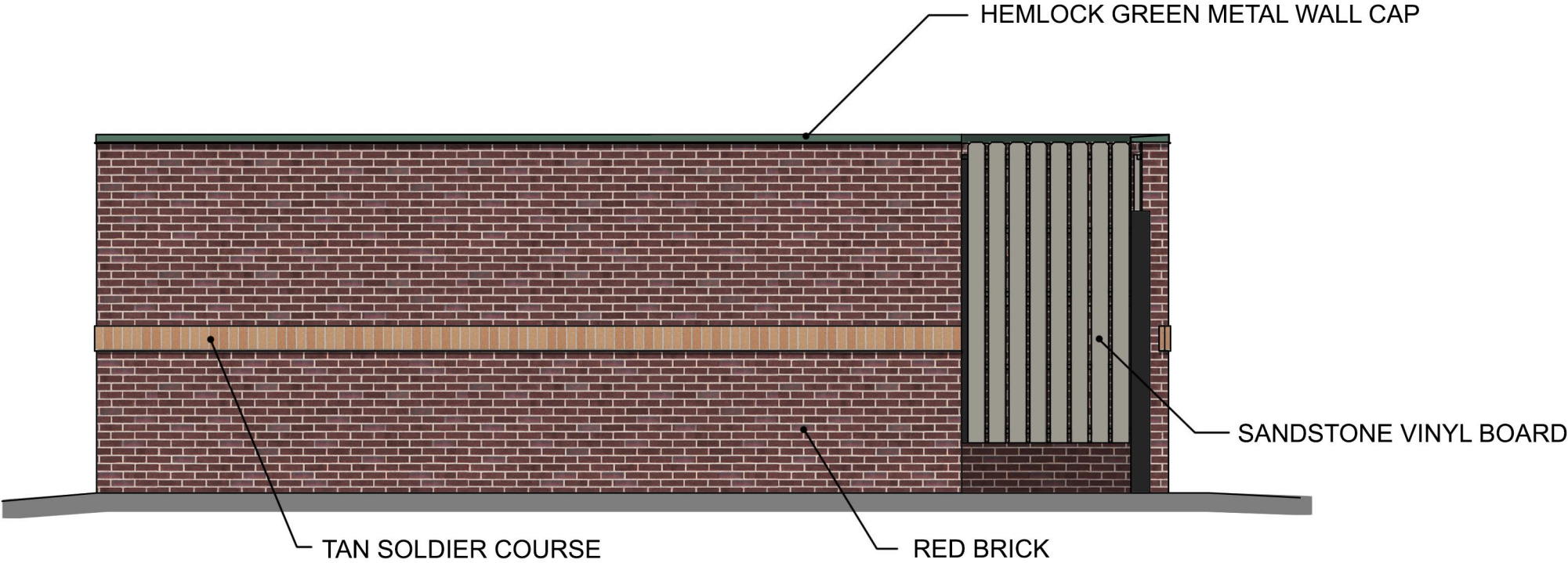


TRASH ENCLOSURE - FRONT ELEVATION

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TRASH ENCLOSURE - SIDE ELEVATION