

PLANNING COMMISSION AGENDA

Thursday, November 2, 2023

CITY OF DAYTON, MINNESOTA

12260 So. Diamond Lake Road, Dayton, MN 55327

REGULAR MEETING OF THE PLANNING COMMISSION - 6:30 P.M.

To Participate in the Meeting, please see cityofdaytonmn.com Calendar for Zoom Invitation.

6:30 I. **CALL TO ORDER**

6:30 II. **PLEDGE OF ALLEGIANCE**

6:35 III. **APPROVAL OF AGENDA**

A. Swearing in Commissioner Nick Preisler

6:35 IV. **CONSENT AGENDA**

These routine or previously discussed items are enacted with one motion. Note: Commissioners absent from previous meetings may still vote to approve minutes.

A. Planning Commission Minutes for 10-05-2023

6:35 V. **OPEN FORUM**

Public comments are limited to 3 minutes for non-agenda items; state your name and address; No Commission action will be taken, and items will be referred to staff. Group commenters are asked to have one main speaker.

6:40 VI. **COUNCIL UPDATE**

A. October 10th CC Meeting

B. October 24th CC Meeting

C. Other

6:45 VII. **PUBLIC HEARINGS**

A. Opus Rezoning, Site Plan and Administrative Subdivision

7:00 VIII. **NEW BUSINESS**

A. Discussion of Planning Commission priorities

7:30 IX. **NOTICES AND ANNOUNCEMENTS**

A. The next Regular Planning Commission Meeting is tentatively scheduled for December 6, 2023 at 6:30pm.

B. Dayton Parkway Master Plan Preference Survey:

<https://www.surveymonkey.com/r/KRFZTBT>

7:35 X. **ADJOURNMENT**

The City of Dayton's mission is to promote a thriving community and to provide residents with a safe and pleasant place to live while preserving our rural character, creating connections to our natural resources, and providing customer service that is efficient, fiscally responsible, and responsive.

I. CALL TO ORDER

DeMuth called the October 5, 2023 Planning Commission Meeting to order at 6:30 p.m.

Present: DeMuth, Browen, Crosland, and Maltzen

Absent:

Also in Attendance: Mayor, Dennis Fisher; and Jon Sevald, Community Development Director

II. PLEDGE OF ALLEGIANCE

III. APPROVAL OF AGENDA

MOTION by Browen, second by Crosland, to approve the agenda as presented. The motion carried unanimously.

IV. CONSENT AGENDA

A. Planning Commission Minutes for 09-07-2023

MOTION by Browen, second by Crosland, to approve the Consent Agenda as presented. The motion carried unanimously.

V. OPEN FORUM

No one was present for Open Forum.

VI. COUNCIL UPDATE

A. September 12, 2023, City Council Meeting

Fisher updated the Commission on the Chaney property.

Fisher stated that the Planning Commission application deadline was pushed out in hopes of gaining more candidates.

Fisher stated that the preliminary tax levy is locked in.

B. September 26, 2023, City Council Meeting

Fisher updated the Commission on the approval of some painted striping on Deerwood Lane. The east side of the road is designated for parking, and there will be no parking on the west side.

Fisher stated that there was some discussion regarding the pavement on 152nd. The Council settled on the process of mill and overlay.

DeMuth requested that Sevald add an area for Staff Updates on future Agendas. Sevald agreed and stated that for this particular meeting, the updates will be made during the Notices and Announcements portion of the Agenda.

DeMuth asked Fisher if there had been any additional applications for the vacant seat on the Planning Commission. Fisher stated that seven applications have been received.

VII. PUBLIC HEARINGS

A. Application by Opus for Rezoning, a Site Plan, and Administrative Subdivision

Sevald stated that the Applicant requested to table this item due to some drainage issues that need to be resolved.

MOTION by Maltzen, second by Browen, to table the application by Opus for Rezoning, Site Plan, and Administrative Subdivision. The motion carried unanimously.

B. Application by River Overlook for a Preliminary and Final Plat on 12606 Overlook Road

Sevald stated that this is an existing house on the Mississippi River. The owner has proposed to subdivide the property. Because of the location, there are extra set-back rules that must be addressed. The existing house was built in 1955. Utilities are present on the property.

Browen asked if the current house meets the set-back conditions. The answer is yes.

DeMuth invited the applicant to come forward and explain his project.

Bill Ramsey, 2117 Avenue East, Champlin, came forward to answer questions from the Planning Commission.

Maltzen stated that he lives about a mile away from the property in question and had spoken with some of the neighbors. No one appears to have any concerns.

DeMuth inquired about the overhead utilities on the property. Mr. Ramsey stated that he has coordinated with Nexus Energy to go from overhead to underground. The poles will be removed.

Mr. Ramsey also stated that the existing home has a permit for an additional bathroom in the basement and an egress window in order to bring the house up to today's standards.

DeMuth opened the Public Hearing at 6:47 p.m.

No one was present for the public hearing.

DeMuth closed the Public Hearing at 6:48 p.m.

MOTION by Browen, second by Maltzen, to approve the application by River Overlook for a Preliminary and Final Plat on 12606 Overlook Road. The motion carried unanimously.

C. Application by Dayton Fields 4th Addition for a Preliminary Plat, Site Plan, and Conditional Use Permit

Sevald stated that this property is a vacant lot with no actual address. It is located at the southwest corner of West French Lake Road and 121st Avenue. This property is zoned I-1 Industrial. Lot 2 is for J & A Glass is less complicated. The majority of the existing trees will remain. The access will be off West French Lake Road. Lot 1 is for Q.T. Commercial. This is a roofing company. This applicant is requesting some outdoor storage behind the building. They are suggesting a six-foot fence for screening purposes. Staff recommends an eight-foot fence along with pine trees to screen the fence. The building itself will screen much of the outdoor storage. Most of the existing trees will remain.

Sevald stated currently the Dayton Mobile Home Park has the capacity to expand closer to the future construction site. However, there are some existing wetlands that provide an automatic buffer between the two properties. If and when the Dayton Mobile Home Park expands, they will also have to provide ample screening between the two properties.

There was additional discussion regarding landscaping.

Browen stated that the Dayton Mobile Home Park recently changed ownership. The new owner also owns the two lots in question.

DeMuth invited the applicant for Lot 2 to come forward.

Jeremy Thomas, 1100 Mendota Heights Road, Mendota Heights, came forward to address questions from the Planning Commission. Mr. Thomas explained that his client is proposing a 40,000 square-foot office/warehouse building. The intent is for the building owner to occupy most of the space himself while allowing potential users of the space, as needed. The current parking is set up to accommodate about 8,000 square-feet of office space.

Browen asked if there will be fleet parking on the property; and, if so, has that been factored into the parking provisions.

Nick Jude, owner of J & A Glass, came forward and responded that there will be approximately 20 fleet vehicles. Some of the vehicles go home with the installers, and some of the vehicles will be parked on property, inside the building.

DeMuth invited the applicant for Lot 2 to come forward.

Jo Raddick, on behalf of Q. T. Commercial, came forward to answer questions from the Planning Commission. He stated the completed area will be approximately 38,000 square feet. There is a proposed mezzanine in the bump-out corner that is pictured in the sketch for future office expansion, if warranted. This project has budgeted a little over \$200,000 in landscaping to meet the Code requirements. The owner requests a reduction in those requirements, if at all possible.

There was a question earlier regarding the fencing for this property. Currently the proposed fence is a vinyl-coated, six-foot, chain-link, slatted fence.

There was considerable discussion regarding landscaping.

Crosland stated that he'd be fine with some percentage of reduction of the tree plantings.

DeMuth suggested the Planning Commissioners should reserve their personal thoughts until after the Public Hearing.

DeMuth opened the Public Hearing at 7:17 p.m.

Tom McKeesick, 11870 West French Lake Road, came forward and asked if there is a slide that shows where the new 121st is. Sevald used his curser to show where the road is located.

Mr. McKeesick asked if the applicants could address what exactly would be occurring inside the buildings. He stated that as someone living in the neighborhood, he'd like to evaluate the change in traffic patterns.

Mr. Raddick and Mr. Thomas addressed Mr. McKeesick's concerns.

Shane Jaul, 11950 West French Lake Road, came forward and asked if the fence for the outside storage would be an eight-foot fence or a six-foot fence. Brown stated that the Commission has not had any formal discussion regarding that matter. Mr. Jaul would prefer an eight-foot fence so as to cover up as much as possible. Mr. Jaul stated that his property is directly across from these two properties.

DeMuth closed the Public Hearing at 7:24 p.m.

Brown stated that he has nothing to add regarding Lot 2. He stated that with regard to Lot 1, he is okay with a landscape reduction of 10% to 15%. Brown suggested that Sevald do some research in order to validate the applicant's request. Brown prefers the eight-foot fence.

Crossland stated that he'd like to see more tree coverage on the east property line and to do whatever is necessary to screen some of the parking lot lighting as well.

DeMuth would like to focus the landscaping to wrap around the building.

Crossland asked if the outdoor storage items would be directly against the fence. The answer was unknown.

Mr. Raddick stated that his client failed to mention the fact that they will be storing fuel for their fleet vehicles, both gasoline and diesel fuel. There will be two 1,000-gallon tanks and one 500-gallon tank for off-road diesel fuel.

Brown suggested that the tank storage and the 16-foot storage should be specifically located before the plan is taken to the City Council. Brown would like there to be a condition attached stating that the 16-foot storage would have to be in the south corner of the lot.

MOTION by Brown, second by Crossland, to approve the CUP for outdoor storage of construction materials related to the business, and to approve the Preliminary Plat, the Site Plan for Lot 1 and Lot 2 with the following conditions: 1) Strike Condition 3 from Staff; 2) The outdoor storage of 16-foot tall material is limited to the south corner (160 feet X 50 feet); 3) Erect

an eight-foot fence; and 4) Reduce the landscaping requirement by 15%.
The motion carried unanimously.

DeMuth raised concern regarding the trail on the property. There was consensus that it has been properly addressed by Staff.

VIII. NOTICES AND ANNOUNCEMENTS

- A.** Sevald stated that the next Planning Commission meeting is tentatively scheduled for November 2, 2023, at 6:30 p.m.
- B.** Sevald stated that there are seven applicants seeking to fill the Planning Commission vacancy that the City Council will consider at their October 10th meeting.
- C.** Sevald stated that there will be routine hydrant flushing for all those on the Dayton Water System.
- D.** Sevald stated that on Sunday, October 8, 2023, The Fire Department will have an open house here at Station 2. There will be several fire demonstrations as well as a helicopter ambulance on site.
- E.** Sevald stated that at the EDA meeting on October 17th, an item for them to consider is the RFP responses to the sale of the Levee Street property.
- F.** Sevald stated that for the November meeting, the OPUS project that was tabled and the Dayton Parkway Neighborhood are up for discussion.
- G.** Discussion ensued regarding the Master Plan and Staging.
- H.** DeMuth suggested the possibility of additional Work Sessions to help shorten regular meetings. Fisher concurred that the “free flow” setting lends itself to better productivity.
- I.** DeMuth stated that there is no longer a Vice Chair and he asked if the Commission wanted to select someone now or wait for the new member. Crossland suggested that they wait for the new member to join.

IX. ADJOURNMENT

MOTION by Maltzen to adjourn, Brown seconded the motion. Motion carried unanimously. The meeting adjourned at 8:13 p.m.

Respectfully submitted,

PLANNING COMMISSION
OCTOBER 5, 2023
6:30 P.M.
PAGE 7 OF 7

CITY OF DAYTON, MINNESOTA
12260 SO. DIAMOND LAKE ROAD
HENNEPIN/WRIGHT COUNTIES

Sandra Major, Recording Secretary
TimeSaver Off Site Secretarial, Inc

APPLICANT

Opus Development Company, LLC

ITEM:

Public Hearing - Application by Opus Development Company, LLC for Administrative Subdivision, Rezoning and Site Plan Review.

PREPARED BY:

Nicholas Ouellette and Kevin Shay, AICP, Consulting City Planners

60-DAY RULE SUMMARY:

Application Accepted: 8/16/2023
120-Day Review Deadline: 12/14/2023

POLICY DECISION / ACTION TO BE CONSIDERED:

Consider the application requests, conduct a public hearing on the item and make a recommendation to City Council.

BACKGROUND/OVERVIEW:

In 2019, the City acquired right-of-way for the Dayton Interchange project from the subject property. Compensation to the property for acquiring the right-of-way was to be the provision of off-site stormwater facilities capable of treating approximately 6-acres of development area.

On June 28, 2022, Council reviewed a concept plan to construct an industrial warehouse and distribution building.

On March 28, 2023, Council approved a comprehensive land use amendment to reguide the subject property to Industrial from Commercial.

On September 7, 2023, Planning Commission held a public hearing for the item. The applicant requested the Planning Commission table the item to allow additional time to address stormwater issues with the City Engineer.

The applicant has submitted applications for the following:

1. Administrative Subdivision to create two lots (9.76-acres and 0.52-acres in size).
2. Rezoning to Light Industrial (I-1) district and Essential Services (ES) district from Commercial/Industrial (B-4) district.
3. Site plan to allow for the construction of a 132,000 square foot speculative industrial warehouse/office building on the 9.76-acre lot.

LAND USE & ZONING:

The subject property is located at 17600 Territorial Road south of the intersection of Dayton Parkway and County Road 81. The property is guided both Industrial and Public/Institutional on the 2040 Plan. The property is currently zoned B-4 district. The proposed rezoning to I-1 and ES districts is consistent with the comprehensive plan.



Figure 1: Future Land Use Map

ADJACENT ZONING AND LAND USE:

Direction	Land Use Plan	Zoning Map	Existing Use
East	Business Park	I-1	Vacant Farming & French Lake
North	Business Park, Industrial, Commercial	I-1, PUD (I-1), B-3	BNSF RR right-of-way and industrial park
West	Commercial	B-3	Vacant land
South	Industrial, Commercial	I-1, PUD (I-1)	Cemstone concrete facility

ADMINISTRATIVE SUBDIVISION

The applicant is requesting approval of an administrative subdivision to create two parcels from the existing parcel. Administrative subdivisions are typically approved by the Zoning Administrator; however, at the discretion of the Zoning Administrator, the application may be forwarded to the City Council for its approval or denial. The administrative subdivision is being forwarded to the City Council for consideration alongside the accompanying applications for rezoning and site plan.

The proposed subdivision will create Parcel A (9.76-acres) for a speculative warehouse development and Parcel B (0.52-acres) to situate the existing telecommunications equipment and structures in a separate parcel from the warehouse. To qualify for an administrative subdivision, the lot in question must have been previously platted or the total property area involved exceeds 20-acres in area. All administrative subdivisions must meet the following design standards and requirements:

1. *The administrative subdivision shall conform to all design standards as specified in City Code Sections 1001 and 1002.*

Proposed Parcel A conforms to the design standards within the City's Zoning and Subdivision Ordinances. Parcel A complies with the district standards for lot area, width and required setbacks.

There are standards in the Zoning Ordinance for the ES district; therefore, proposed Parcel B must comply with the design standards for preliminary plats in Section 1002.07 of the Subdivision Ordinance. Proposed Parcel B complies with the applicable design standards for lots which includes a minimum width of 50 feet of lot frontage abutting a public street and a minimum width of 30 feet at the rear lot line. Proposed Parcel B is shaped like a flag lot which is prohibited by Section 1002.07, Subd. 4; however, Parcel B

meets the required full lot width on a public right-of-way and such design is within the acceptable bounds for a flag lot.

2. *The administrative subdivision will not cause any structure on the land to be in violation of the City Code Section 1001.*

There is an existing telecommunications tower with equipment shelters on the site that will be situated within proposed Parcel B. The tower and equipment shelters shall meet the principal structure setbacks of the underlying zoning district or the setback standards for telecommunications towers and facilities; the regulations which impose the more restrictive standards shall apply. There are no underlying district standards for the ES district, therefore, the tower and equipment shelters are subject to the standards for telecommunications towers and facilities. The tower and equipment shelters within proposed Parcel B comply with the setback standards for telecommunications towers and facilities.

3. *Any proposed deviation from City Code Sections 1001 and 1002 shall require the processing of a variance, subject to the review and approval of the City Council.*

No deviations from City Code Section 1001 and 1002 are proposed.

4. *In the event a new lot is created, a park dedication fee determined by the City shall be paid prior to release of any documentation indicating administrative subdivision approval.*

The site was previously platted as part of the Dayton Industrial Park subdivision. Park dedication was provided at the time of the Dayton Industrial Park plat; the proposed subdivision is not subject to park dedication fees as they have previously been provided to the City for this site.

5. *Any drainage, utility, trail, right-of-way or access easements and/or deeds required by the City must be granted, in a form approved by or drafted by the City Attorney, prior to release of any documentation indicating administrative subdivision approval.*

There is existing drainage and utility easement on the site; however, plans shall be revised to provide the required utility easements within the perimeter of each lot.

REZONING

The applicant is requesting that Parcel A be rezoned to I-1 district and Parcel B be rezoned to ES district from B-4 district. The I-1 district is intended to provide for the establishment of manufacturing, warehousing and office developments. Rezoning the parcels to I-1 and ES districts is consistent with the Industrial and Public/Institutional future land use designations in the adopted 2040 Comprehensive Plan. Staff supports the rezoning request based on the finding that it is consistent with the 2040 Comprehensive Plan.

By rezoning Parcel A to I-1 district and Parcel B to ES district, the two parcels must comply with their respective district standards for lot area, width and required setbacks. There are no

performance standards for the ES district. The existing structures and antenna on Parcel B conform to the telecommunications towers and facilities performance standards in Section 1001.21 of the Zoning Ordinance.

SITE PLAN ANALYSIS

There are many components that must be considered in proposing a successful site plan design. Site plans must conform to standards in the City ordinance, engineering manual and watershed requirements. The site has previously been developed with a telecommunications tower in the north corner of the parcel; the majority of the parcel is gravel parking. The following sections analyze the components of the site plan design that are proposed to be modified for the project.

Site Constraints

There are no wetlands or other development constraints identified within the development plans submitted with the application; however, a wetland review application has been provided by the applicant. Hennepin County's Natural Resources Inventory map indicates there is an excavated wetland in the southeast corner of the site.

Development Standards

The proposed I-1 District setbacks and additional district requirements are located in the table below and all setbacks are being met.

Criteria	Standard	Proposed Parcel A
Minimum lot size ¹	1 acre	9.76 acres
Minimum lot width ¹	150 feet	372 feet
Minimum lot depth ¹	150 feet	705 feet
Maximum impervious surface coverage	80%	72%
Maximum building footprint coverage	50%	31%
Structure height limit	45 feet	38.6 feet
Setbacks ²		
Building - Principal Structure		
Front yard	50 (60) feet - <i>Plus 1 foot for every 1 foot of building height over 30 feet (maximum setback of 80 feet)</i>	70.1 feet
Side yard	25 (40) feet	48 feet

Criteria	Standard	Proposed Parcel A
Side yard (street)	40 (40) feet	62.3 feet
Rear yard	20 (60) feet	N/A
Parking		
Front, side, or rear to a street	20 (20) feet	20 feet (Territorial Road)
Side interior	5 (20) feet	6.3 feet
Rear yard	15 (20) feet	N/A
To residential	5 (20) feet	N/A
¹ Minimum lot size, width, depth and the like shall not include area of street easements, right-of-way, or common areas.		
² Setbacks in parentheses apply adjacent to R-1 - RH Residential Districts. A 20 foot setback is required for any structure or parking adjacent to any other Residential District.		

Because there are no ES district lot standards in the City Code, Parcel B must comply with the design standards for preliminary plats in Section 1002.07 of the Subdivision Ordinance. Additionally, Parcel B is also subject to the design standards for telecommunications towers and facilities in Section 1001.21 of the Zoning Ordinance. These requirements are located in the table below, and all setbacks are being met.

The proposed Parcel B setbacks and additional lot standards for telecommunications requirements applicable to the site are located below in the table below. All setbacks are being met.

Criteria	Standard	Proposed Parcel B
Minimum lot frontage	50 feet	50 feet
Minimum lot width at rear	30 feet	198 feet
Setbacks		
To public rights-of-way	½ the height of the tower	Tower location is not changing.
Rear yard (abutting Industrial)	5 feet	7 feet

Existing Structures

There is an existing telecommunications tower on the site with two equipment shelters and an electrical transformer situated nearby. The equipment shelters are approximately 350 square feet in size each. These existing structures will be situated entirely within proposed Parcel B. There are no proposed changes to the existing structures on this site.

Public Utilities

The property is in the “current” Metropolitan Council Urban Staging Area (MUSA). Public utilities are available to the site and are adequate to accommodate the proposed use.

Access

The site abuts Territorial Road to the south and Dayton Parkway to the northwest. An existing driveway provides access to the site from Territorial Road to the south. The telecommunications tower has an existing access from the railroad right-of-way to the northeast. The existing access will be preserved and no new access will be created along the new Parcel B frontage.

The plans show three access drives to Parcel A; two access drives are proposed from Territorial Road to the south and one access drive is proposed from Dayton Parkway to the northwest. The location of driveways are designed to reduce the cross traffic between truck and auto traffic in and out of the site. However, the City Engineer has indicated that access to the site will be limited to Territorial Road and access from Dayton Parkway will not be permitted. While a single access from Territorial Road is preferred there is a benefit to separating vehicle and semi-truck traffic into the site. A condition has been included to remove Dayton Parkway access and increase the spacing between the two Territorial Road access drives to the maximum extent possible.

Parking

Section 1001.19 of the Zoning Ordinances establishes the minimum number of parking spaces required based on the floor area in square feet of a specific use or the number of employees on a major shift. The ordinance requires the following:

- Office = 1 space for each 200 square feet of floor area.
- Warehouse = 1 space for each employee on maximum shift or 1 space for each 2,000 square feet of area, whichever is greater.

Based on the floor area of the building allotted to warehousing or office uses, the code requires a total 153 parking spaces; the warehouse use requires 59 parking spaces and the office use requires 66 spaces. Plans show 153 parking spaces are provided in excess of the minimum number required. Curb and gutter are provided along the perimeter of the parking lot, semi-loading, semi-storage and access drives.

The applicant has also provided proof of parking for an additional 36 spaces, demonstrating the ability to provide more on-site parking if the proposed parking is not sufficient. However, approximately four stalls would be lost in order to provide access to proof of parking in the southeast corner of the site. The proof of parking provided southwest of the proposed building is situated within the 20 foot parking setback. Staff has included a condition that requires plans shall be revised to remove proof of parking located within the parking setbacks.

Loading and Storage Areas

Section 1001.19 of the Zoning Ordinance provides standards for off-street loading and unloading areas. Plans show 19 semi-trailer loading areas along the north side of the proposed building. As noted earlier in the staff report, access to the semi-loading and storage area must

be revised to be provided from Territorial Road to the south. Heavy duty asphalt paving is utilized in the loading area and a concrete paving strip provides a pad for the feet of freight vehicles and trailers. Landscape plantings provide screening of the loading area from Dayton Parkway to the northeast.

The applicant has proposed an accessory semi-trailer parking use for the development. The trailer storage encroaches into a pipeline easement. As configured, the applicant would need to secure permission for the encroachment from the holder of the pipeline easement. Section 1001.062 Subd. 2 permits accessory semi-trailer parking if the following conditions are met:

1. *5 acre minimum lot size:*

Proposed Parcel A is 9.76-acres in size.

2. *Warehousing shall comprise 90% or more of the building area.*

Warehousing comprises 90% of the building with office use comprising the remaining 10%. Within the 132,000 square foot building, warehouse use comprises 118,800 square feet and office space comprises 13,200 square feet.

3. *The semi-trailer parking area footprint to building footprint shall not exceed a 0.35:1 ratio. For example, a building with a 100,000 square feet footprint could have a semi-trailer parking area of 35,000 square feet footprint.*

The proposed semi-trailer parking area footprint is 9,240 square feet in area. The 132,000 square foot permits a semi-trailer parking area up to 46,200 square feet.

4. *The semi-trailer parking area shall be adequately screened from adjacent public rights-of-way. "Adequately screened" shall mean completely screened when plantings reach full maturity.*

Landscaping materials adequately screen the semi-storage area from the Dayton Parkway right-of-way. The applicant has provided a cross section exhibit on the Landscaping Plan that demonstrates adequate plant material screening at 25 years of growth.

5. *When semi-trailer parking areas abut adjacent uses of lesser intensity (e.g. residential), the area shall be adequately screened with landscaping to achieve full screening at maturity.*

The semi-trailer parking area abuts the existing telecommunications tower, railroad right-of-way to the east and undeveloped commercial land to the west. The landscape screening provides adequate screening to Dayton Parkway and the commercial land to the west.

6. *The semi-trailer parking areas shall meet the setback requirements for the district in which it is located, and stalls shall be sized according to City Parking Requirements Section 1001.19 and they shall be paved and the stalls striped.*

The semi-trailer storage area complies with the 20-foot parking setback and stalls are shown as paved and striped.

7. *Should semi-trailer parking be proposed to exceed the ratio of 0.35:1 noted above, then the remaining semi-trailer parking area shall be considered outdoor storage and shall meet the requirements of outdoor storage as required by this Section.*

Semi-trailer parking does not exceed the ratio of 0.35:1 noted above.

8. *If the building is designed as multi-tenant, it shall require a Conditional Use Permit that will need to meet the requirements as listed above. Design means separate entrances, demising walls for tenant spaces amongst other characteristics.*

The building is not designed as multi-tenant. A conditional use permit shall be required if multiple tenants are proposed in the future.

Architecture

Section 1001.062 of the Zoning Ordinance provides building standards for industrial uses. The applicant has provided colored building elevations that show a variety of colors, materials, articulations and windows that are consistent with the ordinance standards. The principal building material is precast concrete with a variety of textures and colors. The proposed building is 38.6 feet in height.

The building design also meets the building design and materials standards required for all industrial districts. Four design elements are utilized: accent materials, a visually pleasing front entry, contrasting yet complementary material colors and a combination of horizontal and vertical design features. The applicant has indicated that trash and recyclable materials and handling equipment will be stored within the building.

Plans do not show the proposed locations for building mechanical equipment. Rooftop mechanical equipment shall be screened from ground view using parapet walls, penthouses or other architecturally integrated elements. Ground mounted mechanical equipment shall be 100% screened from adjacent streets with landscaping or a screening wall with architectural treatment similar to the principal structure.

Landscaping and Screening

Section 1001.24 of the Zoning Ordinance provides standards for required landscaping and screening. The Ordinance requires at least 25% of Industrial lots and at least 3% of parking areas to be sodded and landscaped. Plans show 137,728 square feet of landscaped area that exceeds the minimum 111,964 square feet of landscaped area required.

Landscape plantings are situated around the perimeter of the site to provide screening to parking areas and semi-trailer parking areas as required by Sections 1001.24 and 1001.062 of

the Zoning Ordinance. A cross-section view of the landscaping has been provided that demonstrates parking and semi-trailer parking areas will provide full screening at maturity. Plans show adequate screening from vehicle parking, semi-trailer parking and loading/unloading areas to adjacent rights-of-way.

The Zoning Ordinance requires a minimum of 38 overstory trees, 38 coniferous trees and 1,120 shrubs for the minimum 111,964 square feet of required open space. The table below shows the number of required trees provided by the applicant in addition to the trees required to comply with screening requirements. A total of 38 overstory trees, 99 coniferous trees, 1,120 shrubs and 32 grasses are provided with this project.

	Required	Proposed
Landscape Area	111,964 square feet (25%)	137,728 square feet (30%)
1 Overstory Tree per 3,000 Square Feet of Open Space	38 trees	38 trees
1 Coniferous Tree per 3,000 Square Feet of Open Space	38 trees	38 trees
1 Shrub per 100 Square Feet of Open Space	1,120 shrubs	1,120 shrubs
Parking Lot Landscape Area	3% of internal parking lot	5% of internal parking lot
Parking Lot Island Trees	21 trees	21 trees
Screening		
Parking Lot Screening	<i>Site specific</i>	164 trees
Semi-Parking Screening	<i>Site specific</i>	99 trees

Lighting

The applicant has submitted a photometric plan and lighting cut sheet in compliance with the Ordinance standards for lighting. Plans show the proposed lighting poles and fixtures on the building are 30 feet tall.

Signage

Section 1001.20 of the Zoning Ordinance provides standards for signage. No specific signage is proposed at this time. Plans for the building show the possible location for wall signs, with total sign area not to exceed 3% of the wall area. Three monument sign locations are proposed at each access drive to the site; two monument signs are proposed along Territorial Road and one monument sign is proposed at the access from Dayton Parkway.

Any signage proposed in the future shall comply with Ordinance standards and a separate sign permit shall be obtained from the City. The applicant has indicated a separate sign package will be submitted when the tenant signage is determined.

Grading and Stormwater Management

The City Engineer's memo provides detailed comments on grading and stormwater management. The existing stormwater management is not sufficient for the site; the stormwater

management plan assumes capacity for approximately 6 acres of stormwater is available off-site. However, in their current state, off-site stormwater systems do not have the capacity to manage stormwater. In coordination with the City Engineer, a larger 30-inch stormwater pipe is proposed beneath Dayton Parkway to convey on-site stormwater to the off-site stormwater ponds.

Utilities

The City Engineer's memo provides detailed comments on utilities. The property is in the "current" Metropolitan Council Urban Staging Area (MUSA). The proposed development will connect to public utilities which are adequate to serve the proposed use.

Development Fees

The Ordinance requires development that connects to public utilities pay utility area charges. The calculation for the sanitary and water fees are based on gross acreage. The 2023 rates are \$6,658/acre for sanitary and \$9,627/acre for water. The stormwater area charge calculation is based on the net acres of the site and the 2023 rate is \$8,653/acre. The utility area charges are based on the costs for the city to construct and manage a public utility system that will deliver to all developable properties within the community. These fees are due at the time of building permit.

Park Dedication

The property was previously platted with the Dayton Industrial Park and park dedication fees were paid at that time. No park dedication fees are due for this development.

ROLE OF THE PLANNING COMMISSION:

The role of the Planning Commission is to review the technical aspects of the three applications for an administrative subdivision, rezoning and site plan as they relate to the City's Zoning Ordinance, Subdivision Ordinance and Comprehensive Plan.

STAFF RECOMMENDATION

Staff recommends approval of the applications for administrative subdivision, rezoning and site plan, subject to the following conditions:

1. The applicant/developer shall meet all engineering conditions and make all plan changes as noted in the engineering memos prior to release of the administrative subdivision for recording. All construction and engineering plans (grading, stormwater, erosion control, street, utility, etc.) shall be reviewed and approved by the City Engineer, Planner and Public Works Director, prior to issuance of grading and building permits.
2. Plans shall be revised to:
 - a. Remove the proposed access from Dayton Parkway. The spacing between the two access drives from Territorial Drive shall be the maximum distance allowed to reduce traffic conflicts.

- b. Provide drainage and utility easements along the perimeters of both Proposed Lots A and B.
 - i. Trees, ponds, curb and other private improvements shall be located outside of the drainage and utility easement.
 - c. Remove future proof-of-parking from within the required parking setback along Territorial Road.
- 3. The applicant's contractor shall obtain all required approvals and permits from the City, County and state prior to commencement of project construction.
- 4. The applicant shall obtain approval from the pipeline easement holder for improvements proposed within the pipeline easement area. Proof of approval shall be provided to the City.
- 5. The applicant shall pay utility area charges at the per-acre-rate applicable at the time of building permits.
- 6. All mechanical equipment shall be screened in accordance with Section 1001.62 of the Zoning Ordinance.
- 7. A financial guarantee in the amount of 150% of the cost estimate for the landscaping is required to be submitted with the building permit. The surety will be retained by the City for one year after notification of installation of landscaping to ensure the planting and survival of the required landscaping. The surety may be reduced by 50% after the required materials are planted and the City is notified in writing.
 - a. At all times, required parking areas shall contain exterior and interior landscaping per Section 1001.24.
 - b. Any request for the City to inspect the required landscaping in order to reduce the financial guarantees must be accompanied by verification/recertification of field inspection by the project Landscape Architect. A letter signed by the project Landscape Architect verifying plantings have been correctly installed in compliance with the plans and specifications will suffice.
- 8. If parking becomes an issue on the site, the proof of future parking shown on plans shall be constructed.
- 9. A sign permit shall be submitted and reviewed prior to the installation of any signage on site. All signage shall comply with Section 1001.20 of the Zoning Ordinance.
- 10. A site improvement performance agreement must be executed by the developer and the City, financial guarantees in place and fees paid prior to the publication of the rezoning approval.

11. The following conditions must be met prior to issuance of building permit:

- a. Record the approving resolution and associated documents at Hennepin County and provide proof of recording to the City.
- b. The applicant shall submit all necessary permits to the watershed and receive approval and provide proof of permits to the City.

12. Approvals shall expire within one year of the date of approval unless the applicant commences the authorized use and completes the required improvements.

ACTION

The Planning Commission should discuss the requests and make a recommendation, including any additional conditions for approval or reasons for denial.

ATTACHMENT(S):

1. Site Location Map
2. Engineering Memo dated October __, 2023
3. Proposed Lot Split dated August 16, 2023
4. Site Plans dated October 24, 2023
5. Building Elevations dated August 16, 2023
6. Applicants Narrative dated August 1, 2023

To:	Kevin Shay, Planning	From:	Jason Quisberg, Engineering Lauren Pierce, Engineering
Project:	Opus – 17600 Territorial Rd	Date:	October 27, 2023

This Memorandum is an addendum to the Stantec City of Dayton Engineering comment memo for Opus – 17600 Territorial Road dated August 30, 2023 based on a review of the following document:

1. Preliminary Site Development Plans for Dayton Interchange, dated 10/23/2023 by Sambatek.

The document was received by the City on October 23, 2023. The plans include revisions to the storm sewer routing, but no other changes to the plans appear to have been made, therefore a full review of the revised set has not occurred – only a review of the revised storm sewer layout. This memo shall serve as an addendum to the comment memo dated August 30, 2023, and all comments from that memo shall still apply unless explicitly stated otherwise in this memo.

Comments:

1. Stormwater management is shown to be provided in two different ways. One way is via an existing basin on site, and the other is across Dayton Parkway in ponds previously constructed which will need to be expanded to accommodate stormwater from the Opus site.
2. Conveyance of stormwater from the Opus site to the ponds across Dayton Parkway is shown via two crossings.
 - o One crossing on the north brings stormwater into an existing storm sewer system that discharges into the north pond. It must be examined further whether this crossing has the capacity to convey the stormwater as shown. If the existing pipe does not have capacity for this water, it may be necessary to drill another crossing of Dayton Parkway near this location or send this water to the other drilled crossing (and size it appropriately).
 - o Another crossing (30”) is proposed to be drilled under Dayton Parkway, and this crossing would take most of the water that is sent from the Opus site to the south pond across Dayton Parkway. Elevation and location of this crossing will need to be considered in further detail (and potentially adjusted based on pond information, conflicts within the roadway, street section on Dayton Parkway, and other factors), but it appears that a drilled crossing should be feasible.
3. It appears feasible to provide stormwater treatment for the site on the parcel across Dayton Parkway by expanding the existing ponding system. Detailed design of this expansion will be necessary, and it must be determined who will perform that design and how compensation will be provided.

End of Comments



Hennepin County Property Map

Date: 8/29/2023



PARCEL ID: 3112022140010

OWNER NAME: Rmf Family Properties Llc

PARCEL ADDRESS: 17600 Territorial Rd, Dayton MN 55369

PARCEL AREA: 10.01 acres, 436,045 sq ft

A-T-B: Abstract

SALE PRICE:

SALE DATE:

SALE CODE:

ASSESSED 2022, PAYABLE 2023

PROPERTY TYPE: Land-Industrial

HOMESTEAD: Non-Homestead

MARKET VALUE: \$2,278,000

TAX TOTAL: \$73,893.28

ASSESSED 2023, PAYABLE 2024

PROPERTY TYPE: Land Commercial

HOMESTEAD: Non-Homestead

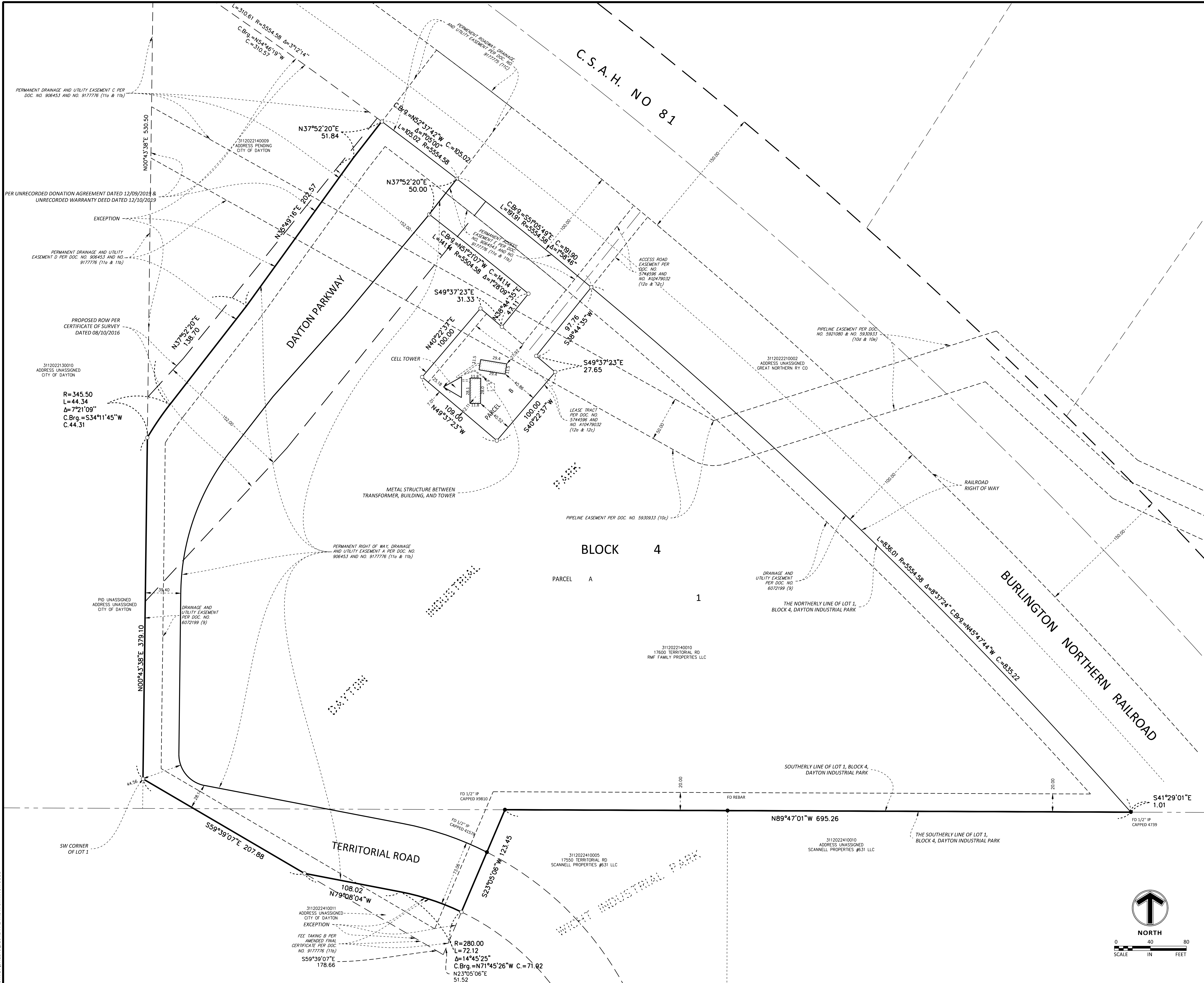
MARKET VALUE: \$2,399,000

Comments:

This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

COPYRIGHT © HENNEPIN
COUNTY 2023

22.05 (LMS TECH) | MARK SALO, LS (MIN. OK, WI) | 8/15/2023 5:08:16 PM
PROJECT: 51041 DAYTON INDUSTRIAL PARK, SHEET 51041-PLAN.DWG (MINOR SUBD)



DESCRIPTION OF SUBJECT PROPERTY

Lot 1, Block 4, DAYTON INDUSTRIAL PARK, according to the recorded plat thereof, Hennepin County, Minnesota;

Less and Except:

That part of Lot 1, Block 4, Dayton Industrial Park, described as follows: Commencing at the Southwest corner of said Lot 1; thence along the Southwest Lot Line of said Lot 1, South 59 degrees 39 minutes 04 seconds East, assumed bearing, a distance of 207.88 feet to the point of beginning; thence continuing along said Southwest line, South 59 degrees 39 minutes 07 seconds East, a distance of 178.66 feet to the South corner of said Lot 1; thence along the Southeast lot line of said Lot 1, North 23 degrees 05 minutes 06 seconds East, a distance of 51.52 feet; thence along a curve, concave to the Southwest, whose elements are: central angle of 14 degrees 45 minutes 25 seconds, arc length of 72.12 feet, radius of 280.00 feet, and a chord that bears North 71 degrees 45 minutes 23 seconds West, a chord distance of 71.92 feet; thence North 79 degrees 08 minutes 04 seconds West, a distance of 108.02 feet, to said point of beginning.

Except:

Being that part of said Lot 1 described as commencing at the Southwest corner of said Lot 1; thence North 00 degrees 43 minutes 38 seconds East, assumed bearing, along the West line of said Lot 1 a distance of 379.10 feet to the actual point of beginning; thence Northeastly 44.34 feet along a non-tangential curve concave to the Southeast having a radius of 345.50 feet and a central angle of 07 degrees 21 minutes 09 seconds, the chord of said curve bears North 34 degrees 11 minutes 45 seconds East; thence North 37 degrees 52 minutes 20 seconds East, tangent to said curve, a distance of 138.70 feet thence North 35 degrees 49 minutes 16 seconds East a distance of 202.57 feet; thence North 37 degrees 52 minutes 20 seconds East a distance of 51.83 feet to the Northeastly line of said Lot 1; thence Northwestly along said Northeastly line a distance of 310.26 feet to the North corner of said Lot 1; thence South 00 degrees 43 minutes 38 seconds West along the West line of said Lot 1 a distance of 529.91 feet to the point of beginning.

PROPOSED DESCRIPTION OF PARCEL A

Lot 1, Block 4, DAYTON INDUSTRIAL PARK, according to the recorded plat thereof, Hennepin County, Minnesota;

Less and Except:

That part of Lot 1, Block 4, Dayton Industrial Park, described as follows: Commencing at the Southwest corner of said Lot 1; thence along the Southwest Lot Line of said Lot 1, South 59 degrees 39 minutes 04 seconds East, assumed bearing, a distance of 207.88 feet to the point of beginning; thence continuing along said Southwest line, South 59 degrees 39 minutes 07 seconds East, a distance of 178.66 feet to the South corner of said Lot 1; thence along the Southeast lot line of said Lot 1, North 23 degrees 05 minutes 06 seconds East, a distance of 51.52 feet; thence along a curve, concave to the Southwest, whose elements are: central angle of 14 degrees 45 minutes 25 seconds, arc length of 72.12 feet, radius of 280.00 feet, and a chord that bears North 71 degrees 45 minutes 23 seconds West, a chord distance of 71.92 feet; thence North 79 degrees 08 minutes 04 seconds West, a distance of 108.02 feet, to said point of beginning.

Except:

Being that part of said Lot 1 described as commencing at the Southwest corner of said Lot 1; thence North 00 degrees 43 minutes 38 seconds East, assumed bearing, along the West line of said Lot 1 a distance of 379.10 feet to the actual point of beginning; thence Northeastly 44.34 feet along a non-tangential curve concave to the Southeast having a radius of 345.50 feet and a central angle of 07 degrees 21 minutes 09 seconds, the chord of said curve bears North 34 degrees 11 minutes 45 seconds East; thence North 37 degrees 52 minutes 20 seconds East, tangent to said curve, a distance of 138.70 feet thence North 35 degrees 49 minutes 16 seconds East a distance of 202.57 feet; thence North 37 degrees 52 minutes 20 seconds East a distance of 51.83 feet to the Northeastly line of said Lot 1; thence Northwestly along said Northeastly line a distance of 310.26 feet to the North corner of said Lot 1; thence South 00 degrees 43 minutes 38 seconds West along the West line of said Lot 1 a distance of 529.91 feet to the point of beginning.

And also except that part described as follows:

Commencing at the East most corner of said Lot 1; thence northwesterly along a curve, concave to the southwest along the northerly line of said Lot 1 a distance of 836.01 feet having a radius of 5554.58, a central angle of 08 degrees 37 minutes 24 seconds and a chord bearing North 45 degrees 47 minutes 01 seconds West, assuming the southerly line of said Lot 1 bears North 89 degrees 47 minutes 01 seconds West, to the point of beginning; thence South 38 degrees 44 minutes 35 seconds West a distance of 97.76 feet; thence South 49 degrees 37 minutes 23 seconds East a distance of 27.65 feet; thence South 40 degrees 22 minutes 37 seconds West a distance of 100.00 feet; thence North 49 degrees 37 minutes 23 seconds West a distance of 109.00 feet; thence North 40 degrees 22 minutes 37 seconds East a distance of 100.00 feet; thence South 49 degrees 37 minutes 23 seconds West a distance of 31.33 feet; thence North 38 degrees 44 minutes 35 seconds West a distance of 47.11 feet; thence northwesterly 141.14 feet along a non-tangential curve concave to the Southwest, having a radius of 5504.58 feet and a central angle of 01 degrees 28 minutes 09 seconds, the chord of said curve bears North 51 degrees 21 minutes 07 seconds West to the southeasterly right of way line of Dayton Parkway as described in Document No.'s 906453 and 917776 recorded in the office of the Hennepin County Recorder; thence North 37 degrees 52 minutes 20 seconds East along said southeasterly right of way line, a distance of 50.00 feet; thence southeasterly 191.91 feet along a non-tangential curve concave to the southwest having a radius of 5554.58 feet and a central angle of 01 degrees 58 minutes 46 seconds, the chord of said curve bears South 53 degrees 05 minutes 49 seconds East to the point of beginning.

PROPOSED DESCRIPTION OF PARCEL B

That part of Lot 1, Block 4, DAYTON INDUSTRIAL PARK, according to the recorded plat thereof, Hennepin County, Minnesota, described as follows:

Commencing at the East most corner of said Lot 1; thence northwesterly along a curve, concave to the southwest along the northerly line of said Lot 1 a distance of 836.01 feet having a radius of 5554.58, a central angle of 08 degrees 37 minutes 24 seconds and a chord bearing North 45 degrees 47 minutes 01 seconds West, assuming the southerly line of said Lot 1 bears North 89 degrees 47 minutes 01 seconds West, to the point of beginning; thence South 38 degrees 44 minutes 35 seconds West a distance of 97.76 feet; thence South 49 degrees 37 minutes 23 seconds East a distance of 27.65 feet; thence South 40 degrees 22 minutes 37 seconds West a distance of 100.00 feet; thence North 49 degrees 37 minutes 23 seconds East a distance of 100.00 feet; thence South 49 degrees 37 minutes 23 seconds West a distance of 31.33 feet; thence North 38 degrees 44 minutes 35 seconds West a distance of 47.11 feet; thence northwesterly 141.14 feet along a non-tangential curve concave to the Southwest, having a radius of 5504.58 feet and a central angle of 01 degrees 28 minutes 09 seconds, the chord of said curve bears North 51 degrees 21 minutes 07 seconds West to the southeasterly right of way line of Dayton Parkway as described in Document No.'s 906453 and 917776 recorded in the office of the Hennepin County Recorder; thence North 37 degrees 52 minutes 20 seconds East along said southeasterly right of way line, a distance of 50.00 feet; thence southeasterly 191.91 feet along a non-tangential curve concave to the southwest having a radius of 5554.58 feet and a central angle of 01 degrees 58 minutes 46 seconds, the chord of said curve bears South 53 degrees 05 minutes 49 seconds East to the point of beginning.

PARCEL AREAS

PARCEL A:	493,053 S.F. OR 11.3139 ACRES
TERRITORIAL ROAD AND DAYTON PARKWAY RIGHT OF WAY:	78,754 S.F. OR 1.808 ACRES
PARCEL A NET:	414,299 S.F. OR 9.511 ACRES
PARCEL B:	22,850 S.F. OR 0.525 ACRES
TOTAL:	515,903 S.F. OR 11.844 ACRES

NO	DATE	BY	CKD	APPR	COMMENT
A	8/15/23	BA		MS	City Comments

I hereby certify that this plan, survey, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Print Name: Mark R. Salo

Date: 8/15/2023 License #: 43933

DATE ISSUED: 08/01/2023

DRAWN BY: CDJ

DESIGNED BY:

CHECKED BY: MRS

PROJECT NO: 51041

PROPOSED LOT SPLIT

Opus Design Build, L.L.C.

DAYTON INTERCHANGE

Lot Split

Dayton, MN

SHEET 1 OF 1 REV. A

CONSULTANT CONTACT LIST:

DEVELOPER/OWNER
OPUS DEVELOPMENT COMPANY, LLC
10350 BREN ROAD WEST
MINNETONKA, MN 55343
TEL 952-656-4440
JOE.MAHONEY@OPUS-GROUP.COM
CONTACT: JOE MAHONEY

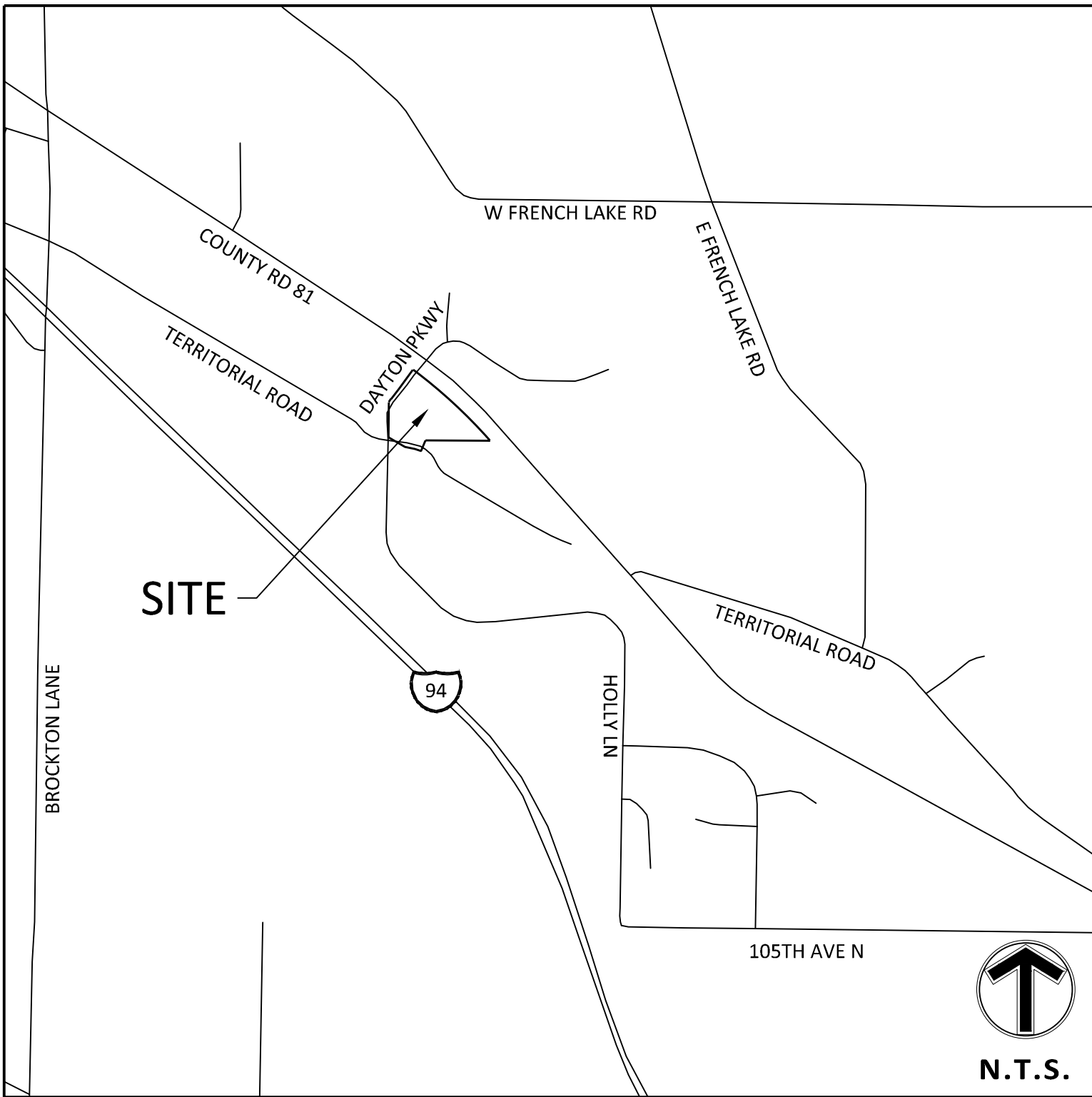
CIVIL ENGINEER
SAMBATEK
12800 WHITEWATER DRIVE, SUITE 300
MINNETONKA, MN 55343
TEL 763-476-6010
BBUSSELMAN@SAMBATEK.COM
CONTACT: BRADY BUSSELMAN

ARCHITECT
OPUS AE GROUP, LLC
10350 BREN ROAD WEST
MINNETONKA, MN 55343
TEL 952-656-4563
JOHN.WADE@OPUS-GROUP.COM
CONTACT: JOHN WADE

SURVEYOR
SAMBATEK
12800 WHITEWATER DRIVE, SUITE 300
MINNETONKA, MN 55343
TEL 763-476-6010
MSALO@SAMBATEK.COM
CONTACT: MARK SALO

LANDSCAPE ARCHITECT
SAMBATEK
12800 WHITEWATER DRIVE, SUITE 300
MINNETONKA, MN 55343
TEL 763-476-6010
JWORKMAN@SAMBATEK.COM
CONTACT: JOHN WORKMAN

Preliminary Site Development Plans
for
Dayton Interchange
Dayton, Minnesota
Presented by:
Opus Development



VICINITY MAP
NO SCALE

BENCHMARKS

BM NO. 1
2780 M
ELEV.=924.07

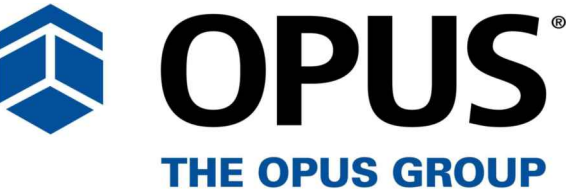
BM NO. 2
BROCK MND53
ELEV.=949.15

SHEET INDEX

SHEET	DESCRIPTION
C1.01	TITLE SHEET
C1.02	CONSTRUCTION NOTES
C2.01	EXISTING CONDITIONS
C2.02	DEMOLITION PLAN
C3.01	SITE PLAN
C4.01	GRADING PLAN
C5.01	PHASE 1 EROSION CONTROL PLAN
C5.02	PHASE 2 EROSION CONTROL PLAN
C5.03	EROSION CONTROL NOTES
C5.04	EROSION CONTROL DETAILS
C6.01	UTILITY PLAN
C9.01	DETAILS
C9.02	DETAILS
L1.01	LANDSCAPE PLAN
L1.02	SHRUB PLAN
L1.03	LANDSCAPE DETAILS AND NOTES

GOVERNING SPECIFICATIONS

CITY OF DAYTON SPECIFICATIONS (2023)
CITY ENGINEER'S ASSOCIATION OF MINNESOTA STANDARD SPECIFICATIONS (2018)
MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION (2020 EDITION)
MN PLUMBING CODE (2020)



Opus AE Group, L.L.C.
10350 Bren Road West
Minnetonka, MN 55343-0110
952-656-4444

Opus Design Build, L.L.C.
10350 Bren Road West
Minnetonka, MN 55343-0110
952-656-4444



PROJECT
DAYTON
INTERCHANGE

PROJECT ADDRESS
17600 Territorial Road
Dayton, MN 55327

PROJECT NUMBER
51041

ISSUE RECORD

07/31/2023 Development Application
08/16/2023 Revised D.A.
10/23/2023 Storm Sewer Revisions

DATE
08/18/2023
PROJECT MANAGER
BOB
DRAWN BY
JMW
CHECKED BY
GDA

REGISTRATION
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

George D. Abernathy
Registration No. 43505 Date: MM/DD/YYYY
If applicable, contact us for a wet signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

SHEET TITLE
TITLE SHEET

SHEET NUMBER

C1.01

GRADING NOTES

- Wednesday, August 16, 2023 10:27:52 AM - User: Jweyenberg L:\PROJECTS\51041\CAD\Sheets\51041-C1.01-TITLE.dwg

- ### CIVIL 3D MODEL LIMITATIONS

REV. DATE
22.

- ## UTILITY CONSTRUCTION NOTES

12. THE UTILITY DESIGN DOES NOT INCLUDE WATERMAIN ELEVATIONS. THE CONTRACTOR SHALL INSTALL WATERMAIN AT DEPTHS REQUIRED BY APPLICABLE AGENCIES AND SHALL DETERMINE LOCATIONS OF CONFLICTS WITH OTHER UTILITIES AND INCLUDE THE REQUIRED EFFORTS TO AVOID CONFLICTS (BENDS, MATERIAL CHANGES, ETC.) IN THEIR BIDS.



Opus Design Build, L.L.C.
10350 Bren Road West
Minnetonka, MN 55343-0110
952-656-4444



PROJECT

PROJECT ADDRESS
17600 Territorial Road
Dayton, MN 55327

PROJECT NUMBER
51041

07/31/2023	Development Application
08/16/2023	Revised D.A.
10/23/2023	Storm Sewer Revisions

DATE
08/18/2023
PROJECT MANAGER
BDB
DRAWN BY
JMW
CHECKED BY
GDA

REGISTRATION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

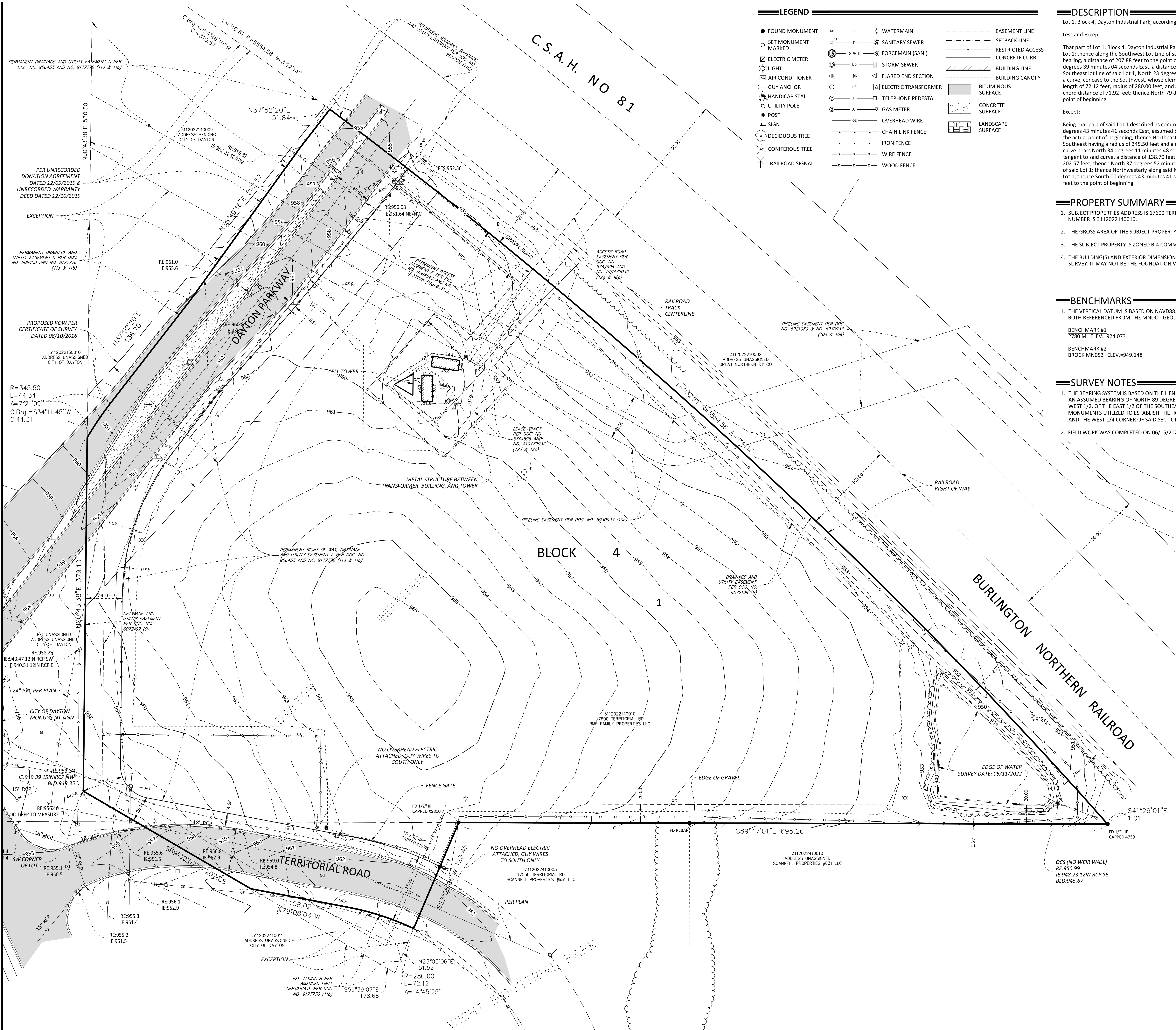
George D. Abernathy
Registration No. 43505 Date: MM/DD/YYYY
If applicable, contact us for a wet signed copy of this
plan which is available upon request at Sambatek's,
Minnetonka, MN office.

SHEET TITLE

CONSTRUCTION
NOTES

SHEET NUMBER

C1.02



LEGEND		
● FOUND MONUMENT	—+— WATERMAIN	--- EASEMENT LINE
○ SET MONUMENT MARKED	—S— SANITARY SEWER	--- SETBACK LINE
⊠ ELECTRIC METER	—S— FORCEMAIN (SAN.)	--- RESTRICTED ACCESS
☆ LIGHT	—D— STORM SEWER	--- CONCRETE CURB
⊠ AIR CONDITIONER	—F— FLARED END SECTION	--- BUILDING LINE
⊠ GUY ANCHOR	—E— ELECTRIC TRANSFORMER	--- BUILDING CANOPY
⊠ HANDICAP STALL	—U— TELEPHONE PEDESTAL	--- BITUMINOUS SURFACE
⊠ UTILITY POLE	—G— GAS METER	--- CONCRETE SURFACE
● POST	—O— OVERHEAD WIRE	--- LANDSCAPE SURFACE
⊠ SIGN	—C— CHAIN LINK FENCE	
○ DECIDUOUS TREE	—I— IRON FENCE	
○ CONIFEROUS TREE	—W— WIRE FENCE	
⊠ RAILROAD SIGNAL	—O— WOOD FENCE	

DESCRIPTION

Lot 1, Block 4, Dayton Industrial Park, according to the recorded plat thereof, Hennepin County, Minnesota;

Less and Except:

That part of Lot 1, Block 4, Dayton Industrial Park, described as follows: Commencing at the Southwest corner of said Lot 1; thence along the Southwest Lot Line of said Lot 1, South 59 degrees 39 minutes 04 seconds East, assumed bearing, a distance of 207.86 feet to the point of beginning; thence continuing along said Southwest line, South 59 degrees 39 minutes 04 seconds East, a distance of 178.56 feet to the South corner of said Lot 1; thence along the Southeast lot line of said Lot 1, North 23 degrees 05 minutes 09 seconds East, a distance of 51.52 feet; thence along a curve, concave to the Southwest, whose elements are: central angle of 14 degrees 45 minutes 25 seconds, arc length of 72.12 feet, radius of 280.00 feet, and a chord that bears North 71 degrees 45 minutes 23 seconds West, a chord distance of 71.92 feet; thence North 79 degrees 08 minutes 05 seconds West, a distance of 108.02 feet, to said point of beginning.

Except:

Being that part of said Lot 1 described as commencing at the Southwest corner of said Lot 1; thence North 00 degrees 43 minutes 41 seconds East, assumed bearing, along the West line of said Lot 1 a distance of 379.10 feet to the actual point of beginning; thence Northeastly 44.34 feet along a non-tangential curve concave to the Southeast having a radius of 345.50 feet and a central angle of 07 degrees 21 minutes 09 seconds, the chord of said curve bears North 34 degrees 11 minutes 48 seconds East; thence North 37 degrees 52 minutes 23 seconds East, tangent to said curve, a distance of 138.70 feet thence North 35 degrees 49 minutes 19 seconds East a distance of 202.57 feet; thence North 37 degrees 52 minutes 23 seconds East a distance of 31.85 feet to the Northeastly line of said Lot 1; thence Northwesterly along said Northeastly line a distance of 310.26 feet to the North corner of said Lot 1; thence South 00 degrees 43 minutes 41 seconds West along the West line of said Lot 1 a distance of 529.91 feet to the point of beginning.

PROPERTY SUMMARY

- SUBJECT PROPERTIES ADDRESS IS 17600 TERRITORIAL RD, DAYTON, MN 55369, ITS PROPERTY IDENTIFICATION NUMBER IS 3112022140010.
- THE GROSS AREA OF THE SUBJECT PROPERTY IS 11.84 ACRES OR 515903 SQUARE FEET.
- THE SUBJECT PROPERTY IS ZONED B-4 COMMERCIAL/INDUSTRIAL DISTRICT, PER CITY OF DAYTON WEBSITE.
- THE BUILDING(S) AND EXTERIOR DIMENSIONS OF THE OUTSIDE WALL AT GROUND LEVEL ARE SHOWN ON THE SURVEY. IT MAY NOT BE THE FOUNDATION WALL.

BENCHMARKS

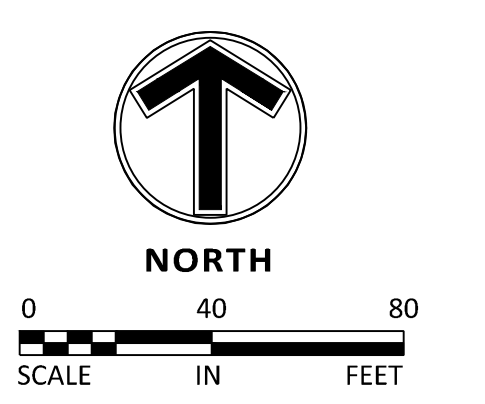
- THE VERTICAL DATUM IS BASED ON NAVD83. THE ORIGINATING BENCH MARKS ARE 2780 M AND BROCK MN053, BOTH REFERENCED FROM THE MNDOT GEODETIC DATABASE

BENCHMARK #1
2780 M ELEV.=924.073

BENCHMARK #2
BROCK MN053 ELEV.=949.148

SURVEY NOTES

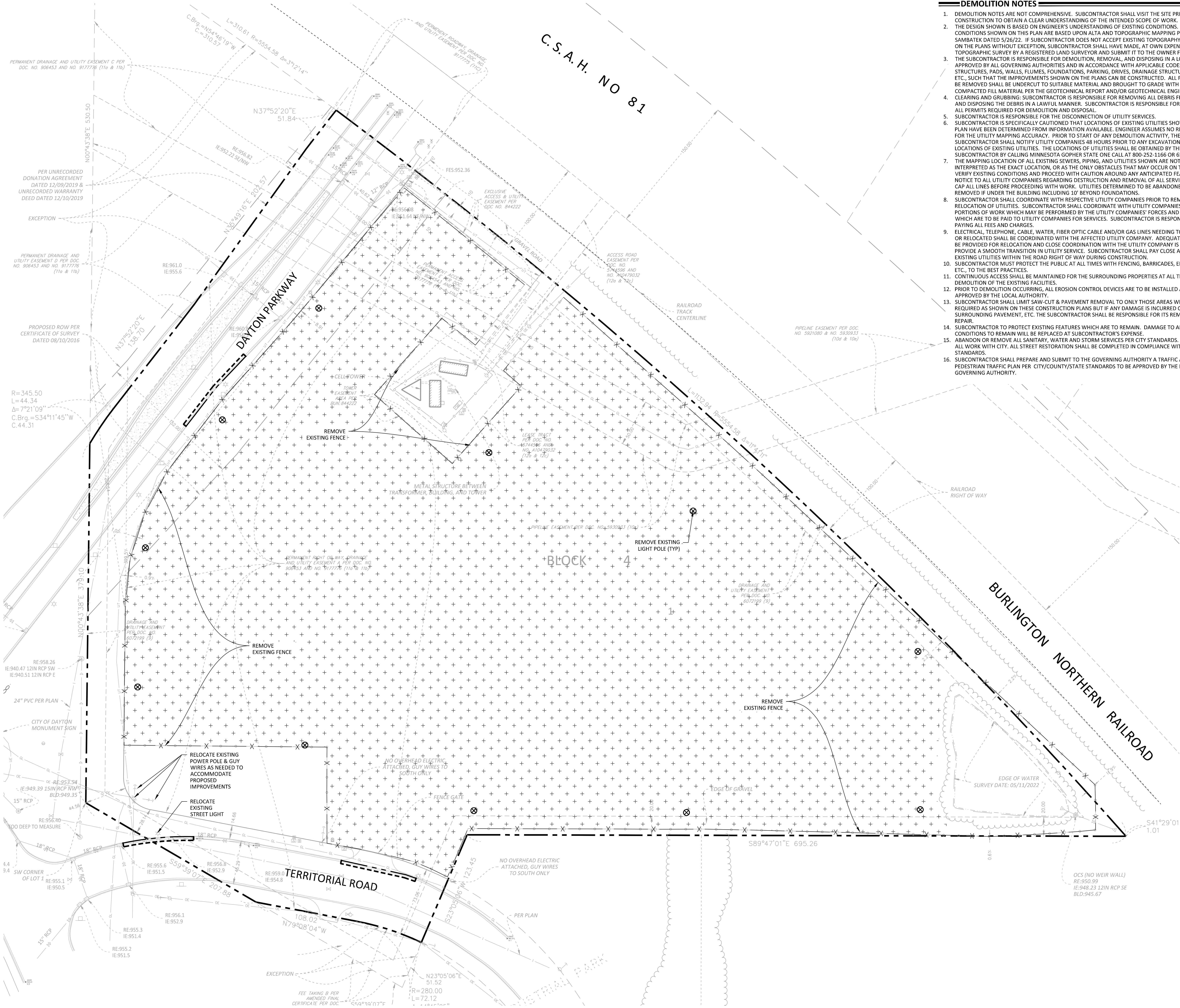
- THE BEARING SYSTEM IS BASED ON THE HENNEPIN COUNTY COORDINATE SYSTEM, NAD83 (1986 ADJUST). WITH AN ASSUMED BEARING OF NORTH 89 DEGREES 47 MINUTES 01 SECONDS WEST FOR THE NORTH LINE OF THE WEST 1/2 OF THE EAST 1/2 OF THE SOUTHEAST 1/4, SECTION 31, TOWNSHIP 120, RANGE 22. THE ORIGINATING MONUMENTS UTILIZED TO ESTABLISH THE HORIZONTAL POSITION OF THIS SURVEY WAS THE EAST 1/4 CORNER AND THE WEST 1/4 CORNER OF SAID SECTION.
- FIELD WORK WAS COMPLETED ON 06/15/2023.



Friday, June 9, 2023 9:34:17 AM - User: jweyenberg L:\PROJECTS\1041\CAD\Sheets\104-C2.02-DEM.DWG

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

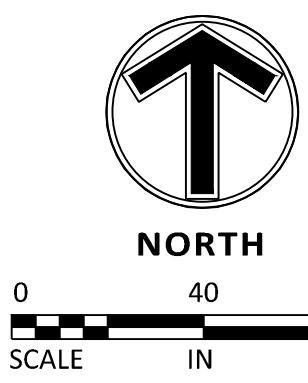


DEMOLITION NOTES

- DEMOLITION NOTES ARE NOT COMPREHENSIVE. SUBCONTRACTOR SHALL VISIT THE SITE PRIOR TO CONSTRUCTION TO OBTAIN A CLEAR UNDERSTANDING OF THE INTENDED SCOPE OF WORK.
- THE DESIGN SHOWN IS BASED ON ENGINEER'S UNDERSTANDING OF EXISTING CONDITIONS. THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON ALTA AND TOPOGRAPHIC MAPPING PREPARED BY SAMBATEK DATED 5/26/22. IF SUBCONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS WITHOUT EXCEPTION, SUBCONTRACTOR SHALL HAVE MADE, AT OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW. THE SUBCONTRACTOR IS RESPONSIBLE FOR DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES AND IN ACCORDANCE WITH APPLICABLE CODES, OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE GEOTECHNICAL REPORT AND/OR GEOTECHNICAL ENGINEER.
- CLEARING AND GRUBBING: SUBCONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. SUBCONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
- SUBCONTRACTOR IS RESPONSIBLE FOR THE DISCONNECTION OF UTILITY SERVICES.
- SUBCONTRACTOR IS SPECIFICALLY CAUTIONED THAT LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM INFORMATION AVAILABLE. ENGINEER ASSUMES NO RESPONSIBILITY FOR THE UTILITY MAPPING ACCURACY. PRIOR TO START OF ANY DEMOLITION ACTIVITY, THE SUBCONTRACTOR SHALL NOTIFY UTILITY COMPANIES 48 HOURS PRIOR TO ANY EXCAVATION FOR ON-SITE LOCATIONS OF EXISTING UTILITIES. THE LOCATIONS OF UTILITIES SHALL BE OBTAINED BY THE SUBCONTRACTOR BY CALLING MINNESOTA GOPHER STATE ONE CALL AT 800-252-1166 OR 651-454-0002.
- THE MAPPING LOCATION OF ALL EXISTING SEWERS, PIPING, AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH WORK. UTILITIES DETERMINED TO BE ABANDONED SHALL BE REMOVED IF UNDER THE BUILDING INCLUDING 10' BEYOND FOUNDATIONS.
- SUBCONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO REMOVAL AND/OR RELOCATION OF UTILITIES. SUBCONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANIES' FORCES AND ANY FEES WHICH ARE TO BE PAID TO UTILITY COMPANIES FOR SERVICES. SUBCONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. SUBCONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ROAD RIGHT OF WAY DURING CONSTRUCTION.
- SUBCONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., TO THE BEST PRACTICES.
- CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
- PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED AND APPROVED BY THE LOCAL AUTHORITY.
- SUBCONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
- SUBCONTRACTOR TO PROTECT EXISTING FEATURES WHICH ARE TO REMAIN. DAMAGE TO ANY EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT SUBCONTRACTOR'S EXPENSE.
- ABANDON OR REMOVE ALL SANITARY, WATER AND STORM SERVICES PER CITY STANDARDS. COORDINATE ALL WORK WITH CITY. ALL STREET RESTORATION SHALL BE COMPLETED IN COMPLIANCE WITH LOCAL STANDARDS.
- SUBCONTRACTOR SHALL PREPARE AND SUBMIT TO THE GOVERNING AUTHORITY A TRAFFIC AND/OR PEDESTRIAN TRAFFIC PLAN PER CITY/COUNTY/STATE STANDARDS TO BE APPROVED BY THE LOCAL GOVERNING AUTHORITY.

LEGEND

- GAS METER
- HYDRANT
- LIGHT
- STORM SEWER
- DRAINTILE
- WATERMAIN
- FORCEMAIN (SAN.)
- SANITARY SEWER
- OVERHEAD WIRE
- TELEPHONE PEDESTAL
- UNDERGROUND CABLE TV
- ELECTRIC TRANSFORMER
- GAS METER
- WIRE FENCE
- IRON FENCE
- WOOD FENCE
- CHAIN LINK FENCE
- STONE RETAINING WALL
- SPRINKLER HEAD
- SPRINKLER VALVE
- GUIDE RAIL
- HANDRAIL
- TREE LINE
- TREES / SHRUBS
- CONCRETE
- BOLLARD
- SIGN
- CONCRETE CURB
- BUILDING LINE
- REMOVE UTILITY LINE
- REMOVE CONCRETE CURB
- SAW CUT LINE
- REMOVE EXISTING BITUMINOUS PAVEMENT
- REMOVE EXISTING CONCRETE PAVEMENT
- REMOVE EXISTING GRAVEL DRIVE
- REMOVE LANDSCAPING
- REMOVE EXISTING BUILDING
- DEMO TREE
- REMOVE EXISTING STRUCTURE
- DEMO LIGHT
- REMOVE CHAIN LINK FENCE



Opus AE Group, L.L.C.
10355 Briar Road West
Minnetonka, MN 55343-0110
952-456-4444

Opus Design Build, L.L.C.
10355 Briar Road West
Minnetonka, MN 55343-0110
952-456-4444



DAYTON INTERCHANGE

PROJECT ADDRESS
17600 Territorial Road
Dayton, MN 55327

PROJECT NUMBER
51041

ISSUE RECORD

07/31/2023 Development Application
08/16/2023 Revised D.A.
10/23/2023 Storm Sewer Revisions

DATE
08/18/2023
PROJECT MANAGER
BOB
DRAWN BY
JMW
CHECKED BY
GDA

REGISTRATION
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

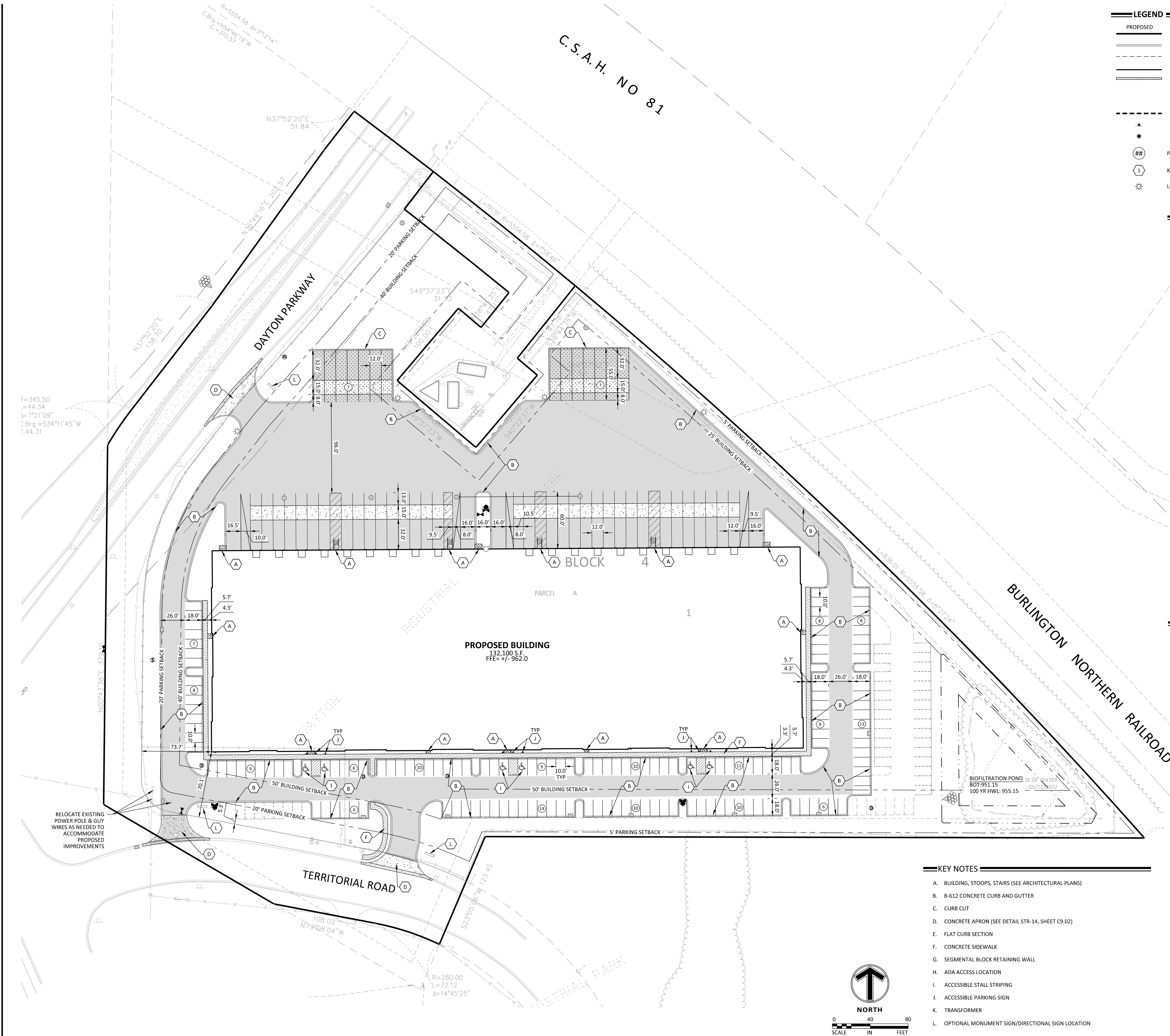
George D. Abernathy
Registration No. 43505 Date: MM/DD/YYYY
If applicable, contact us for a wet signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

SHEET TITLE
DEMOLITION PLAN

SHEET NUMBER

C2.02

Friday, June 9, 2023 9:34:17 AM - User:Asutiz L:\PROJECTS\51041\CAD Sheets\51041-C3.01-SITE.dwg



LEGEND	
PROPOSED	EXISTING
BOUNDARY LINE	CONCRETE CURB
EASEMENT LINE	RETAINING WALL
BUILDING LINE	WETLAND
RETAINING WALL	TREE LINE
WETLAND	SAW CUT LINE
TREE LINE	SIGN
SAW CUT LINE	BOLLARD
SIGN	PARKING STALL COUNT
BOLLARD	KEY NOTE
PARKING STALL COUNT	LIGHT POLE (BY OTHERS)
KEY NOTE	
LIGHT POLE (BY OTHERS)	

DEVELOPMENT SUMMARY

AREA		
GROSS SITE AREA	516,513 SF	11.86 AC
LESS P.O.-W	68,655 SF	1.58 AC
NET SITE AREA	447,858 SF	10.28 AC
PARCEL A (PROPOSED BUILDING)	425,008 SF	9.76 AC
PARCEL B (EXISTING CELL TOWER)	22,850 SF	0.52 AC
BUILDING AREA	132,000 SF	
OFFICE/WAREHOUSE	10,790	
OFFICE	13,200	
WAREHOUSE	118,800	
PARKING SUMMARY		
OFFICE = FLOOR AREA/200	66 STALLS	
WAREHOUSE = FLOOR AREA/2000	59 STALLS	
TOTAL REQUIRED	125 STALLS	
ADA REQUIRED	5 STALLS	
STANDARD PROVIDED	153 STALLS	
ADA PROVIDED	6 STALLS	
SEMI-TRAILER PARKING SUMMARY		
MAXIMUM FOOTPRINT (0.35xBUILDING AREA)	46,200 SF	
PROPOSED FOOTPRINT	9,240 SF	
BUILDING SETBACKS		
FRONT YARD	50 FT	
REAR YARD	20 FT	
SIDE YARD	25 FT	
STREET YARD	40 FT	
PARKING SETBACKS		
FRONT YARD	20 FT	
REAR YARD	15 FT	
SIDE YARD	5 FT	
STREET YARD	20 FT	
PARCEL A ZONING	I-1, LIGHT INDUSTRIAL DISTRICT	
EXISTING ZONING	B-4, COMMERCIAL/INDUSTRIAL	
PROPOSED ZONING		
ZONING		
EXISTING ZONING	B-4, COMMERCIAL/INDUSTRIAL	
PROPOSED ZONING	E5, ESSENTIAL SERVICE DISTRICT	
GREEN SPACE REQUIREMENTS		
PARCEL A		
MINIMUM 20% PERVIOUS	85,902 SF	
MAXIMUM 80% IMPERVIOUS	340,006 SF	
PROPOSED PERVIOUS (28%)	117,088 SF	
PROPOSED IMPERVIOUS (72%)	307,920 SF	
PARCEL B		
MINIMUM 20% PERVIOUS	22,850 SF	
MAXIMUM 80% IMPERVIOUS	4,570 SF	
PROPOSED PERVIOUS (90%)	20,640 SF	
PROPOSED IMPERVIOUS (10%)	2,210 SF	

DEVELOPMENT NOTES

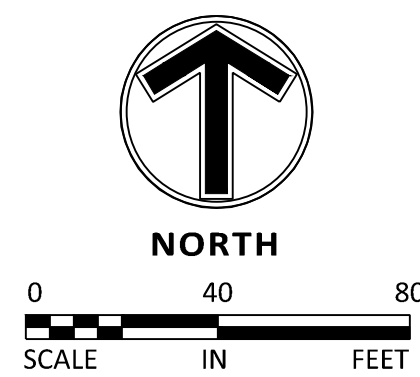
- ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- SUBCONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "GUTTER OUT" WHERE WATER DRAINS AWAY FROM CURB. ALL OTHER AREAS SHALL BE CONSTRUCTED AS "GUTTER IN" CURB. COORDINATE WITH GRADING SUBCONTRACTOR.
- ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
- ALL PARKING STALLS TO BE 10' IN WIDTH AND 18' IN LENGTH UNLESS OTHERWISE INDICATED.
- SUBCONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- SEE ARCHITECTURAL PLANS FOR PYLON/MONUMENT SIGN DETAILS.
- LIGHT STANDARD LOCATIONS ARE FOR REFERENCE ONLY. SITE LIGHTING PLAN IS DESIGN BUILD BY SUBCONTRACTOR. SUBCONTRACTOR SHALL SEE ARCHITECTURAL PLANS FOR LIGHT POLE FOUNDATION DETAIL AND FOR EXACT LOCATIONS OF LIGHT POLE.
- REFER TO FINAL PLAT FOR LOT BOUNDARIES, LOT NUMBERS, LOT AREAS, AND LOT DIMENSIONS.
- ALL GRADIENT ON SIDEWALKS ALONG THE ADA ROUTE SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20), EXCEPT AT CURB RAMPS (1:12), AND A MAXIMUM CROSS SLOPE OF 2.00% (1:50). MAXIMUM SLOPE IN ANY DIRECTION ON AN ADA PARKING STALL OR ACCESS AISLE SHALL BE IN 2.00% (1:50). SUBCONTRACTOR SHALL REVIEW AND VERIFY THE GRADIENT IN THE FIELD ALONG THE ADA ROUTES PRIOR TO PLACING CONCRETE OR BITUMINOUS. SUBCONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE GRADIENT IN THE FIELD VERSUS THE DESIGN GRADIENT. COORDINATE ALL WORK WITH PAVING SUBCONTRACTOR.
- "NO PARKING" SIGNS SHALL BE PLACED ALONG ALL DRIVEWAYS AS REQUIRED BY CITY.
- STREET NAMES ARE SUBJECT TO APPROVAL BY THE CITY.
- BUILDING ADDITION HAS BEEN LOCATED BASED ON ORIGINAL GRIDLINE DESIGN AND/OR EXISTING BUILDING EXTERIOR CORNER SURVEY LOCATIONS. EXTERIOR CORNERS DO NOT REPRESENT EXISTING BUILDING GRIDLINES. SUBCONTRACTOR SHALL LOCATE EXISTING GRIDLINES IN THE FIELD FOLLOWING DEMOLITION AND COORDINATE REQUIRED MODIFICATIONS, IF ANY, TO EXPANSION PLACEMENT WITH CIVIL AND ARCHITECT ACCORDINGLY.
- SUBCONTRACTOR SHALL PROVIDE RECORD PLANS AS REQUIRED BY PERMITTING AGENCIES.

CIVIL 3D MODEL LIMITATIONS

SAMBATEK'S DELIVERABLE AND GOVERNING DOCUMENTS FOR CONSTRUCTION SHALL BE A HARD COPY AND/OR PDF PLAN SHEETS. IF A CIVIL 3D MODEL IS GENERATED IN THE PROCESS OF PREPARING THE PLAN SHEETS, IT IS AS A DESIGN TOOL ONLY AND NOT AS A SEPARATE DELIVERABLE. AT THE OWNER'S REQUEST, WE WILL RELEASE OUR CIVIL 3D MODEL FOR THE SUBCONTRACTOR'S USE. HOWEVER, ITS USE IS AT THE SUBCONTRACTOR'S RISK AND SHALL NOT BE USED FOR STAKING OF CURB, SIDEWALK, OR OTHER HARD SURFACE IMPROVEMENTS. IF A CIVIL 3D MODEL FOR STAKING HARD SURFACE IMPROVEMENTS IS REQUIRED, WE CAN PROVIDE A SUPPLEMENTAL AGREEMENT FOR REFINEMENT AND PREPARATION OF THE CIVIL 3D MODEL.

KEY NOTES

- BUILDING, STOOPS, STAIRS (SEE ARCHITECTURAL PLANS)
- B-612 CONCRETE CURB AND GUTTER
- CURB CUT
- CONCRETE APRON (SEE DETAIL STR-14, SHEET C9.02)
- FLAT CURB SECTION
- CONCRETE SIDEWALK
- SEGMENTAL BLOCK RETAINING WALL
- ADA ACCESS LOCATION
- ACCESSIBLE STALL STRIPING
- ACCESSIBLE PARKING SIGN
- TRANSFORMER
- OPTIONAL MONUMENT SIGN/DIRECTIONAL SIGN LOCATION



THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CE 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. BY CONTACTING THE NOTIFICATION CENTER (OPPER STATE ONE FOR MINNESOTA) THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

CONSULTANT



PROJECT

DAYTON INTERCHANGE

PROJECT ADDRESS

17600 Territorial Road
Dayton, MN 55327

PROJECT NUMBER

51041

ISSUE RECORD

07/31/2023	Development Application
08/16/2023	Revised D.A.
10/23/2023	Storm Sewer Revisions

DATE

08/18/2023

PROJECT MANAGER

BOB

DRAWN BY

JMW

CHECKED BY

GDA

REGISTRATION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

George D. Abernathy

Registration No. 43505

Date: MM/DD/YYYY

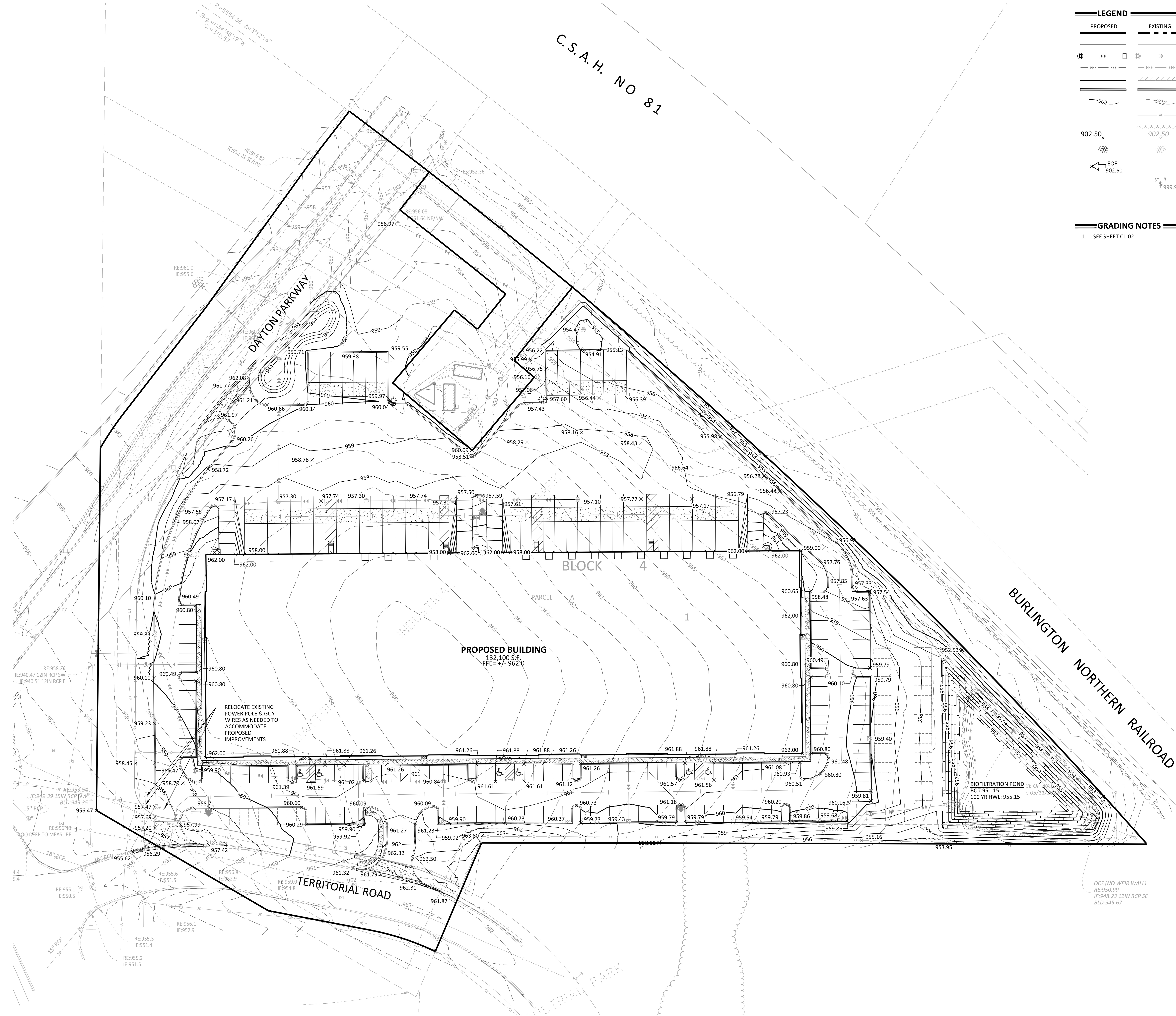
If applicable, contact us for a wet signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

SHEET TITLE

SITE PLAN

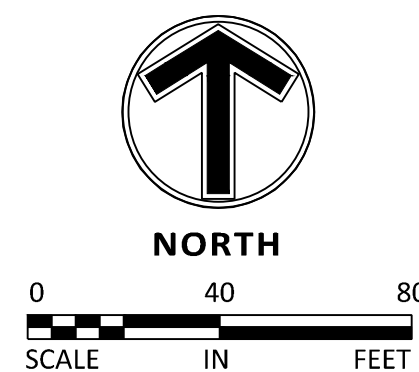
SHEET NUMBER

Friday, June 9, 2023 9:34:17 AM - User: jweyenberg L:\PROJECTS\51041\CAD\Sheets\5104-C4.01-GRAD.dwg



LEGEND			
PROPOSED	EXISTING		
		BOUNDARY LINE	
		CONCRETE CURB	
		STORM SEWER	
		DRAIN TILE	
		BUILDING LINE	
		RETAINING WALL	
		CONTOUR	
		WETLAND	
		TREE LINE	
		SPOT ELEVATIONS	
		RIPRAP	
		OVERFLOW ELEV.	
		SOIL BORING	
		CONCRETE PAVING	
		CONCRETE SIDEWALK	
		PAVEMENT BY OTHERS (SEE ARCHITECTURAL PLANS)	

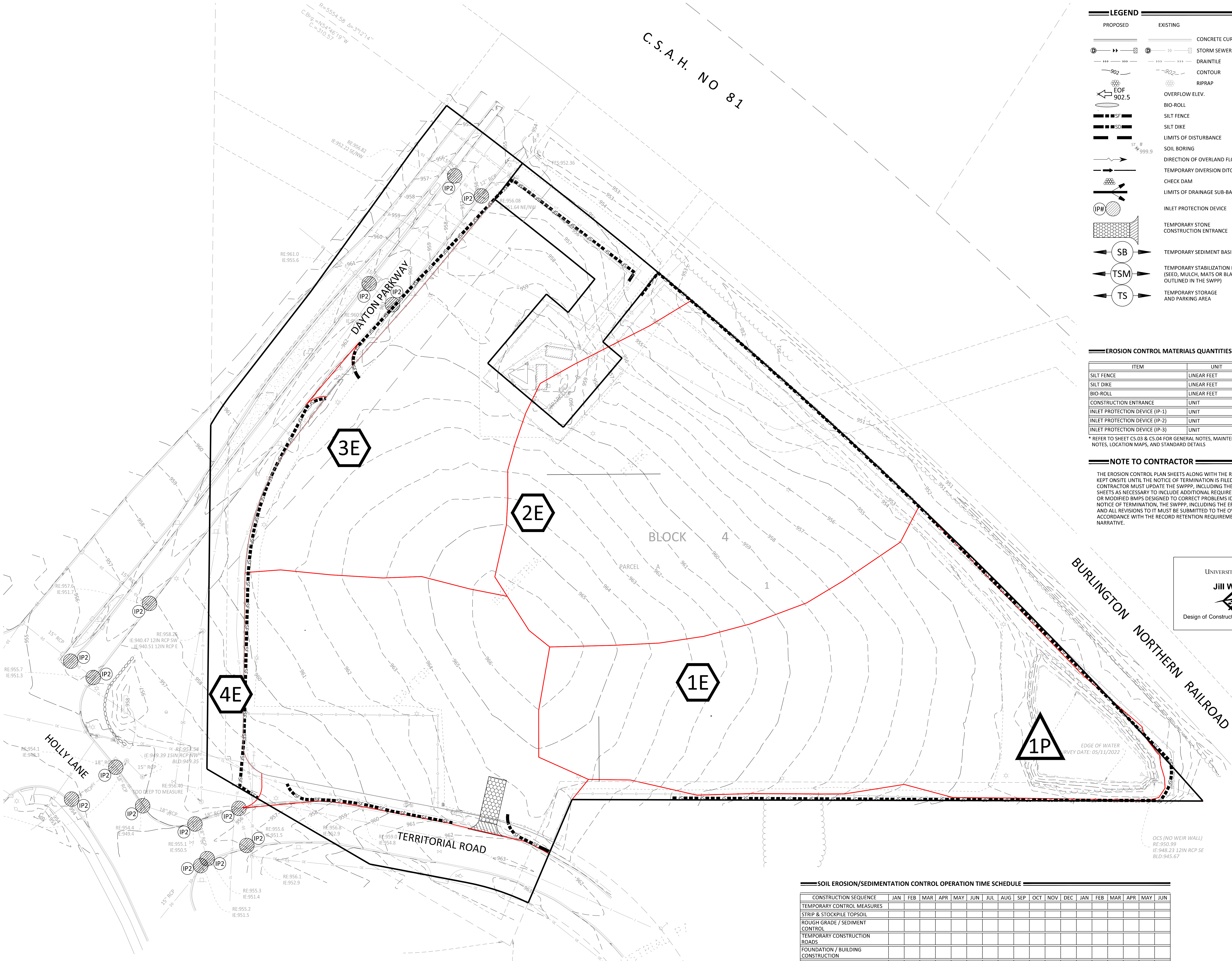
GRADING NOTES
1. SEE SHEET C1.02



Friday, June 9, 2023 9:34:17 AM - User: jweyenberg L:\PROJECTS\051041\CAD\Sheets\04-C5.01-EROS.dwg

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



LEGEND

PROPOSED

EXISTING

CONCRETE CURB

STORM SEWER

DRAINTILE

CONTOUR

RIPRAP

OVERFLOW ELEV.

BIO-ROLL

SILT FENCE

SILT DIKE

LIMITS OF DISTURBANCE

SOIL BORING

DIRECTION OF OVERLAND FLOW

TEMPORARY DIVERSION DITCH

CHECK DAM

LIMITS OF DRAINAGE SUB-BASIN

INLET PROTECTION DEVICE

TEMPORARY STONE CONSTRUCTION ENTRANCE

TEMPORARY SEDIMENT BASIN

TEMPORARY STABILIZATION MEASURES (SEED, MULCH, MATS OR BLANKETS AS OUTLINED IN THE SWPPP)

TEMPORARY STORAGE AND PARKING AREA

EROSION CONTROL MATERIALS QUANTITIES

ITEM	UNIT	QUANTITY
SILT FENCE	LINEAR FEET	2600
SILT DIKE	LINEAR FEET	0
BIO-ROLL	LINEAR FEET	0
CONSTRUCTION ENTRANCE	UNIT	0
INLET PROTECTION DEVICE (IP-1)	UNIT	0
INLET PROTECTION DEVICE (IP-2)	UNIT	15
INLET PROTECTION DEVICE (IP-3)	UNIT	0

* REFER TO SHEET C5.03 & C5.04 FOR GENERAL NOTES, MAINTENANCE NOTES, LOCATION MAPS, AND STANDARD DETAILS

NOTE TO CONTRACTOR

THE EROSION CONTROL PLAN SHEETS ALONG WITH THE REST OF THE SWPPP MUST BE KEPT ONSITE UNTIL THE NOTICE OF TERMINATION IS FILED WITH THE MP&A. THE CONTRACTOR MUST UPDATE THE SWPPP, INCLUDING THE EROSION CONTROL PLAN SHEETS AS NECESSARY TO INCLUDE ADDITIONAL REQUIREMENTS, SUCH AS ADDITIONAL OR MODIFIED BMPs DESIGNED TO CORRECT PROBLEMS IDENTIFIED. AFTER FILING THE NOTICE OF TERMINATION, THE SWPPP, INCLUDING THE EROSION CONTROL PLAN SHEETS, AND ALL REVISIONS TO IT MUST BE SUBMITTED TO THE OWNER, TO BE KEPT ON FILE IN ACCORDANCE WITH THE RECORD RETENTION REQUIREMENTS DESCRIBED IN THE SWPPP NARRATIVE.

UNIVERSITY OF MINNESOTA

Jill Weisberg

Design of Construction SWPPP (May 31 2026)

SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE												
CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
TEMPORARY CONTROL MEASURES												
STRIP & STOCKPILE TOPSOIL												
ROUGH GRADE / SEDIMENT CONTROL												
TEMPORARY CONSTRUCTION ROADS												
FOUNDATION / BUILDING CONSTRUCTION												
SITE CONSTRUCTION												
PERMANENT CONTROL STRUCTURES												
FINISH GRADING												
LANDSCAPING / SEED / FINAL STABILIZATION												
STORM FACILITIES												
NOTE: CONTRACTOR OR GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE												

0

40

80

SCALE

IN

FEET

↑

NORTH

ISSUE RECORD

07/31/2023	Development Application
08/16/2023	Revised D.A.
10/23/2023	Storm Sewer Revisions

DATE	08/18/2023
PROJECT MANAGER	BOB
DRAWN BY	JMW
CHECKED BY	GDA

REGISTRATION
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

George D. Abernathy
Registration No. 43505 Date: MM/DD/YYYY
If applicable, contact us for a wet signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

SHEET TITLE

PHASE 1 EROSION CONTROL PLAN

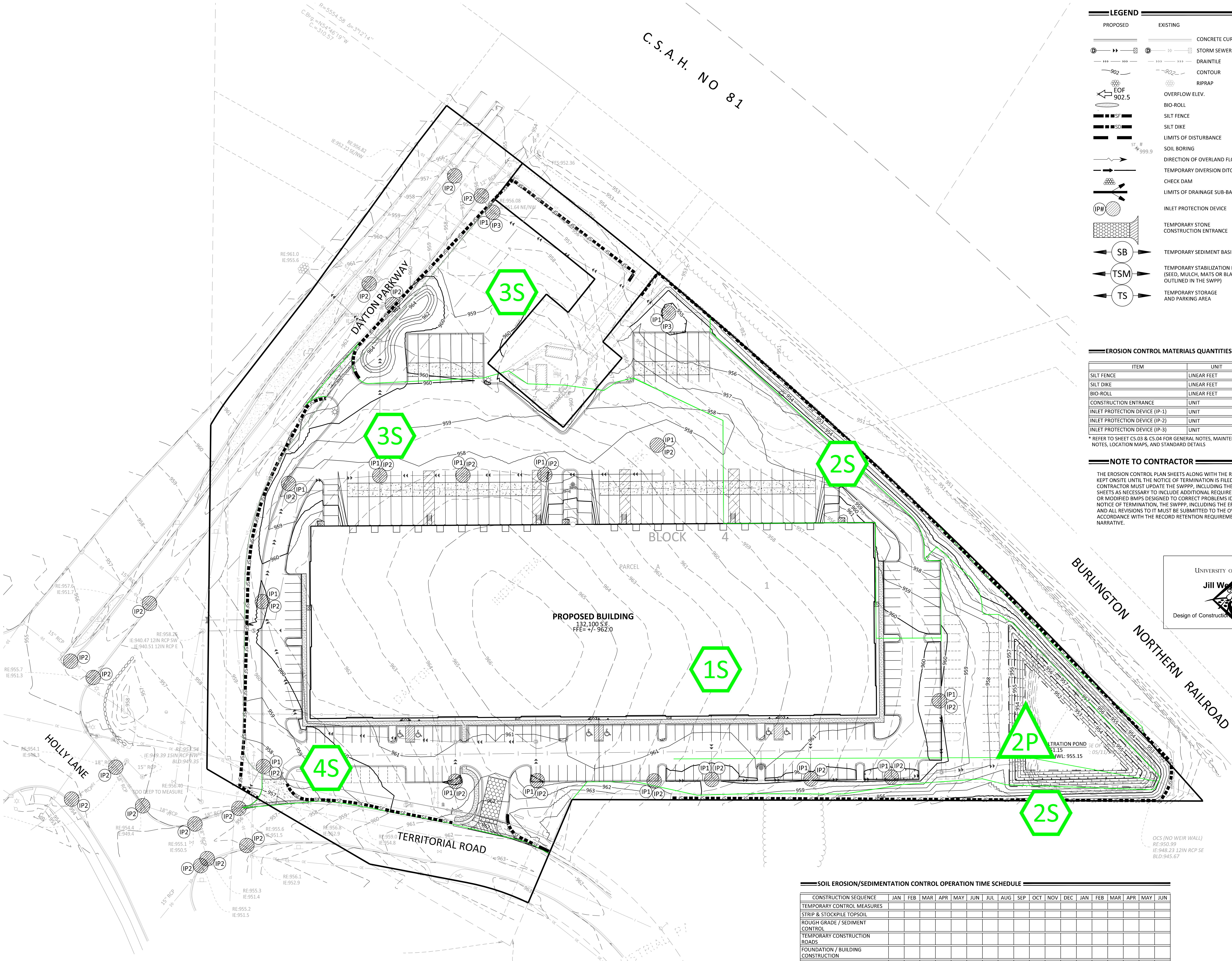
SHEET NUMBER

C5.01

Friday, June 9, 2023 9:34:17 AM - User: jwienberg L:\PROJECTS\1041\CAD\Sheets\104-C5.01-EROS.dwg

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



LEGEND

PROPOSED

EXISTING

CONCRETE CURB

STORM SEWER

DRAINTILE

CONTOUR

RIPRAP

OVERFLOW ELEV.

BIO-ROLL

SILT FENCE

SILT DIKE

LIMITS OF DISTURBANCE

SOIL BORING

DIRECTION OF OVERLAND FLOW

TEMPORARY DIVERSION DITCH

CHECK DAM

LIMITS OF DRAINAGE SUB-BASIN

INLET PROTECTION DEVICE

TEMPORARY STONE CONSTRUCTION ENTRANCE

TEMPORARY SEDIMENT BASIN

TEMPORARY STABILIZATION MEASURES (SEED, MULCH, MATS OR BLANKETS AS OUTLINED IN THE SWPPP)

TEMPORARY STORAGE AND PARKING AREA

EROSION CONTROL MATERIALS QUANTITIES

ITEM	UNIT	QUANTITY
SILT FENCE	LINEAR FEET	2600
SILT DIKE	LINEAR FEET	0
BIO-ROLL	LINEAR FEET	0
CONSTRUCTION ENTRANCE	UNIT	1
INLET PROTECTION DEVICE (IP-1)	UNIT	17
INLET PROTECTION DEVICE (IP-2)	UNIT	30
INLET PROTECTION DEVICE (IP-3)	UNIT	2

* REFER TO SHEET C5.03 & C5.04 FOR GENERAL NOTES, MAINTENANCE NOTES, LOCATION MAPS, AND STANDARD DETAILS

NOTE TO CONTRACTOR

THE EROSION CONTROL PLAN SHEETS ALONG WITH THE REST OF THE SWPPP MUST BE KEPT ONSITE UNTIL THE NOTICE OF TERMINATION IS FILED WITH THE MP&CA. THE CONTRACTOR MUST UPDATE THE SWPPP, INCLUDING THE EROSION CONTROL PLAN SHEETS AS NECESSARY TO INCLUDE ADDITIONAL REQUIREMENTS, SUCH AS ADDITIONAL OR MODIFIED BMPs DESIGNED TO CORRECT PROBLEMS IDENTIFIED. AFTER FILING THE NOTICE OF TERMINATION, THE SWPPP, INCLUDING THE EROSION CONTROL PLAN SHEETS, AND ALL REVISIONS TO IT MUST BE SUBMITTED TO THE OWNER, TO BE KEPT ON FILE IN ACCORDANCE WITH THE RECORD RETENTION REQUIREMENTS DESCRIBED IN THE SWPPP NARRATIVE.

UNIVERSITY OF MINNESOTA

Jill Wienberg

Design of Construction SWPPP (May 31 2026)

SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN
TEMPORARY CONTROL MEASURES																		
STRIP & STOCKPILE TOPSOIL																		
ROUGH GRADE / SEDIMENT CONTROL																		
TEMPORARY CONSTRUCTION ROADS																		
FOUNDATION / BUILDING CONSTRUCTION																		
SITE CONSTRUCTION																		
PERMANENT CONTROL STRUCTURES																		
FINISH GRADING																		
LANDSCAPING / SEED / FINAL STABILIZATION																		
STORM FACILITIES																		

NOTE: CONTRACTOR OR GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE

0

40

80

NORTH

SCALE IN FEET

OPUS

THE OPUS GROUP

Opus AE Group, L.L.C.
10355 Briar Road West
Minnetonka, MN 55343-0110
952-456-4444

Opus Design Build, L.L.C.
10355 Briar Road West
Minnetonka, MN 55343-0110
952-456-4444

CONSULTANT

Sambatek

www.sambatek.com

12802 Whitewater Drive, Suite 300
Minnetonka, MN 55343
763-476-8070

PROJECT

DAYTON INTERCHANGE

PROJECT ADDRESS
17600 Territorial Road
Dayton, MN 55327

PROJECT NUMBER
51041

ISSUE RECORD

07/31/2023 Development Application
08/16/2023 Revised D.A.
10/23/2023 Storm Sewer Revisions

DATE
08/18/2023

PROJECT MANAGER
BOB

DRAWN BY
JMW

CHECKED BY
GDA

REGISTRATION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

George D. Abernathy
Registration No. 43505 Date: MM/DD/YYYY

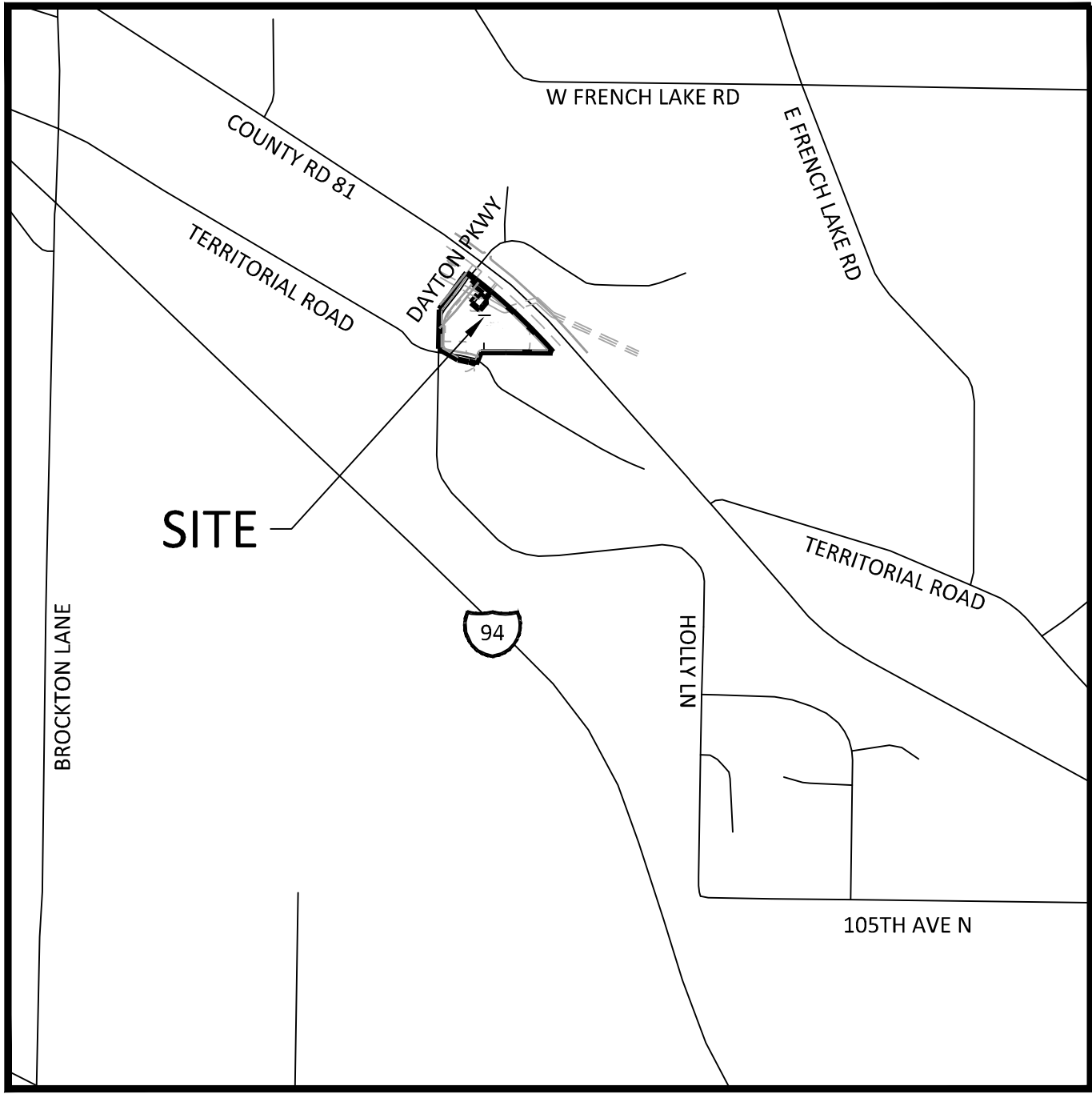
If applicable, contact us for a wet signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

SHEET TITLE

PHASE 2 EROSION CONTROL PLAN

SHEET NUMBER

C5.02



SITE LOCATION MAP
NOT TO SCALE

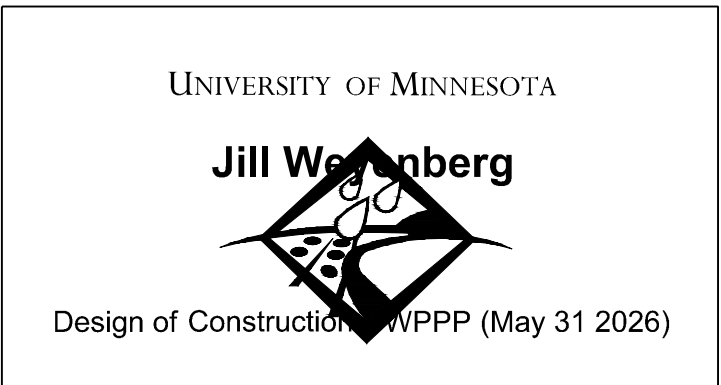


USGS MAP
NOT TO SCALE

DEVELOPER/OWNER: OPUS DEVELOPMENT COMPANY, LLC 10350 BRENN ROAD WEST MINNETONKA, MN 55343 952-456-4440
SITE OPERATOR / GENERAL CONTRACTOR
SUPERINTENDENT:

AREA SUMMARY IN ACRES

PAVEMENT AREA	4.21 AC±
BUILDING AREA	3.03 AC±
SEEDDED AREA	2.12 AC±
TOTAL DISTURBED	9.36 AC±
PRE - CONSTRUCTION IMPERVIOUS	8.32 AC±
POST - CONSTRUCTION IMPERVIOUS	7.24 AC±



GENERAL EROSION NOTES

- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME. WHERE A CONFLICT EXISTS BETWEEN LOCAL JURISDICTIONAL STANDARD SPECIFICATIONS AND SAMBATEK STANDARD SPECIFICATIONS, THE MORE STRINGENT SPECIFICATION SHALL APPLY.
- THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THIS DRAWING (EROSION & SEDIMENTATION CONTROL PLAN-ESC PLAN), THE STANDARD DETAILS, THE PLAN NARRATIVE, AND ITS APPENDICES, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- SUBCONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING & SUBMITTING THE APPLICATION FOR THE MPCA GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY. ALL SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE SWPPP AND THE STATE OF MINNESOTA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT, ISSUED AUGUST 1, 2018) AND BECOME FAMILIAR WITH THE CONTENTS. THE SWPPP AND ALL OTHER RELATED DOCUMENTS MUST BE KEPT AT THE SITE DURING CONSTRUCTION. (NOTE TO THE PREPARER: EDIT APPLICATION PROCESS PER PROJECT REQUIREMENTS)
- SUBCONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES (BMP'S) AS REQUIRED BY THE SWPPP & PERMITS. SUBCONTRACTOR SHALL OVERSEE THE INSPECTION & MAINTENANCE OF THE BMP'S AND EROSION PREVENTION FROM BEGINNING OF CONSTRUCTION AND UNTIL CONSTRUCTION IS COMPLETED, IS APPROVED BY ALL AUTHORITIES, AND THE NOTICE OF TERMINATION (NOT) HAS BEEN FILED WITH THE MPCA BY EITHER THE OWNER OR OPERATOR AS APPROVED ON PERMIT. ADDITIONAL BMP'S SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION. (NOTE TO THE PREPARER: REVISE INSPECTION RESPONSIBILITY PER OPTIONS IN SWPPP NARRATIVE (SECTION 02370))
- SUBCONTRACTOR SHALL COMPLY WITH TRAINING REQUIREMENTS IN PART 21.1-21.3 OF THE GENERAL PERMIT.
- BMP'S AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. SUBCONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- ESC PLAN MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- SUBCONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THE ESC PLANS SHALL BE CLEARLY DELINEATED (E.G. WITH FLAGS, STAKES, SIGNS, SILT FENCE, ETC.) ON THE DEVELOPMENT SITE BEFORE WORK BEGINS. GROUND DISTURBING ACTIVITIES MUST NOT OCCUR OUTSIDE THE LIMITS OF DISTURBANCE.
- SUBCONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) MUST BE LIMITED TO A DEFINED AREA OF THE SITE AND SHALL BE CONTAINED AND PROPERLY TREATED OR DISPOSED. NO ENGINE DEGREASING IS ALLOWED ON SITE.
- ALL LIQUID AND SOLID WASTES GENERATED BY CONCRETE WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER. A COMPACTED CLAY LINER IS NOT ACCEPTABLE. THE LIQUID AND SOLID WASTES MUST NOT CONTACT THE GROUND, AND THERE MUST NOT BE RUNOFF FROM THE CONCRETE WASHOUT OPERATIONS OR AREAS. LIQUID AND SOLID WASTES MUST BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH MPCA REGULATIONS. A SIGN MUST BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES. SELF-CONTAINED CONCRETE WASHOUTS ON CONCRETE DELIVERY TRUCKS ARE ALLOWED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- SOLID WASTE: COLLECTED SEDIMENT, ASPHALT & CONCRETE MILLINGS, FLOATING DEBRIS, PAPER, PLASTIC, FABRIC, CONSTRUCTION & DEMOLITION DEBRIS & OTHER WASTES MUST BE DISPOSED OF PROPERLY & MUST COMPLY WITH MPCA DISPOSAL REQUIREMENTS.
- HAZARDOUS MATERIALS: OIL, GASOLINE, PAINT & ANY HAZARDOUS SUBSTANCES MUST BE PROPERLY STORED, INCLUDING SECONDARY CONTAINMENT, TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. RESTRICTED ACCESS TO STORAGE AREAS MUST BE PROVIDED TO PREVENT VANDALISM. STORAGE & DISPOSAL OF HAZARDOUS WASTE MUST BE IN COMPLIANCE WITH MPCA REGULATIONS.
- ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE SWPPP, SHALL BE INITIATED AS SOON AS PRACTICABLE AND PRIOR TO SOIL DISTURBING ACTIVITIES UPSLOPE.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED SHALL BE TEMPORARILY SEEDED, WITHIN 14 DAYS OF INACTIVITY. SEEDING SHALL BE IN ACCORDANCE WITH MN/DOT SEED MIXTURE NUMBER 21-111 OR 21-112 DEPENDING ON THE SEASON OF PLANTING (SEE MN/DOT SPECIFICATION SECTION 2575.3) SEEDING METHOD AND APPLICATION RATE SHALL CONFORM TO MN/DOT SPECIFICATION SECTION 2575.3. TEMPORARY MULCH SHALL BE APPLIED IN ACCORDANCE WITH MN/DOT SPECIFICATION SECTION 2575.3F1 AND 2575.3G. ALTERNATIVELY, HYDRAULIC SOIL STABILIZER IN ACCORDANCE WITH MN/DOT SPECIFICATION SECTION 2575.3H MAY BE USED IN PLACE OF TEMPORARY MULCH.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED. THESE AREAS SHALL BE STABILIZED IN ACCORDANCE WITH THE TIME TABLE DESCRIBED ABOVE. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN FOR VEGETATIVE COVER. (NOTE TO THE PREPARER: WHERE PERMANENT SEEDING IS NOT CALLED OUT IN THE GRADING AND/ OR LANDSCAPE PLAN, REPLACE THE LAST SENTENCE IN THIS ITEM WITH THE FOLLOWING: SEED WET PONDS WITH MN/DOT SEED MIXTURE 310 "NATIVE WET TALL" BELOW THE HWL. SEED ALL OTHER AREAS WITH SEED MIXTURE 260 "COMMERCIAL TURF". SEEDING METHOD AND APPLICATION RATE SHALL CONFORM TO MN/DOT SPECIFICATION SECTION 2573.3.)
- SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT FROM CONVEYANCES & FROM TEMPORARY SEDIMENTATION BASINS THAT ARE TO BE USED AS PERMANENT WATER QUALITY MANAGEMENT BASINS. SEDIMENT MUST BE STABILIZED TO PREVENT IT FROM BEING WASHED BACK INTO THE BASIN, CONVEYANCES, OR DRAINAGEWAYS DISCHARGING OFF-SITE OR TO SURFACE WATERS. THE CLEANOUT OF PERMANENT BASINS MUST BE SUFFICIENT TO RETURN THE BASIN TO DESIGN CAPACITY.
- ON-SITE & OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BMP'S. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- TEMPORARY SOIL STOCKPILES MUST HAVE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS & CANNOT BE PLACED IN SURFACE WATERS, INCLUDING STORMWATER CONVEYANCES SUCH AS CURB & GUTTER SYSTEMS OR CONDUITS & DITCHES.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, CHECK DAMS, INLET PROTECTION DEVICES, ETC.) TO PREVENT EROSION.
- ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY, THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

MAINTENANCE NOTES

ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. THE DESIGNATED CONTACT PERSON NOTED ON THIS PLAN MUST ROUTINELY INSPECT THE CONSTRUCTION ON SITE ONCE EVERY SEVEN DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

- ALL SILT FENCES MUST BE REPAIRED, REPLACED, OR SUPPLEMENTED WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES 1/2 OF THE HEIGHT OF THE FENCE. THESE REPAIRS MUST BE MADE WITHIN 24 HOURS OF DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
- TEMPORARY AND PERMANENT SEDIMENTATION BASINS MUST BE DRAINED AND THE SEDIMENT REMOVED WHEN THE DEPTH OF SEDIMENT COLLECTED IN THE BASIN REACHES 1/2 THE STORAGE VOLUME. DRAINAGE AND REMOVAL MUST BE COMPLETED WITHIN 72 HOURS OF DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS (SEE PART 10.1-10.5 OF THE GENERAL PERMIT).
- SURFACE WATERS, INCLUDING DRAINAGE DITCHES AND CONVEYANCE SYSTEMS, MUST BE INSPECTED FOR EVIDENCE OF SEDIMENT BEING DEPOSITED BY EROSION. SUBCONTRACTOR MUST REMOVE ALL DELTAS AND SEDIMENT DEPOSITED IN SURFACE WATERS, INCLUDING DRAINAGE WAYS, CATCH BASINS, AND OTHER DRAINAGE SYSTEMS, AND RESTABILIZE THE AREAS WHERE SEDIMENT REMOVAL RESULTS IN EXPOSED SOIL. THE REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN SEVEN (7) DAYS OF DISCOVERY UNLESS PRECLUDED BY LEGAL, REGULATORY, OR PHYSICAL ACCESS CONSTRAINTS. SUBCONTRACTOR SHALL USE ALL REASONABLE EFFORTS TO OBTAIN ACCESS. IF PRECLUDED, REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN SEVEN (7) CALENDAR DAYS OF OBTAINING ACCESS. SUBCONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL LOCAL, REGIONAL, STATE AND FEDERAL AUTHORITIES AND RECEIVING ANY APPLICABLE PERMITS, PRIOR TO CONDUCTING ANY WORK.
- CONSTRUCTION SITE VEHICLE EXIT LOCATIONS MUST BE INSPECTED FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING ONTO PAVED SURFACES. TRACKED SEDIMENT MUST BE REMOVED FROM ALL OFF-SITE PAVED SURFACES, WITHIN 24 HOURS OF DISCOVERY, OR IF APPLICABLE, WITHIN A SHORTER TIME TO COMPLY WITH PART 9.11-9.12 OF THE GENERAL PERMIT.
- SUBCONTRACTOR IS RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF TEMPORARY AND PERMANENT WATER QUALITY MANAGEMENT BMPS, AS WELL AS ALL EROSION PREVENTION AND SEDIMENT CONTROL BMPS. FOR THE DURATION OF THE CONSTRUCTION WORK AT THE SITE, THE PERMITTEE(S) ARE RESPONSIBLE UNTIL ANOTHER PERMITTEE HAS ASSUMED CONTROL (ACCORDING TO PART 3.1 TO 3.8 OF THE MPCA GENERAL PERMIT) OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED OR THE SITE HAS UNDERGONE FINAL STABILIZATION, AND A (N.O.T.) HAS BEEN SUBMITTED TO THE MPCA.
- IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE REMOVED IN A MANNER AND AT A FREQUENCY SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS (E.G., FUGITIVE SEDIMENT IN STREETS COULD BE WASHED INTO STORM SEWERS BY THE NEXT RAIN AND/OR POSE A SAFETY HAZARD TO USERS OF PUBLIC STREETS).
- ALL INFILTRATION AREAS MUST BE INSPECTED TO ENSURE THAT NO SEDIMENT FROM ONGOING CONSTRUCTION ACTIVITIES IS REACHING THE INFILTRATION AREA AND THESE AREAS ARE PROTECTED FROM COMPACTION DUE TO CONSTRUCTION EQUIPMENT DRIVING ACROSS THE INFILTRATION AREA.

SEQUENCE OF CONSTRUCTION

PHASE I:

- INSTALL STABILIZED CONSTRUCTION ENTRANCES.
- PREPARE TEMPORARY PARKING AND STORAGE AREA.
- CONSTRUCT THE SILT FENCES ON THE SITE.
- INSTALL INLET PROTECTION DEVICES ON EXISTING STORM STRUCTURES, AS SHOWN ON THE PLAN.
- CONSTRUCT THE SEDIMENTATION AND SEDIMENT TRAP BASINS, AS REQUIRED.
- CLEAR AND GRUB THE SITE.
- BEGIN GRADING THE SITE.
- START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.

PHASE II:

- TEMPORARY SEED DENUDED AREAS.
- INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
- INSTALL RIP RAP AROUND OUTLET STRUCTURES.
- INSTALL INLET PROTECTION AROUND ALL STORM SEWER STRUCTURES.
- PREPARE SITE FOR PAVING.
- PAVE SITE.
- INSTALL INLET PROTECTION DEVICES.
- COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
- REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED), IF REQUIRED BY THE CONTRACT.



Opus AE Group, L.L.C.
10350 Bren Road West
Minnetonka, MN 55343-0110
952-456-4444

Opus Design Build, L.L.C.
10350 Bren Road West
Minnetonka, MN 55343-0110
952-456-4444



PROJECT

**DAYTON
INTERCHANGE**

PROJECT ADDRESS
17600 Territorial Road
Dayton, MN 55327

PROJECT NUMBER
51041

ISSUE RECORD

07/31/2023 Development Application
08/16/2023 Revised D.A.
10/23/2023 Storm Sewer Revisions

DATE
08/18/2023
PROJECT MANAGER
BOB
DRAWN BY
JMW
CHECKED BY
GDA

REGISTRATION
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

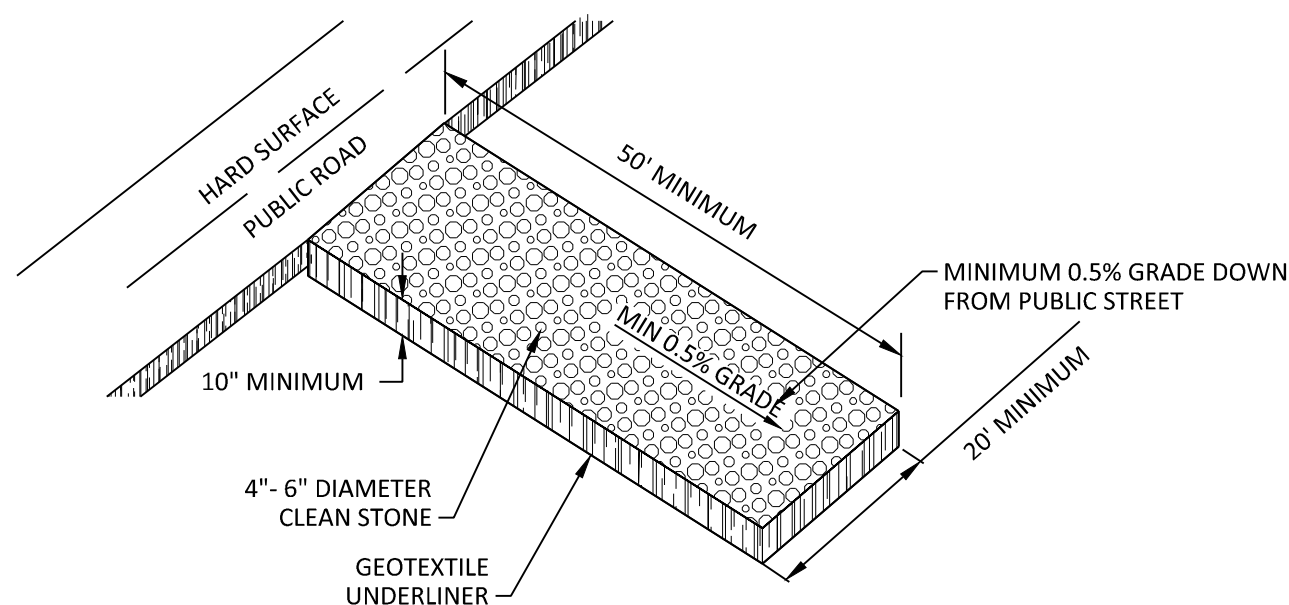
George D. Abernathy
Registration No. 43505 Date: MM/DD/YYYY
If applicable, contact us for a wet signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

SHEET TITLE
**EROSION
CONTROL NOTES**

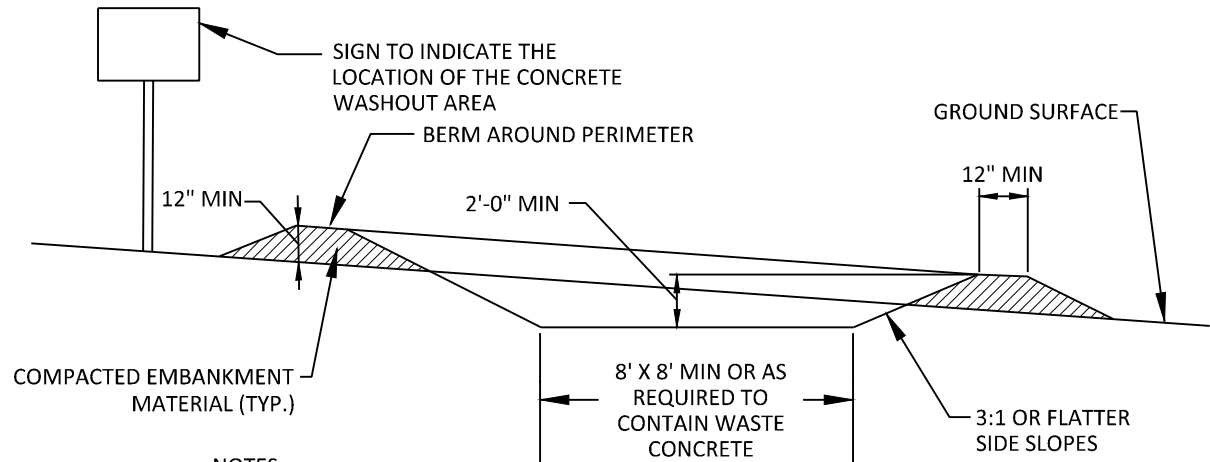
SHEET NUMBER

C5.03

Friday, June 9, 2023 9:34:17 AM - User: jhwjcnberg L:\PROJECTS\1041\CAD Sheets\1041-C5.01-EROS.dwg

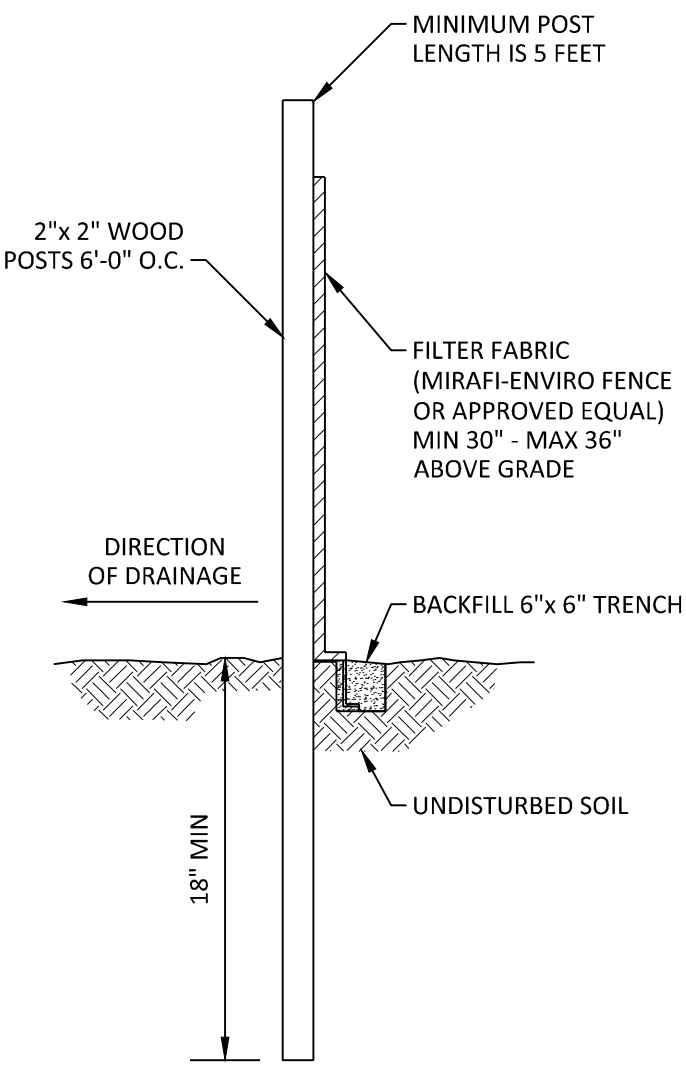


CE **TEMPORARY STONE CONSTRUCTION EXIT**
N.T.S.



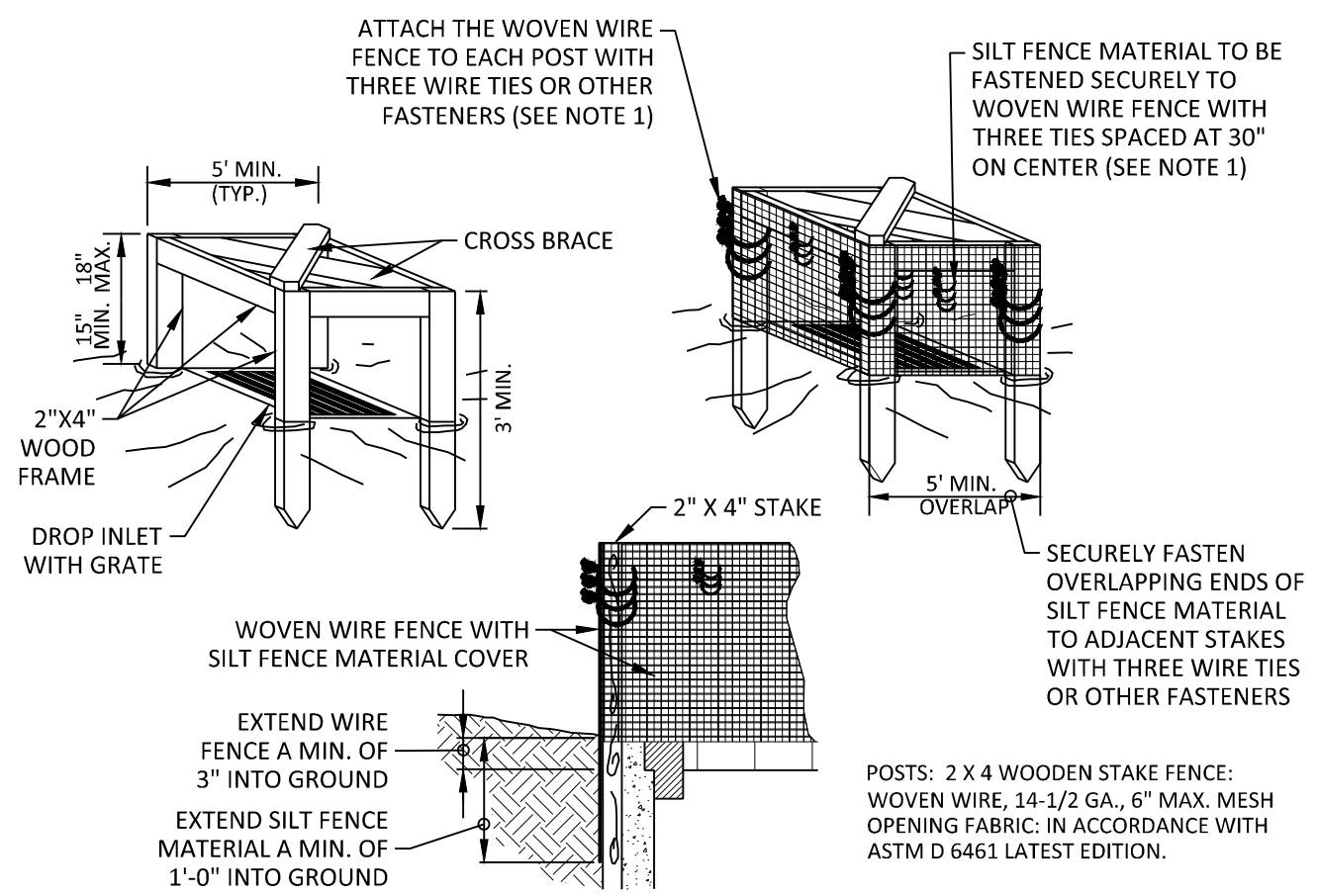
- NOTES:
1. CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
 2. CONCRETE WASHOUT AREA SHALL BE LINED WITH MINIMUM 10 MIL THICK PLASTIC LINER.
 3. VEHICLE TRACKING CONTROL IS REQUIRED IF ACCESS TO CONCRETE WASHOUT AREA IS OFF PAVEMENT.
 4. SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE WASHOUT AREA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CONCRETE WASHOUT AREA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
 5. THE CONCRETE WASHOUT AREA SHALL BE REPAIRED AND ENLARGED OR CLEANED OUT AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE.
 6. AT THE END OF CONSTRUCTION, ALL CONCRETE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN ACCEPTED WASTE SITE.
 7. WHEN THE CONCRETE WASHOUT AREA IS REMOVED, THE DISTURBED AREA SHALL BE SEEDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER ACCEPTED BY THE CITY.

CW **CONCRETE WASHOUT AREA**
N.T.S.



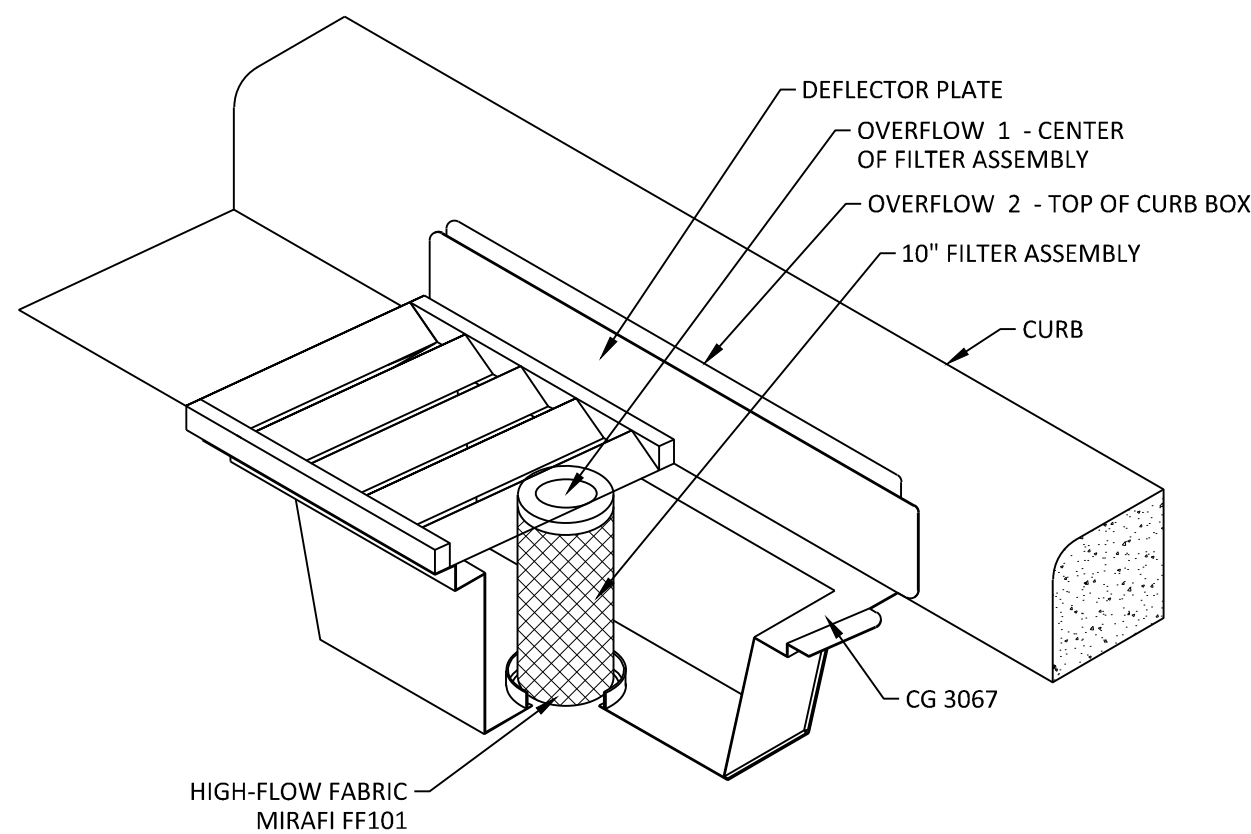
- NOTES:
1. MAXIMUM SPACING BETWEEN POSTS (CENTER TO CENTER) SHALL NOT EXCEED 6 FEET IN SPACING.
 2. A MINIMUM OF 5 FASTENERS PER POST

SF **PREASSEMBLED SILT FENCE- WOOD POSTS (MNDOT 3886)**
N.T.S.



1. ATTACH THE WOVEN WIRE FENCE TO EACH POST AND THE GEOTEXTILE TO THE WOVEN WIRE FENCE (SPACED EVERY 30") WITH THREE WIRE TIES OR OTHER FASTENERS. ALL SPACED WITHIN THE TOP 8" OF THE FABRIC. ATTACH EACH THE DIAGONALLY 45 DEGREES THROUGH THE FABRIC, WITH EACH PUNCTURE AT LEAST 1" VERTICALLY APART.
2. WHEN TWO SECTIONS OF SILT FENCE MATERIAL ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED ACROSS TWO POSTS.
3. MAINTENANCE SHALL BE PERFORMED AS NOTED IN THE SWPPP. DEPTH OF ACCUMULATED SEDIMENTS MAY NOT EXCEED ONE-HALF THE HEIGHT OF THE FABRIC. MAINTENANCE CLEANOUT MUST BE CONDUCTED REGULARLY TO PREVENT ACCUMULATED SEDIMENTS FROM REACHING ONE-HALF THE HEIGHT OF THE SILT FENCE MATERIAL ABOVE GRADE.
4. ALL SILT FENCE INLETS SHALL INCLUDE WIRE SUPPORT.

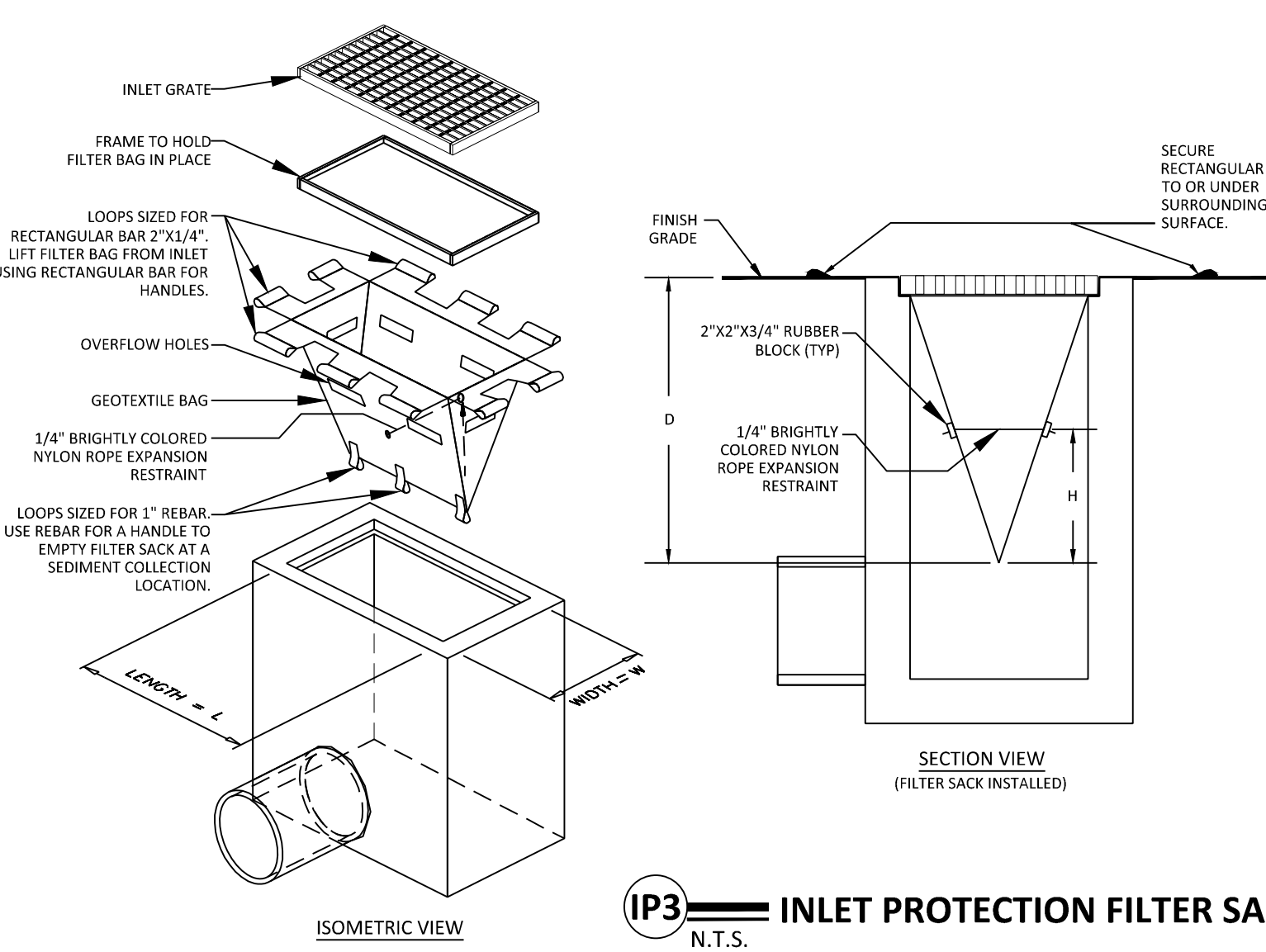
IP1 **SILT FENCE INLET PROTECTION**
N.T.S.



ROAD DRAIN CASTING APPLICABILITY

- NEENAH R-3007
- NEENAH R-3512

IP2 **CURB DRAIN INLET PROTECTION**
N.T.S.



- NOTES:
1. GEOTEXTILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE.
 2. PLACE AN OIL ABSORBENT PAD OR PILLOW OVER INLET GRATE WHEN OIL SPILLS ARE A CONCERN.
 3. THE WIDTH "W" OF THE FILTER SACK SHALL MATCH THE INSIDE WIDTH OF THE GRATED INLET BOX.
 4. THE DEPTH "D" OF THE FILTER SACK SHALL BE BETWEEN 18 INCHES AND 36 INCHES.
 5. THE LENGTH "L" OF THE FILTER SACK SHALL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX.

- MAINTENANCE NOTES:
1. INLET PROTECTION DEVICES MUST BE INSPECTED FOR SEDIMENT ACCUMULATION WITHIN THE CATCH BASIN. REMOVE TRAPPED SEDIMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN.
 2. REMOVAL OF SEDIMENT ACCUMULATED IN OR ADJACENT TO A STORM DRAIN INLET MUST BEGIN IMMEDIATELY UPON DISCOVERY, WITH COMPLETION OF THE ACTIVITY OCCURRING NO LATER THAN THE END OF THE FOLLOWING BUSINESS DAY.
 3. INLET PROTECTION DEVICES SHALL BE INSPECTED FOR UNINTENDED BYPASS OR INADEQUATE FLOW-RATES THAT MAY CAUSE DOWNSIDE FLOODING.
 4. CONTACT THE CEC FOR ALTERNATE INLET PROTECTION IF THE DESIGNED PROTECTION MAY IMPACT DOWNSIDE BMPs, ADJACENT SLOPES, ETC., DUE TO PONDING ISSUES. ENSURE THAT NO UNDERMINING OF INLET PROTECTION DEVICES HAS OCCURRED.
 5. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.

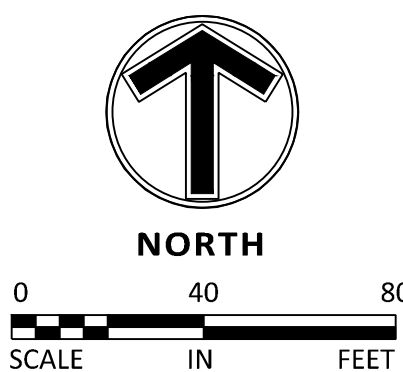
IP3 **INLET PROTECTION FILTER SACK**
N.T.S.

FOR USE ONLY IN PAVED AREAS WHERE SEDIMENT LOADS ARE EXPECTED TO BE VERY LOW. FILTER SACK MUST HAVE OVERFLOW HOLES TO PREVENT PONDING.



Sambatek
www.sambatek.com
12800 Whitewater Drive, Suite 300
Minnetonka, MN 55343
763.476.6010 telephone

7/31/2023	Development Application
8/16/2023	Revised D.A.
0/23/2023	Storm Sewer Revisions



Friday, June 9, 2023 9:34:17 AM - User: jweyenberg L:\PROJECTS\51041\CAD\Sheets\51041-C6.01-UTIL.dwg

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/C1 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IF THE CONTRACTOR ENCOUNTERS ANY DRAIN TILE WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, INVERT AND IF THE TILE LINE IS ACTIVE. NO DRAIN TILE SHALL BE BACKFILLED WITHOUT APPROVAL FROM THE PROJECT ENGINEER.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

SHEET NUMBER

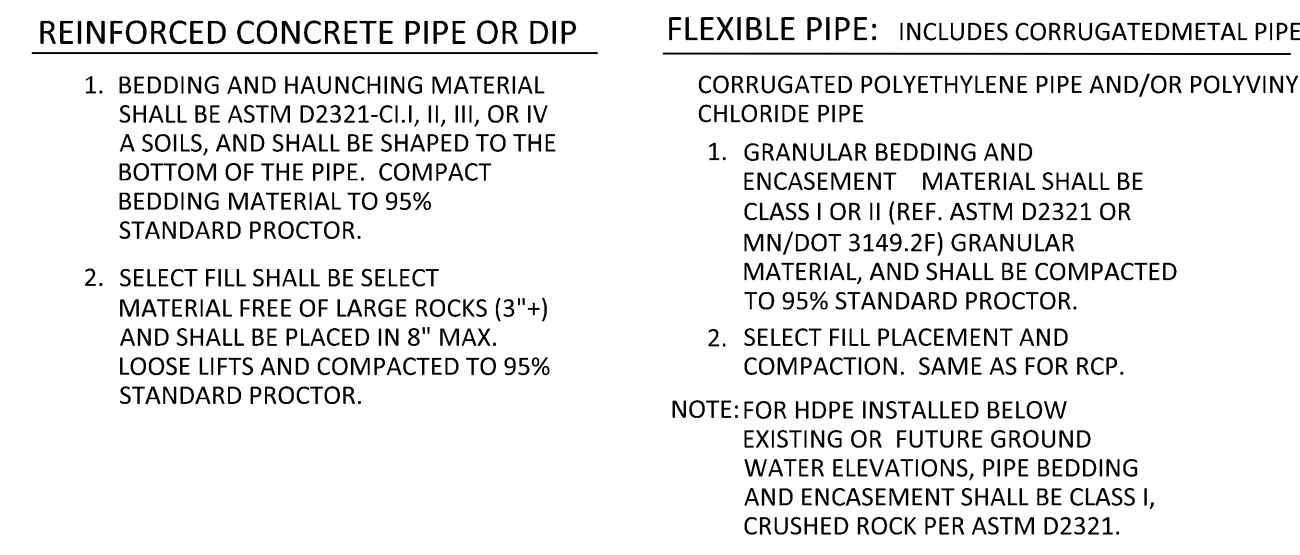
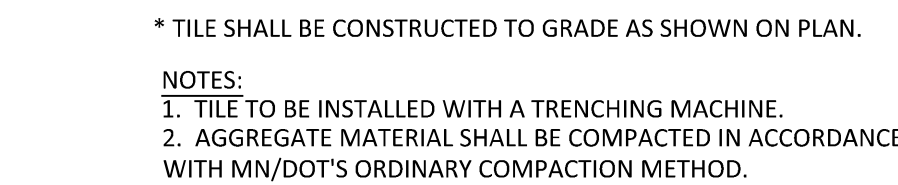
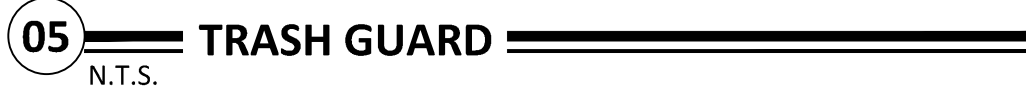
C6.01



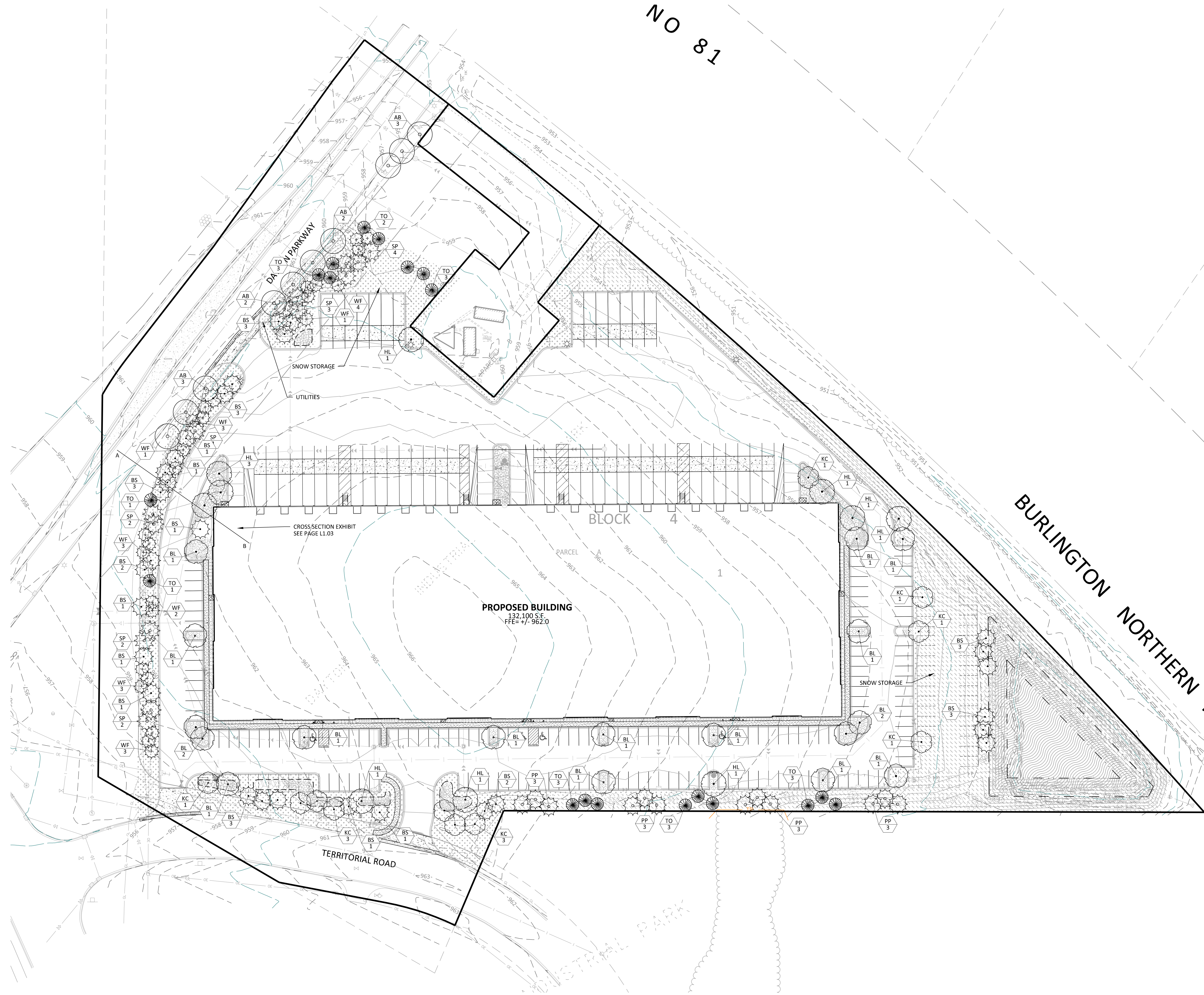
PROJECT ADDRESS
17600 Territorial Road
Dayton, MN 55327

PROJECT NUMBER
51041

07/31/2023	Development Application
08/16/2023	Revised D.A.
10/23/2023	Storm Sewer Revisions



Friday, July 21, 2023 5:18:49 PM - User: jweyenberg L:\PROJECTS\51041\CAD\Sheets\5104-L1.01-LSDP.dwg



LEGEND

PROPOSED

EXISTING

STANDARD DUTY ASPHALT PAVING

CONCRETE PAVING

CONCRETE SIDEWALK

PROPERTY LIMIT

CURB & GUTTER

EASEMENT

BUILDING

RETAINING WALL

WETLAND LIMITS

TREELINE

LANDSCAPE EDGING

STORM SEWER

SANITARY SEWER

FORCEMAIN (SAN.)

WATERMAIN

YARDDRRAIN

LIMITS OF DISTURBANCE

TREE PROTECTION FENCE

TREE TO BE REMOVED

SIGN

PIPE BOLLARD

RIPRAP

DAYTON LANDSCAPE CODE

TREE PRESERVATION NOTE: NO TREE OTHER THAN THE ONES BEING REMOVE FOR THE PLACEMENT OF STORMWATER FACILITIES HAVE BEEN REMOVED

1001.24. subd. 4 (3-4) LANDSCAPE DESIGN STANDARDS:

(a) One over-story tree per 3,000 square feet of open area.

(b) One evergreen tree per 3,000 square feet of open area.

(c) One deciduous or evergreen shrub per 100 square feet of open area.

Parking lot screening shall be not less than eighty percent (80%) opaque and be a minimum of 3 1/2 feet and a maximum of 4 feet in height as measured from the adjacent finished surface of the parking area. When shrubs are used to provide the screen, such shrubs must be at least 2 feet tall at planting and anticipated to grow to at least 3 1/2 feet tall at maturity. MUST BE BERMEED.

1001.24. subd. 4 (5) LANDSCAPE DESIGN STANDARDS:

1. At least 25% of the land area shall be sodded and landscaped with approved ground cover, shrubbery and trees.

2. At least 3% of the internal parking area shall be landscaped. This area is counted as part of the overall required "landscape area."

1001.24. subd. 5(7)GENERAL LANDSCAPE REQUIREMENTS:

A minimum of 1 over-story tree shall be provided for each island. This provision may be waived for islands utilized for stormwater management or other utility or safety issues as determined by the City Engineer.

a. Shrubs, perennials or ornamental grass shall be incorporated in each landscaped island.

b. Islands shall be prepared with topsoil to a depth of 2 feet and improved to ensure adequate drainage, nutrient and moisture retention levels for the establishment of plantings.

c. All perimeter and interior landscaped areas in parking lots shall be equipped with a permanent irrigation system, unless drought tolerant plant materials are used exclusively. Where drought tolerant plant materials are used, irrigation shall be required only for the 2 year period following plant installation and may be accomplished using hoses, water trucks, or other nonpermanent means.

1001.24 subd. 6(2) PARKWAY LANDSCAPING:

Parkway trees shall be provided not more than 20 feet apart in the right-of-way adjacent to the parcel and within the median of the parkway.

1001.24 subd. 7(2)SCREENING AND BURRERING:

d.2. Any use that abuts a collector or arterial roadway as defined in the City's Comprehensive Plan shall provide a minimum of 35 feet wide buffer along the entire boundary of the roadway.

CALCULATIONS	REQUIRED	PROPOSED
REQUIRED OPEN SPACE	25% (111,964SF)	30% (137,728SF)
ONE OVERSTORY TREE PER 3,000 SF OF OPEN SPACE	38	38
ONE CONIFEROUS TREE PER 3,000 SF OF OPEN SPACE	38	38
ONE SHRUB PER 100 SF OF OPEN SPACE	1,120	1,120
REQUIRED PARKING LOT SCREENING	-	164
ONE OVERSTORY TREE PER PARKING ISLAND	-	21
ONE TREE PER 30 LF OF PARKWAY FRONTAGE	(278/30) = 10	10
PARKING LOT ISLAND REQUIREMENTS	3%	5%
SCREENING ALONG DAYTON PARKWAY IN ADDITION TO OTHER REQUIREMENTS	-	99

PLANT SCHEDULE					
TREES	CODE	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
AB	AB	Acer freemanii / Autumn Blaze / Autumn Blaze Maple	5 gal	2.5' Cal	10
HL	HL	Gleditsia inracornis 'Skyline' / Skyline Honey Locust	5 gal	2.5' Cal	10
KC	KC	Gymnocladus dioica 'Espresso' / Kentucky Coffeetree	5 gal	2.5' Cal	11
BL	BL	Tilia americana 'Boulevard' / Boulevard Linden	5 gal	2.5' Cal	17
CONIFERS	CODE	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
WF	WF	Abies concolor / White Fir	5 gal	6'	14
BS	BS	Picea glauca densata / Black Hills Spruce	5 gal	6'	30
PP	PP	Pinus ponderosa / Ponderosa Pine	5 gal	6'	12
SP	SP	Pinus sylvestris / Scotch Pine	5 gal	6'	14
TD	TD	Thuja occidentalis / American Arborvitae	5 gal	6'	19
SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	HEIGHT/WIDTH	
RS	RS	Amelanchier alnifolia 'Regent' / Saskatoon Serviceberry	5 gal		111
BC	BC	Aronia melanocarpa 'Autumn Magic' / Autumn Magic Black Chokeberry	5 gal		102
YD	YD	Cornus alba 'Bud's Yellow' / Bud's Yellow Dogwood	5 gal		64
RD	RD	Cornus baileyi / Bailey's Red-twig Dogwood	5 gal		34
CD	CD	Cornus sericea 'Alleman's Compact' / Dwarf Red-twig Dogwood	5 gal		60
WE	WE	Euonymus alatus / Winged Euonymus	5 gal		39
CE	CE	Euonymus alatus 'Compactus' / Compact Burning Bush	5 gal		46
FF	FF	Forsythia x 'Fiesta' / Fiesta Forsythia	5 gal		17
GF	GF	Forsythia x 'Gold Tides' / Golden Tide Forsythia	5 gal		30
BJ	BJ	Juniperus subnana 'Broadmoor' / Broadmoor Juniper	5 gal		90
PT	PT	Potentilla fruticosa 'Tango' TM / Fargo Potentilla	5 gal		169
GL	GL	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal		169
DW	DW	Salix purpurea 'Nana' / Dwarf Arctic Willow	5 gal		58
PS	PS	Sorbaria sorbifolia 'Sem' / Sem Ash Leaf Spiraea	5 gal		103
HA	HA	Thuja occidentalis 'Holmstrup' / Holmstrup Cedar	10 gal		28
GRASSES	CODE	BOTANICAL / COMMON NAME	CONT	HEIGHT/WIDTH	
PEN	PEN	Carex pennsylvanica / Pennsylvania Sedge	1 gal		32
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	CONT		
33-263	33-263	MNDOT Seed Mix 33-263 / Ponds and Wet Areas	Seed		
35-221	35-221	MNDOT Seed Mix 35-221 / Dry Prairie General	Seed		
TUR HIG	TUR HIG	Turf Sod Highland Sod / Sod	Sod		

OPUS

THE OPUS GROUP

Opus AE Group, L.L.C.

10355 Briar Road West
Minnetonka, MN 55345-0110
952-456-4444

Opus Design Build, L.L.C.

10355 Briar Road West
Minnetonka, MN 55345-0110
952-456-4444

CONSULTANT

Sambatek

www.sambatek.com

12802 Whitestar Drive, Suite 300
Minnetonka, MN 55345

763.476.8070

PROJECT

DAYTON INTERCHANGE

PROJECT ADDRESS

17600 Territorial Road
Dayton, MN 55327

PROJECT NUMBER

51041

ISSUE RECORD

07/31/2023 Development Application

08/16/2023 Revised D.A.

10/23/2023 Storm Sewer Revisions

DATE

08/18/2023

PROJECT MANAGER

JRW

DRAWN BY

MJL

CHECKED BY

JRW

REGISTRATION

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly licensed LANDSCAPE ARCHITECT under the laws of the State of Minnesota.

John R. Workman

Registration No. 59119

Date: MM/DD/YYYY

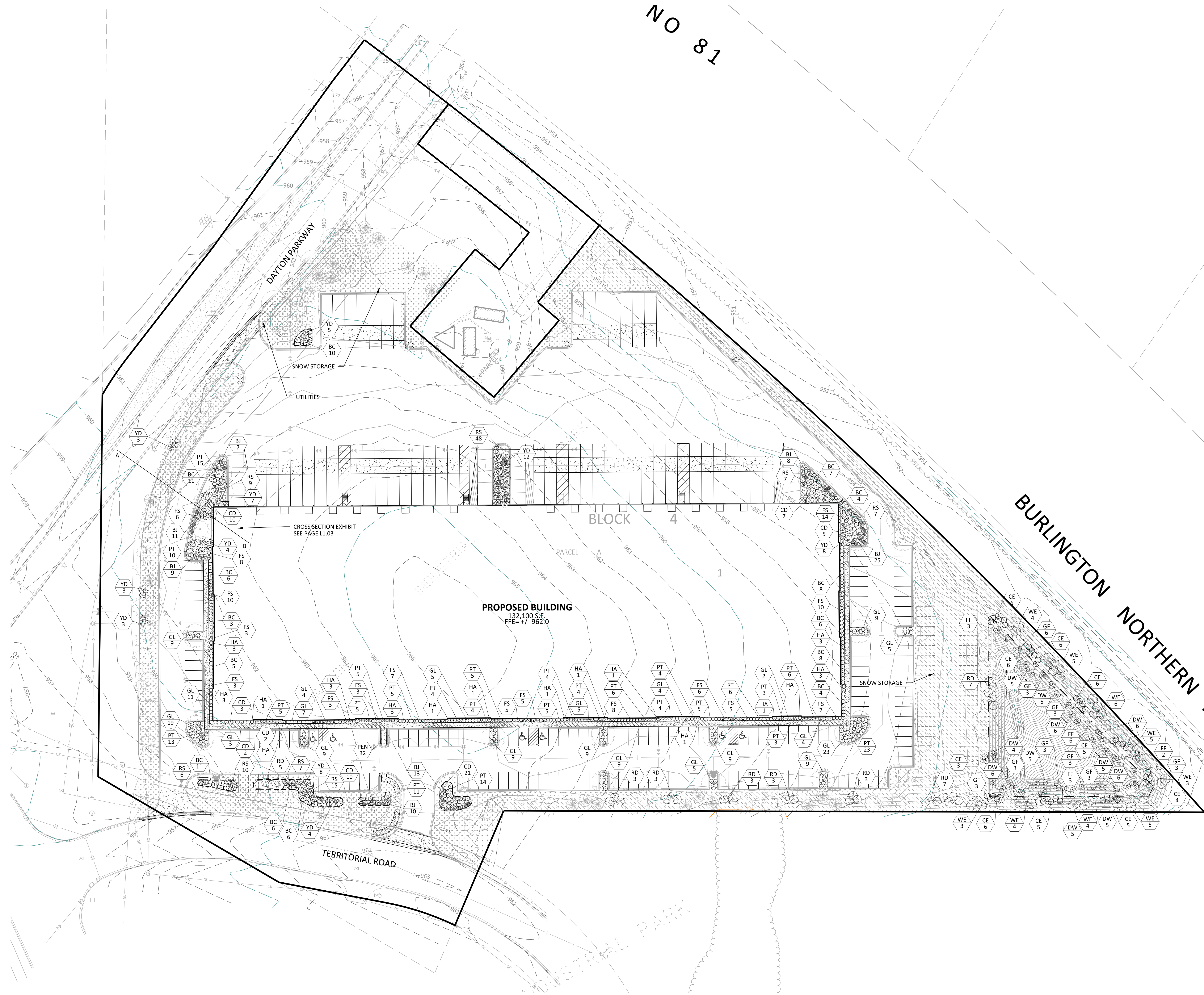
This certification is not valid unless signed in blue ink. If applicable, contact us for a wet signed copy of this survey which is available upon request at Sambatek, Minnetonka, MN office.

SHEET TITLE

LANDSCAPE PLAN

SHEET NUMBER

L1.01



LEGEND

PROPERTY LIMIT	PROPOSED	EXISTING	STANDARD DUTY ASPHALT PAVING
CURB & GUTTER			
EASEMENT			CONCRETE PAVING
BUILDING			CONCRETE SIDEWALK
RETAINING WALL			
WETLAND LIMITS			
TREELINE			
LANDSCAPE EDGING			
STORM SEWER			
SANITARY SEWER			
FORCEMAIN (SAN.)			
WATERMAIN			
YARDDRAIN			

DAYTON LANDSCAPE CODE

TREE PRESERVATION NOTE: NO TREE OTHER THAN THE ONES BEING REMOVE FOR THE PLACEMENT OF STORMWATER FACILITIES HAVE BEEN REMOVED

1001.24. subd. 4 (3-4) LANDSCAPE DESIGN STANDARDS:

(a) One over-story tree per 3,000 square feet of open area.
(b) One evergreen tree per 3,000 square feet of open area.
(c) One deciduous or evergreen shrub per 100 square feet of open area.
Parking lot screening shall be not less than eighty percent (80%) opaque and be a minimum of 3 1/2 feet in height and a maximum of 4 feet in height as measured from the adjacent finished surface of the parking area. When shrubs are used to provide the screen, such shrubs must be at least 2 feet tall at planting and anticipated to grow to at least 3 1/2 feet tall at maturity. MUST BE BERMED.

1001.24. subd. 4 (5) LANDSCAPE DESIGN STANDARDS:

1. At least 25% of the land area shall be sodded and landscaped with approved ground cover, shrubbery and trees.
2. At least 3% of the internal parking area shall be landscaped. This area is counted as part of the overall required "landscape area."

1001.24. subd. 5(7)GENERAL LANDSCAPE REQUIREMENTS:

A minimum of 1 over-story tree shall be provided for each island. This provision may be waived for islands utilized for stormwater management or other utility or safety issues as determined by the City Engineer.
a. Shrubs, perennials or ornamental grass shall be incorporated in each landscaped island.
b. Islands shall be prepared with topsoil to a depth of 2 feet and improved to ensure adequate drainage, nutrient and moisture retention levels for the establishment of plantings.
c. All perimeter and interior landscaped areas in parking lots shall be equipped with a permanent irrigation system, unless drought tolerant plant materials are used exclusively. Where drought tolerant plant materials are used, irrigation shall be required only for the 2 year period following plant installation and may be accomplished using hoses, water trucks, or other nonpermanent means.

1001.24 subd. 6(2) PARKWAY LANDSCAPING:

Parkway trees shall be provided not more than 20 feet apart in the right-of-way adjacent to the parcel and within the median of the parkway.

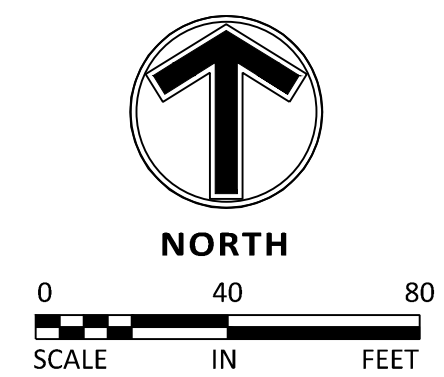
1001.24 subd. 7(2)SCREENING AND BURRERING:

d.2. Any use that abuts a collector or arterial roadway as defined in the City's Comprehensive Plan shall provide a minimum of 35 feet wide buffer along the entire boundary of the roadway.

CALCULATIONS	REQUIRED	PROPOSED
REQUIRED OPEN SPACE	25% (111,964SF)	30%(137,728SF)
ONE OVERSTORY TREE PER 3,000 SF OF OPEN SPACE	38	38
ONE CONIFEROUS TREE PER 3,000 SF OF OPEN SPACE	38	38
ONE SHRUB PER 100 SF OF OPEN SPACE	1,120	1,120
REQUIRED PARKING LOT SCREENING	-	164
ONE OVERSTORY TREE PER PARKING ISLAND	-	21
ONE TREE PER 30 LF OF PARKWAY FRONTAGE	(278/30) = 10	10
PARKING LOT ISLAND REQUIREMENTS	3%	5%
SCREENING ALONG DAYTON PARKWAY IN ADDITION TO OTHER REQUIREMENTS	-	99

PLANT SCHEDULE

TREE	CODE	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
AB	AB	Acer freemanii / Autumn Blaze Maple	5 gal	2.5' Cal		10
HL	HL	Gleditsia inaequalis 'Skyline' / Skyline Honey Locust	5 gal	2.5' Cal		10
KC	KC	Gymnocladus dioica 'Espresso' / Kentucky Coffeetree	5 gal	2.5' Cal		11
BL	BL	Tilia americana 'Boulevard' / Boulevard Linden	5 gal	2.5' Cal		17
CONIFERS	CODE	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
WF	WF	Abies concolor / White Fir	5 gal	6"	6"	34
BS	BS	Picea glauca densata / Black Hills Spruce	5 gal	6"	6"	30
PP	PP	Pinus ponderosa / Ponderosa Pine	5 gal	6"	6"	12
SP	SP	Pinus sylvestris / Scotch Pine	5 gal	6"	6"	14
TD	TD	Thuja occidentalis / American Arborvitae	5 gal	6"	6"	19
SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	HEIGHT/WIDTH		
RS	RS	Amelanchier alnifolia 'Regent' / Saskatoon Serviceberry	5 gal			111
BC	BC	Aronia melanocarpa 'Autumn Magic' / Autumn Magic Black Chokeberry	5 gal			102
YD	YD	Cornus alba 'Budd's Yellow' / Budd's Yellow Dogwood	5 gal			64
RD	RD	Cornus baccata / Baily's Red-twig Dogwood	5 gal			34
CD	CD	Cornus sericea 'Alleman's Compact' / Dwarf Red-twig Dogwood	5 gal			60
WE	WE	Euonymus alatus / Winged Euonymus	5 gal			39
CE	CE	Euonymus alatus 'Compactus' / Compact Burning Bush	5 gal			46
FF	FF	Forseythia x 'Fiesta' / Fiesta Forsythia	5 gal			17
GF	GF	Forseythia x 'Gold Tides' / Golden Tide Forsythia	5 gal			30
RI	RI	Juniperus subnana 'Broadmoor' / Broadmoor Juniper	5 gal			90
PT	PT	Potentilla fruticosa 'Tango' TM / Fargo Potentilla	5 gal			169
GL	GL	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal			169
DW	DW	Salix purpurea 'Nana' / Dwarf Arctic Willow	5 gal			58
FS	FS	Sorbaria sorbifolia 'Sem' / Sem Ash Leaf Spirea	5 gal			103
HA	HA	Thuja occidentalis 'Holmsstrup' / Holmsstrup Cedar	10 gal			28
GRASSES	CODE	BOTANICAL / COMMON NAME	CONT	HEIGHT/WIDTH		
PEN	PEN	Carex pennsylvanica / Pennsylvania Sedge	1 gal			32
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	CONT			
33-263	33-263	MNDOT Seed Mix 33-263 / Ponds and Wet Areas	Seed			
35-221	35-221	MNDOT Seed Mix 35-221 / Dry Prairie General	Seed			
TUR HIG	TUR HIG	Turf Sod Highland Sod / Sod	Sod			



OPUS
THE OPUS GROUP

Opus AE Group, L.L.C.
10355 Briar Road West
Minnetonka, MN 55345-0110
952-456-4444

Opus Design Build, L.L.C.
10355 Briar Road West
Minnetonka, MN 55345-0110
952-456-4444

CONSULTANT

Sambatek
www.sambatek.com
12802 Whitestar Drive, Suite 300
Minnetonka, MN 55345
763.476.8070 / 800.476.8070

PROJECT

DAYTON INTERCHANGE

PROJECT ADDRESS
17600 Territorial Road
Dayton, MN 55327

PROJECT NUMBER
51041

ISSUE RECORD

07/31/2023	Development Application
08/16/2023	Revised D.A.
10/23/2023	Storm Sewer Revisions

DATE
08/18/2023

PROJECT MANAGER
JRW

DRAWN BY
MUL

CHECKED BY
JRW

REGISTRATION

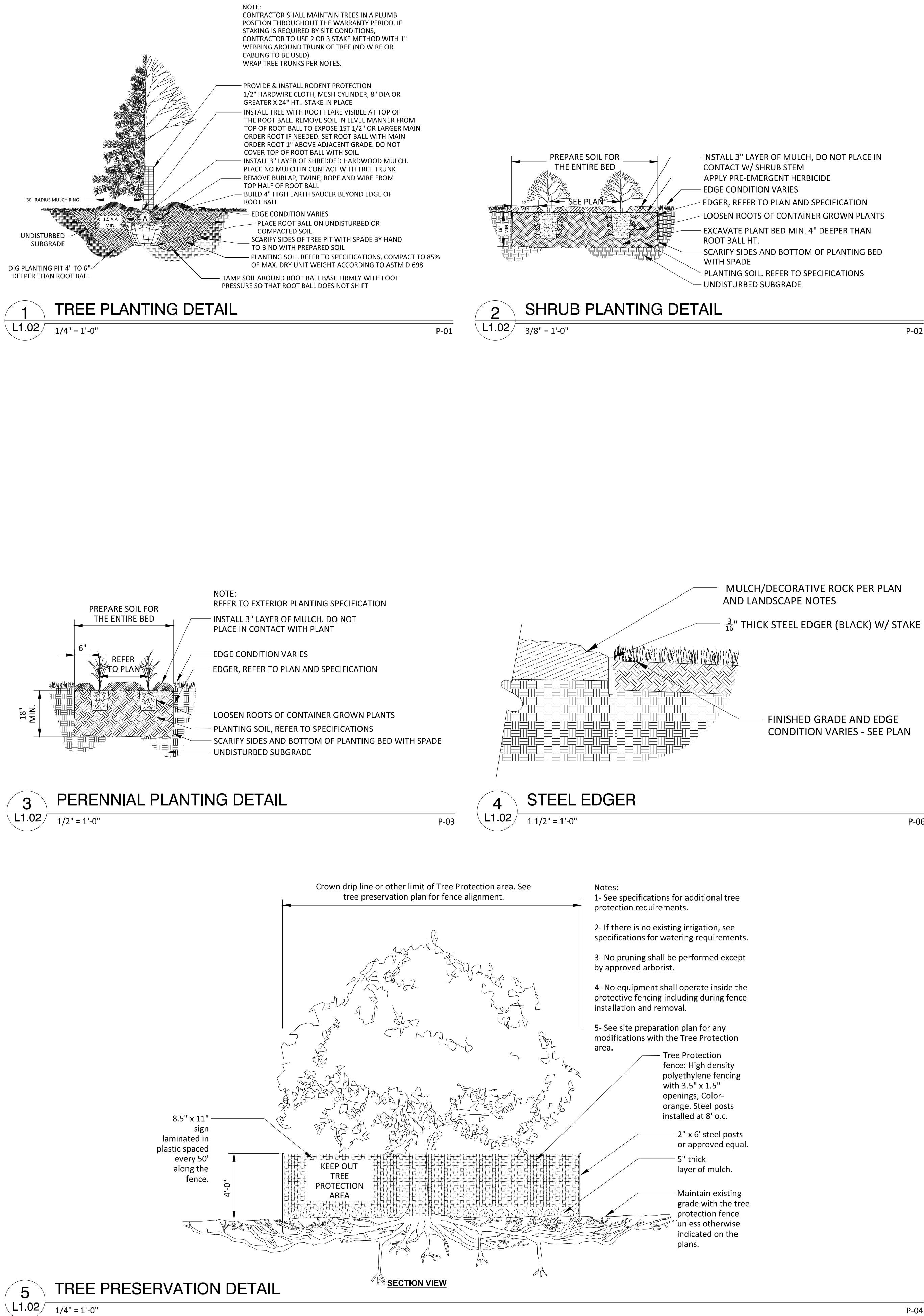
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed LANDSCAPE ARCHITECT under the laws of the State of Minnesota.

John R. Workman
Registration No. 59119 Date: MM/DD/YYYY

This certification is not valid unless signed in blue ink. If applicable, contact us for a wet signed copy of this survey which is available upon request at Sambatek, Minnetonka, MN office.

SHEET TITLE
SHRUB PLAN

SHEET NUMBER



NOTES

GENERAL NOTES:

1. THE CONTRACTOR SHALL INSPECT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF THE WORK.
2. THE CONTRACTOR SHALL VERIFY PLAN LAYOUT AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN OR INTENT OF THE LAYOUT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES, REGULATIONS, AND PERMITS GOVERNING THE WORK.
3. THE CONTRACTOR SHALL PROTECT EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING CONSTRUCTION. DAMAGE TO SAME SHALL BE REPAIRED AND/OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
4. LOCATE AND VERIFY ALL UTILITIES, INCLUDING IRRIGATION LINES, WITH THE OWNER FOR PROPRIETARY UTILITIES AND GOMPER STATE ONE CALL 48 HOURS BEFORE DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ANY DAMAGES TO SAME. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS TO FACILITATE PLANT RELOCATION.
5. THE LANDSCAPE ARCHITECT SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.
6. THE CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR WARRANTY. UNDESIRABLE SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK.
7. THE PLAN TAKES PRECEDENCE OVER THE LANDSCAPE LEGEND IF DISCREPANCIES EXIST. QUANTITIES SHOWN IN THE PLANTING SCHEDULE ARE FOR THE CONTRACTOR'S CONVENIENCE. CONTRACTOR TO VERIFY QUANTITIES SHOWN ON THE PLAN.
8. THE SPECIFICATIONS TAKE PRECEDENCE OVER THE PLANTING NOTES AND GENERAL NOTES.
9. EXISTING TREES AND SHRUBS TO REMAIN SHALL BE PROTECTED TO THE DRIP LINE FROM ALL CONSTRUCTION TRAFFIC, STORAGE OF MATERIALS ETC. WITH 4" HT. ORANGE PLASTIC SAFETY FENCING ADEQUATELY SUPPORTED BY STEEL FENCE POSTS 6' O.C. MAXIMUM SPACING.
10. LONG-TERM STORAGE OF MATERIALS OR SUPPLIES ON SITE WILL NOT BE ALLOWED.
11. CONTRACTOR SHALL REQUEST IN WRITING, A FINAL ACCEPTANCE INSPECTION.

PLANTING NOTES:

1. NO PLANTS SHALL BE INSTALLED UNTIL FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
2. A GRANULAR PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANT BEDS AT THE MANUFACTURERS RECOMMENDED RATE PRIOR TO PLANT INSTALLATION.
3. ALL PLANTING STOCK SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK" ANSI-Z60, LATEST EDITION, OF THE AMERICAN ASSOCIATION OF NURSEYMEN, INC. AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIALS.
4. OVERSTORY TREES SHALL BEGIN BRANCHING NO LOWER THAN 6' ABOVE PAVED SURFACES.
5. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE AND BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE LANDSCAPE LEGEND.
6. PLANT MATERIALS TO BE INSTALLED PER PLANTING DETAILS.
7. ALL TREES MUST BE STRAIGHT TRUNKED AND FULL-HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
8. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH ARE DEEMED UNSATISFACTORY BEFORE, DURING, OR AFTER INSTALLATION.
9. NO SUBSTITUTIONS OF PLANT MATERIAL SHALL BE ACCEPTED UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
10. ALL PLANT MATERIAL QUANTITIES, SHAPES OF BEDS AND LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACINGS SHOWN AND ADJUSTED TO CONFORM TO THE EXACT CONDITIONS OF THE SITE. THE LANDSCAPE ARCHITECT SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIALS PRIOR TO INSTALLATION.
11. ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
12. MULCH: DOUBLE SHREDDED HARDWOOD MULCH, CLEAN AND FREE OF NOXIOUS WEEDS OR OTHER DELETERIOUS MATERIAL, IN ALL MASS PLANTING BEDS AND FOR TREES, UNLESS INDICATED AS ROCK MULCH ON DRAWINGS. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT PRIOR TO DELIVERY ON-SITE FOR APPROVAL. DELIVER MULCH ON DAY OF INSTALLATION. USE 3" FOR SHRUB BEDS, TREE RINGS, AND 3" FOR PERENNIAL/GROUND COVER BEDS, UNLESS OTHERWISE DIRECTED.
13. BUILDING MAINTENANCE STRIP: WHERE NO LANDSCAPE PLANTING BEDS EXIST ADJACENT TO A BUILDING FOUNDATION, CONTRACTOR SHALL INSTALL A DECORATIVE ROCK MAINTENANCE STRIP PER PLAN. DECORATIVE ROCK SHALL BE 3" LIME STONE ROCK.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MULCHES AND PLANTING SOIL QUANTITIES TO COMPLETE THE WORK SHOWN ON THE PLAN.
15. USE ANTI-DESICCANT (WILT-PROOF OR APPROVED EQUAL) ON DECIDUOUS PLANTS MOVED IN LEAF AND FOR EVERGREENS MOVED ANYTIME. APPLY AS PER MANUFACTURER'S INSTRUCTION. ALL EVERGREENS SHALL BE SPRAYED IN THE LATE FALL FOR WINTER PROTECTION DURING WARRANTY PERIOD.
16. WRAP ALL SMOOTH-BARKED DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO DECEMBER 1 AND

- REMOVE WRAPPING AFTER MAY 1. TREE WRAPPING MATERIAL SHALL BE WHITE TWO-WALLED PLASTIC SHEETING APPLIED FROM TRUNK FLARE TO THE FIRST BRANCH.
17. ALL DECIDUOUS, PINE, AND LARCH PLANTINGS SHALL RECEIVE RODENT PROTECTION PER MNDOT 2571-3.1.
 18. PLANTING SOIL FOR TREES, SHRUBS AND GROUND COVERS: FERTILE FRABLE LOAM CONTAINING A LIBERAL AMOUNT (4% MIN.) OF HUMUS AND CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. IT SHALL COMPLY WITH MNDOT SPECIFICATION 3877 TYPE B SELECT TOPSOIL. MIXTURE SHALL BE FREE FROM HARDPACK SUBSOIL, STONES, CHEMICALS, NOXIOUS WEEDS, ETC. SOIL MIXTURE SHALL HAVE A PH BETWEEN 6.1 AND 7.5 AND 10-60 GALLONS OF FERTILIZER AT THE RATE OF 3 POUNDS PER CUBIC YARD. IN PLANTING BEDS INCORPORATE THIS MIXTURE THROUGHOUT THE ENTIRE BED IN A 6" LAYER AND ROTO-TILLING IT INTO THE TOP 12" OF SOIL AT A 1:1 RATIO. ANY PLANT STOCK NOT PLANTED ON DAY OF DELIVERY SHALL BE HELED IN AND WATERED UNTIL INSTALLATION. PLANTS NOT MAINTAINED IN THIS MANNER WILL BE REJECTED.
 19. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT EACH EXCAVATED TREE AND SHRUB PIT WILL PERCOLATE PRIOR TO INSTALLING PLANTING MEDIUM AND PLANTS. THE CONTRACTOR SHALL FILL THE BOTTOM OF SELECTED HOLES WITH SIX INCHES OF WATER AND CONFIRM THAT THIS WATER WILL PERCOLATE WITHIN A 24-HOUR PERIOD. IF THE SOIL AT A GIVEN AREA DOES NOT DRAIN PROPERLY, A PVC DRAIN OR GRAVEL SLUMP SHALL BE INSTALLED OR THE PLANTING SHALL BE RELOCATED IF DIRECTED BY THE LANDSCAPE ARCHITECT.
 20. ALL PLANTS SHALL BE GUARANTEED FOR TWO COMPLETE GROWING SEASONS (APRIL 1 - NOVEMBER 3), UNLESS OTHERWISE SPECIFIED. THE GUARANTEE SHALL COVER THE FULL COST OF REPLACEMENT INCLUDING LABOR AND PLANTS.
 21. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST 3 DAYS PRIOR TO PLANNED DELIVERY. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST 24 HOURS IN ADVANCE OF BEGINNING PLANT INSTALLATION.
 22. SEASONS/TIME OF PLANTING AND SEEDING: NOTE: THE CONTRACTOR MAY ELECT TO PLANT IN OFF-SEASONS ENTIRELY AT HIS/HER RISK.

22.1. POTTED PLANTS:	4/1 - 6/1; 9/21 - 11/1
22.2. DECIDUOUS/B&B:	4/1 - 6/1; 9/21 - 11/1
22.3. EVERGREEN POTTED PLANTS:	4/1 - 6/1; 9/21 - 11/1
22.4. EVERGREEN B&B:	4/1 - 5/1; 9/21 - 11/1
22.5. TURF/LAWN SEEDING:	4/1 - 6/1; 7/20 - 9/20
22.6. NATIVE MIX SEEDING:	4/15 - 7/20; 9/20-10/20
 23. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PORTION OF THE WORK IS IN PLACE. PLANT MATERIAL SHALL BE PROTECTED AND MAINTAINED UNTIL THE INSTALLATION OF THE PLANTS IS COMPLETE. INSPECTION HAS BEEN MADE, AND PLANTINGS ARE ACCEPTED EXCLUSIVE OF THE GUARANTEE. MAINTENANCE SHALL INCLUDE WATERING, CULTIVATING, MULCHING, REMOVAL OF DEAD MATERIALS, RE-SETTING PLANTS TO PROPER GRADE AND KEEPING PLANTS IN A PLUMB POSITION. AFTER ACCEPTANCE, THE OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES. HOWEVER, THE CONTRACTOR SHALL CONTINUE TO BE RESPONSIBLE FOR KEEPING THE TREES PLUMB THROUGHOUT THE GUARANTEE PERIOD.
 24. ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE MEETING ALL LANDSCAPE LEGEND SPECIFICATIONS.
 25. WATERING: MAINTAIN A WATERING SCHEDULE WHICH WILL THOROUGHLY WATER ALL PLANTS ONCE A WEEK. IN EXTREMELY HOT, DRY WEATHER, WATER MORE OFTEN AS REQUIRED BY INDICATIONS OF HEAT STRESS SUCH AS WILTING LEAVES. CHECK MOISTURE UNDER MULCH PRIOR TO WATERING TO DETERMINE NEED. CONTRACTOR SHALL MAKE THE NECESSARY ARRANGEMENTS FOR WATER.

TURF NOTES:

- TURF ESTABLISHMENT SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROVISIONS OF THE MNDOT 2105 AND 2575 EXCEPT AS MODIFIED BELOW:
1. ALL AREAS TO RECEIVE SOD SHALL ALSO RECEIVE 6" OF TOPSOIL PRIOR TO INSTALLING SOD. TOPSOIL SHALL BE FREE OF TREE ROOTS, STUMPS, BUILDING MATERIAL, AND TRASH, AND SHALL BE FREE OF STONES LARGER THAN 1 1/2" INCHES IN ANY DIMENSION.
 2. WHERE SOD ABUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.
 3. SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, SOD SHALL BE STAKED SECURELY.
 4. TURF ON ALL OTHER AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED BY SEEDING, MULCHING AND FERTILIZING. SEED MIXTURE NO.25-121 WILL BE PLACED AT THE RATE OF 65 POUNDS PER ACRE.
 5. ALL DISTURBED AREAS TO BE TURF SEED, ARE TO RECEIVE 6" TOP SOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. FOR SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES INSTALL EROSION CONTROL BLANKET.
 6. ALL DISTURBED AREAS TO RECEIVE NATIVE SEED, ARE TO RECEIVE PLANTING SOIL, SEED, MULCH,

AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. FOR SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES INSTALL EROSION CONTROL BLANKET.

GENERAL TREE SPECIFICATIONS:

1. ALL STREET AND PARKING LOT TREES SHALL BE LIMBED UP TO THE FOLLOWING HEIGHTS:

1.1. 2" CAL TREES: LOWEST BRANCH 6' HT.
1.2. 3" CAL + TREES: LOWEST BRANCH 7' HT.
2. TREE CANOPY WIDTH SHALL BE RELATIVE TO HEIGHT/CALIPER OF TREE AND TYPE OF TREE.

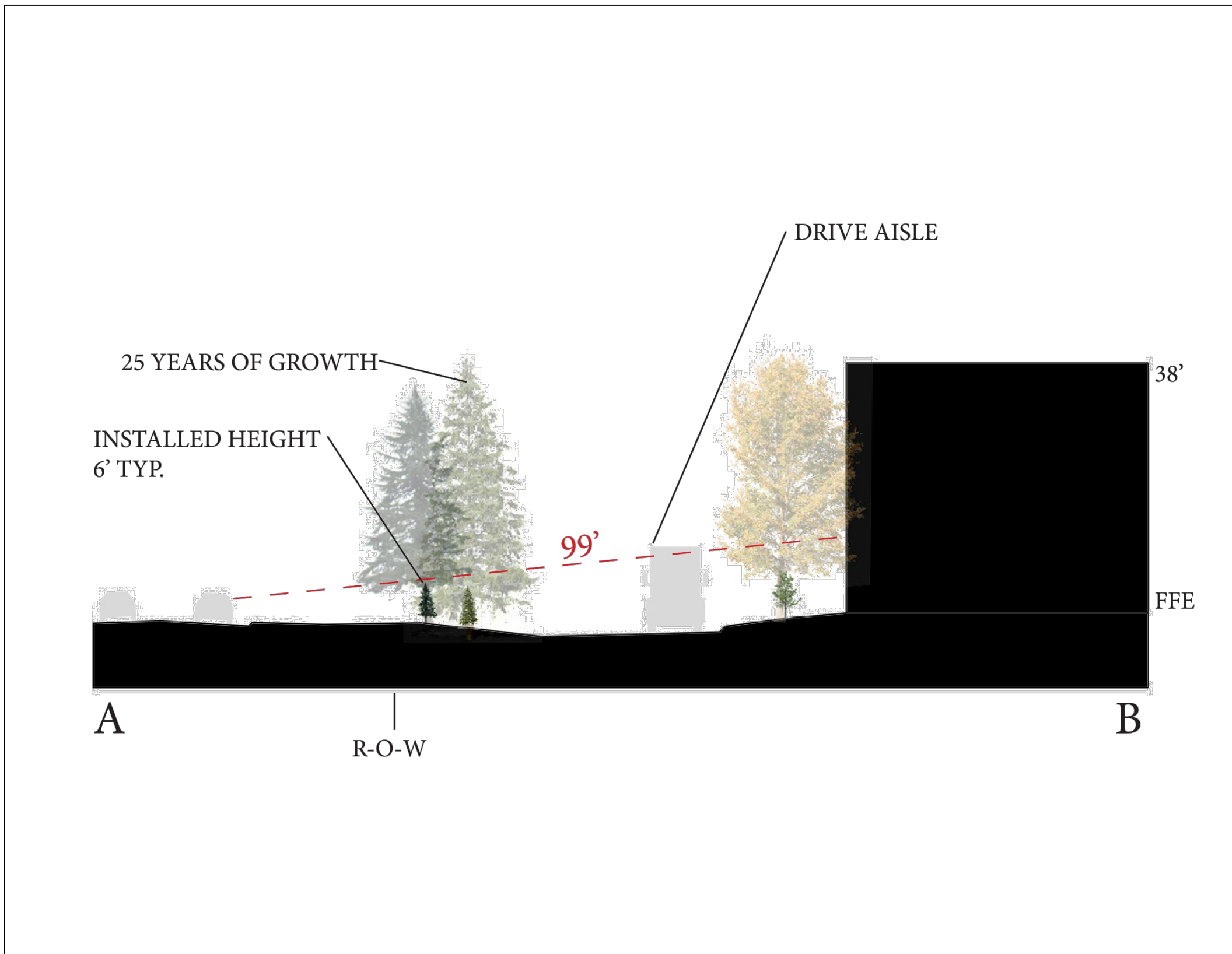
2.1. 1" CALIPER/6-8' HT: 3-4' WIDTH MIN.
2.2. 2" CALIPER/12-14' HT: 4-5' WIDTH MIN.
2.3. 3" CALIPER/14-16' HT: 6-7' WIDTH MIN.
3. CANOPY TREES SHALL NOT HAVE CO-DOMINATE LEADERS IN LOWER HALF OF TREE CROWN.
4. ALL TREES SHALL HAVE SYMMETRICAL OR BALANCED BRANCHING ON ALL SIDES OF THE TREE.
5. TREES SHALL NOT BE TIPPED PRUNED.
6. TREES SHALL BE FREE OF PHYSICAL DAMAGE FROM SHIPPING AND HANDLING. DAMAGED TREES SHALL BE REJECTED.
7. SUMMER DUG TREES SHALL HAVE ROOTBALL SIZE INCREASED BY 20%.
8. TREES WHICH EXCEED RECOMMENDED CALIPER TO HEIGHT RELATIONSHIP SHALL BE REJECTED.

IRRIGATION NOTES:

1. IRRIGATION SYSTEM TO BE DESIGN/BUILD. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL OF SYSTEM LAYOUT PRIOR TO INSTALLATION.
2. ALL SOD TO RECEIVE SPRAY OR ROTOR IRRIGATION HEADS WITH MINIMUM DESIGN OF 1" IRRIGATION PER WEEK.
3. ALL PLANT BEDS TO RECEIVE DRIP LINE IRRIGATION, WITH A MINIMUM DESIGN OF .25" IRRIGATION PER WEEK.

NATIVE SEED MIX NOTES:

1. ESTABLISHMENT AND YEAR ONE: MOW THREE(3) TIMES FIRST YEAR ON 30-DAY INTERVALS TO A HEIGHT BETWEEN FIVE AND EIGHT INCHES. DO NOT USE FERTILIZERS. SPOT TREAT INVASIVE WOODY PLANTS OR HAND WEED INDIVIDUAL NOXIOUS WEEDS.
2. YEAR TWO: PERFORM ONE MOWING BETWEEN MID-JUNE AND MID-AUGUST. SPOT SPRAY WEEDS AS NEEDED WHERE THEY ARE ESPECIALLY DOMINATE.
3. YEAR THREE (AND BEYOND): CUT ONE TIME PER YEAR AS A CLEAN UP PROCEDURE (EITHER IN EARLY MAY OR LATE NOVEMBER). PRESCRIBED BURNS MAY BE USED AS WELL IN PLACE OF MOWING. CHECK LOCAL REGULATIONS AND PERMIT PROCEDURES.



CROSS SECTION EXHIBIT

CONSULTANT

PROJECT

DAYTON INTERCHANGE

PROJECT ADDRESS

17600 Territorial Road
Dayton, MN 55327

PROJECT NUMBER

51041

ISSUE RECORD

07/31/2023 Development Application
08/16/2023 Revised D.A.
10/23/2023 Storm Sewer Revisions

DATE

08/18/2023

PROJECT MANAGER

JRW

DRAWN BY

JRW

CHECKED BY

JRW

REGISTRATION

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly licensed LANDSCAPE ARCHITECT under the laws of the State of Minnesota.

John R. Workman

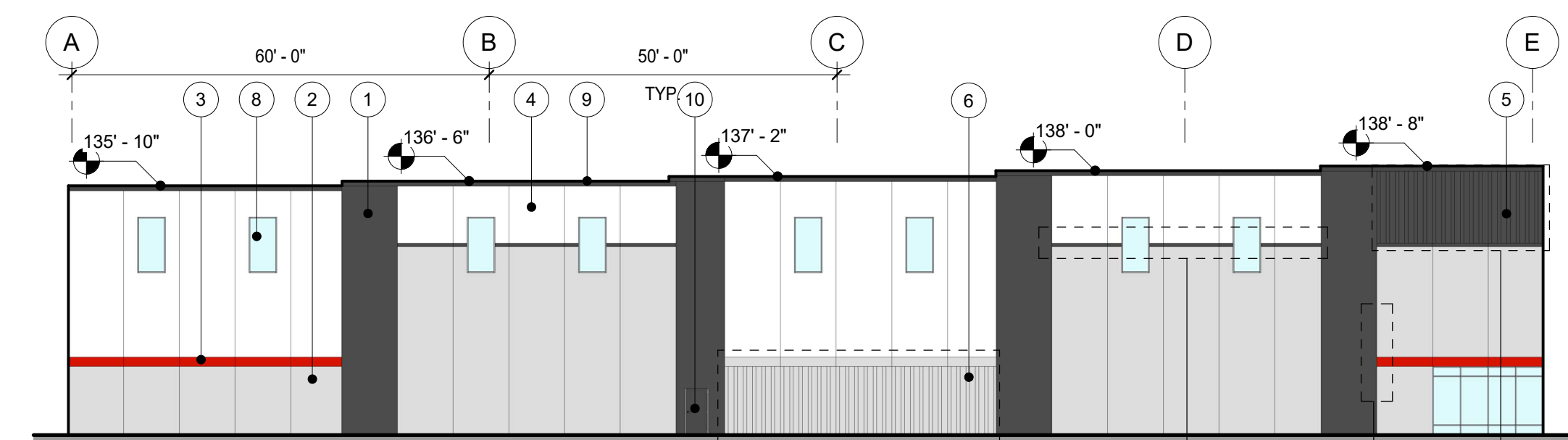
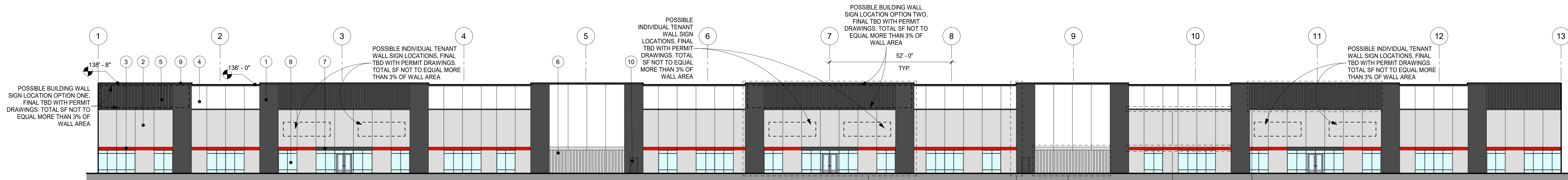
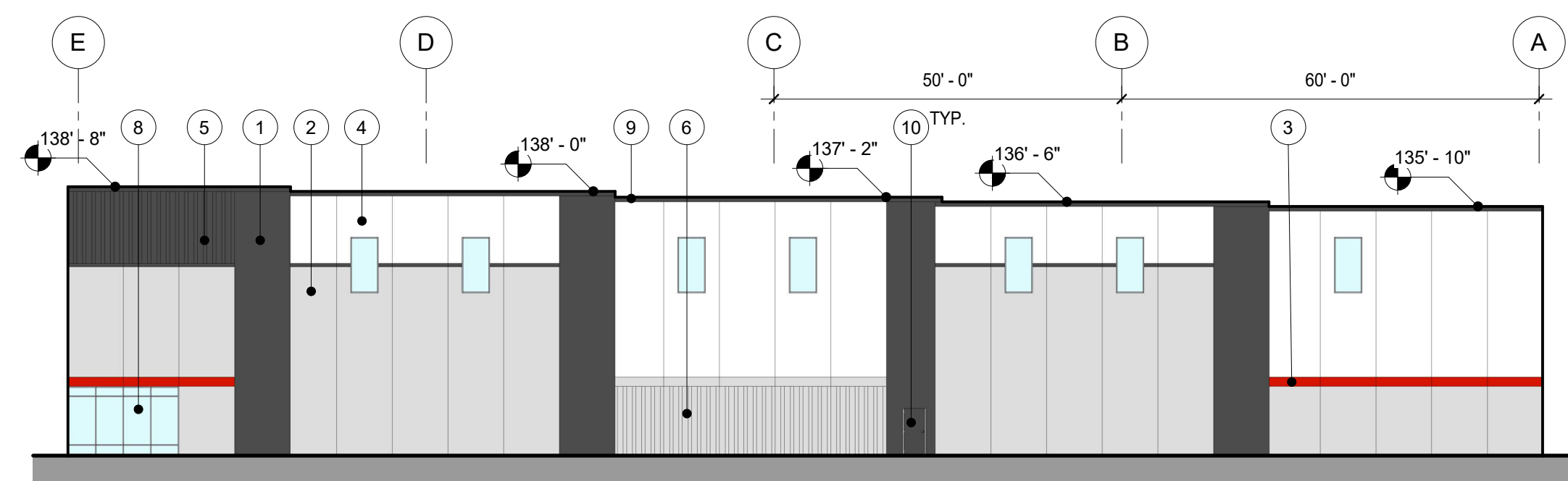
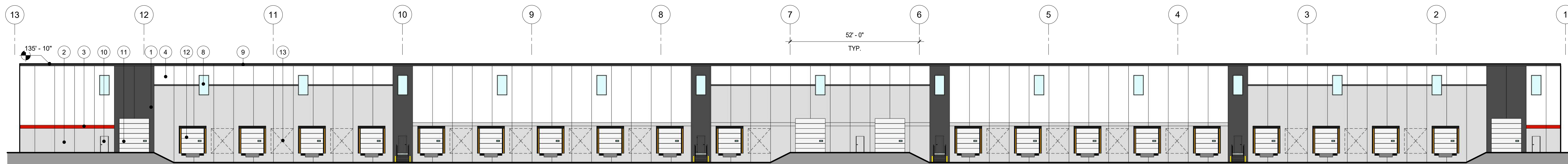
Registration No. 59119 Date: MM/DD/YYYY

This certification is not valid unless wet signed in blue ink. If applicable, contact us for a wet signed copy of this survey which is available upon request at Sambatek, Minnetonka, MN office.

SHEET TITLE

LANDSCAPE DETAILS AND NOTES

SHEET NUMBER



APPROXIMATE MATERIAL PERCENTAGES	WINDOW AREA	TEXTURED CONCRETE AREA	PAINTED CONCRETE AREA
NORTH ELEVATION	2%	N/A	98%
EAST ELEVATION	5%	8%	87%
SOUTH ELEVATION	12%	13%	75%
WEST ELEVATION	5%	8%	87%

KEYNOTE LEGEND

- 1 PRECAST CONCRETE PAINTED COLOR #1
- 2 PRECAST CONCRETE PAINTED COLOR #2
- 3 PRECAST CONCRETE PAINTED COLOR #3
- 4 PRECAST CONCRETE PAINTED COLOR #4
- 5 PRECAST CONCRETE (FORMLINER OR REVEALS) TEXTURE PAINTED COLOR #1
- 6 PRECAST CONCRETE (FORMLINER OR REVEALS) TEXTURE PAINTED COLOR #2
- 7 MCM PANEL CANOPY
- 8 VISION GLASS WITH ANODIZED ALUMINUM FRAME
- 9 METAL PARAPET CAP COLOR #1
- 10 FIRE DEPARTMENT ACCESS DOOR
- 11 OVERHEAD DRIVE-IN DOOR - 12' X 14'
- 12 OVERHEAD DOCK DOOR - 9' X 10'
- 13 PRECAST PANEL DESIGNED FOR FUTURE OVERHEAD DOCK DOOR

1001.062 a. Design elements. The building design must include architectural interest through the use of a minimum of 3 of the following elements:

- *1. Accent materials;
- *2. A visually pleasing front entry that, in addition to doors, shall be accented a minimum of 150 square feet around the door entrance for single occupancy buildings and a minimum of 300 square feet total for the front of multi-tenant buildings (this area shall be counted as 1 element);
- 3. Twenty-five percent window coverage on each front that faces a street;
- *4. Contrasting, yet complementary material colors;
- *5. A combination of horizontal and vertical design features;
- 6. Irregular building shapes; or
- 7. Other architectural features in the overall architectural concept.

31 July 2023

Design Narrative

The Opus Group is proposing to construct a 132,000 gross square foot speculative industrial building in Dayton, Minnesota. The building will have a clear height of 32' and a north facing truck court strategically planned around an existing cell tower. The building is designed with maximum flexibility to meet a diverse set of needs for prospective tenants. The site design detaches truck traffic from auto traffic to maximize safety and traffic flow in and out of the site. The proposed development has been designed with site context in mind including utilities, adjacencies and solar orientation. The use of muted colors creates a soft pattern that breaks down the scale of the building while a splash of color brings visual interest and identity. Metal canopies, and glass will be present on all facades of the building located strategically to maximize security based on building use and daylighting for the function interior of the glass. Landscaping around the site will complement the architecture and the local environment. The use of surface storm ponds on the site will help accommodate storm water controls and best management practices. Overall, the Dayton Interchange project will activate a currently underutilized parcel of land with a new state-of-the-art industrial building with long range flexibility in mind.

ITEM:

Discussion of Planning Commission Priorities

APPLICANT/PRESENTERS:

Jon Sevald, Community Development Director

BACKGROUND/OVERVIEW:

The City Council adopts annual goals and initiatives. Initiatives not completed in one year typically carry over into the next.

Separate from these Goals & Initiatives is a list of desired ordinance amendments directed by the City Council, by priority:

1. Residential Estate
2. Zoning Districts
3. Parking standards
4. Garage size
5. Zoning codes related to businesses
6. Zoning code related to compliance with the Comprehensive Plan

ROLE OF PLANNING COMMISSION:

Discuss Goals and Initiatives, and the Commission's role in implementing them.

RECOMMENDATION:

Staff requests that the Commission conduct a high-level discussion of (1) Goals & Initiatives as they relate to the Commission's work, and (2) define the problem we're trying to solve regarding the six ordinance amendments.

ATTACHMENT(S):

City Council Goals and Initiatives 2023

Goals and Initiatives 2023

Build Quality Infrastructure

Goal 1	Water and Sewer System Comprehensive Plan Updated	- End of 2023
Goal 2	Complete a Pavement Management Study	- End of 2023
Goal 3	Address Current Facility Needs	- End of 2024
Goal 4	Complete Road Repairs	- Ongoing

Planning Ahead to Manage Thoughtful Development

Goal 1	Future Planning for City Facilities and Personnel	- End of 2024
Goal 2	Comprehensive Plan Updates - Land Use, Staging Plan, Transportation	- End of 2023
Goal 3	Complete Large Area Plans for Next Staging Area	- End of 2024
Goal 4	Clear Goals and Deliverables for each Commission	- End of 2023
Goal 5	Provide a Plan for Roadways - Repairs and New Construction	- End of 2023

Preserving our Rural Character

Goal 1	Review and Implement Rural Estate Zoning	- End of 2023
Goal 2	Review 1 Per 40 Acre Rule including Ag Clustering	- End of 2023
Goal 3	Promote awareness of our Parks and Trails	- Ongoing

Create a Sought After Community

Goal 1	Focus on Expanding Amenities and Activities	- End of 2024
Goal 2	Create and Maintain a Critical Incident/Emergency Management/Active Shooter Plans	- End of 2023
Goal 3	Review Branding of the City	- End of 2024
Goal 4	Monitor Taxes in Terms of New Development	- Ongoing

Strategic Initiatives	Goals	Action -2022-2023	Five Years	Ten Years	Targets	Desired Outcome
Build Quality Infrastructure	1. Provide a safe and reliable water supply	Well Head Treatment Plant to accommodate up to 3 Wells	Evaluate available water sources, and locations for adequate supporting infrastructure i.e. power gas. Land purchase would need to be a consideration, if water treatment is required for well head treatment	South Dayton Water supply and treatment. 2 wells, tower and treatment in some form. Well Head or Central treatment plant	Council Approve project: Design and spec: Explore grants for project: Bid Documentation: Project out to bid: Bonding: Project Build: Testing: On line	Water that consistently meets Primary and Secondary EPA standards
		Update Water Supply Plan	Central Water Treatment plant; Need to have Council weigh in on their interest in the surface water proposal and the Well Head Water treatment as a method for treating City water	Connect N/E and N/W water systems	Council Approve project: Identify Funding Source on CIP	Update existing plan from 2007
		Continue exploring Surface Water options; focusing on Grant/Funding opportunities	Drill Additional Well NE. Linked to Well head treatment at Well 4	North West Dayton elevated storage solution	Identify partners; work with Met Council to identify funding/grant options; Lobbyist for Federal funding; Identify location for Water Treatment Plant	Produce water that consistently meets Primary and Secondary EPA standards, and is Lime Softened.
				Update Comprehensive Water and Sewer Plans	Enhance capacity of North West Dayton Sewer Capacity to allow Development	Produce water that consistently meets Primary and Secondary EPA standards.
				Update stormwater modeling; Consider implementation of stormwater utility fee		Produce water that consistently meets Primary and Secondary EPA standards. To ensure that the City is able to produce enough water to meet the peak water demand.

Strategic Initiatives	Goals	Action -2022-2023	Five Years	Ten Years	Targets	Desired Outcome
Build Quality Infrastructure	2. Develop comprehensive transportation plan and finance mechanisms					To allow Fire Suppression in North West Dayton, and allow for future development. This may not be needed depending on when we can link the NW & NE distribution systems Improve Sewer capacity to allow Development
		Seek grants/funding mechanism to improve CSAH 81/Dayton Parkway intersection			Funding in place; construction plans/bidding completed	Intersection improvement completed by 2023
		Implement transportation plan as development progresses	Park and Ride facility at Dayton Parkway Interchange		Local roads extended by developer	
Build Quality Infrastructure	3. Prepare plan for Public Facilities needs to meet City's growth	Remodel City Hall to incorporate more office space for additional staff members		Addition to PW building	Review/Modify existing Architects drawings; Generate preliminary plans and specs to provide approximate time line, and provide reliable costs for project; Council Approval; decide how we want to have the project managed; Identify funding source (already on CIP); Generate final plans and specs for bidding; put out to bid; award contract	To ensure that PW has adequate indoor storage for the growing Fleet of vehicles required by a growing City and make available shop space for additional services that will be required.

Strategic Initiatives	Goals	Action -2022-2023	Five Years	Ten Years	Targets	Desired Outcome
Build Quality Infrastructure					Review storage, shop needs (i.e. sign shop woodworking shop; Water Department main office, conference room) and office space requirement; identify outdoor storage potential; produce preliminary plans and specs to provide approximate time line and reliable cost estimate; Council approval; decide project management; Identify funding sources; Generate final plans and specs for bidding; put out to bid; award contract	
	Jason- Fire needs					
Encourage Diversity and Quality in Housing Stock	4. Maintain quality local street system based on a management and finance plan	Complete Pavement Management Plan	Fund Pavement Mgmt. Plan	Fund Pavement Mgmt. Plan	Annual improvements to local roads	is there some rating measure we can use?
	1. Work collaboratively with others to create a variety of housing options for all ages and stages of life	Seek developers of affordable senior housing	Implement affordable housing tools to attract additional work force housing		Increase in construction of workforce, affordable and senior housing	Meet Met Council housing goal

Strategic Initiatives	Goals	Action -2022-2023	Five Years	Ten Years	Targets	Desired Outcome
Encourage Diversity and Quality in Housing Stock		Research ways to provide incentives to builders to build starter homes	Actively reach out to developers with specific sites that could be utilized for apartment and townhome developments			
Encourage Diversity and Quality in Housing Stock	2. Develop programs to preserve and enhance existing residential housing	Seek grants or partnerships for funding	Create program to provide loans for home improvements for existing stock		Number of loans by certain year?	Well maintained existing housing stock
	3. Complete review of Zoning updates to increase and encourage development of a wider variety of lot sizes	Update Lot Sizes/width requirements for SF; Update PUD Ordinance				Expanded choices in lot sizes across Dayton
Encourage Commercial/Industrial Business Growth	1. Increase economic growth and development to encourage services and job growth in the community	Reduce min lot size requirement in AG ordinance and create opportunity for permanent rural lots	Expand options in Comp Plan for larger/rural lots			
		Review ordinances to attract business and incorporate the vision of the city; create ordinance for SW Dayton; intentional land use planning that facilitates commercial/industrial development for expanded tax base	Continue to seek opportunities to expand broadband	Prepare redevelopment plan for Historic Village	One new commercial/industrial business development per year	Balanced taxed base growth between residential and non-residential development
		Create map application that displays properties for sale or lease	Redevelopment at CSAH 81 and encourage new development in SW Dayton			
Encourage Commercial/Industrial Business Growth	2. Be responsive to the needs of businesses both current and prospective	Increase advertising of the City's Revolving Loan Fund; Develop plan for business visits	Maintain and/or Increase EDA levy; Conduct business visits		? Number of applications per year Visit minimum of 6 businesses each year	Full use of revolving loan funds
		Partner with businesses to seek County and State business assistance grants				

Strategic Initiatives	Goals	Action -2022-2023	Five Years	Ten Years	Targets	Desired Outcome
Enhance our Connections to the Natural Environment	1. Maintain and grow a safe, efficient, and interconnected trail system for pedestrians and bicyclists to access regional and local parks, residential neighborhoods, schools, and other recreational sites.	Acquire trail ROW through development process or direct purchase for regional trails; implement park and trail plan; require developers to construct trails and local connections according to comprehensive trail plan	Continue purchase or acquisition of trail ROW; fund regional trail construction and partner with 3 Rivers to advance trails		Trail ROW purchased	x mile of segment constructed
Enhance our Connections to the Natural Environment	2. Preserve & restore environmental corridors as permanent open space areas to support wildlife and promote ecological functions.					
Enhance our Connections to the Natural Environment	3. Provide a sufficient amount of active and passive recreational lands to meet current and future year-round recreational needs of the community.	Water trail feasibility study and master plan; Implement a paddle share program; Initiate Park Referendum (special question on park/trail funding) on 2022 ballot	Acquisition of land for community playfield complex; Completion of Elsie Stephens Farm Park; Continue implementation of Park and Trail Plan to provide high quality parks to growth areas		Identify location; generate preliminary plans for timelines and approximate costs; Identify partners for the project and Funding/Grant opportunities; Council Approval; Create final plans and specs for bidding; put out to bid; Award contract	To provide residents with a top quality sports complex that will encourage CDAA leagues and competitions into the City of Dayton.
		Master Plan for Diamond Lake DNR Boat Landing				
		Conduct Park Referendum vote for increased park/trail funding	Community sports complex and purchase	work with partners to build community playfield campus		
Enhance our Connections to the Natural Environment	4. Develop intergenerational environmental education & awareness program that connects the community with our natural resources.					
Foster a Safe and Welcoming Community for All	1. Communicate transparently and effectively	Develop opportunities for increased citizen participation	Continue to seek opportunities to expand broadband		X Events held	Community engagement and increase volunteers
			Digitize files and property records and implement other technology improvements to increase efficiencies			
Foster a Safe and Welcoming Community for All	2. Develop, staff, train, and support professionals in all City departments that effectively serves the community in the realization of all City initiatives.	Update five year staffing plan and evaluate opportunities to bring contract services in-house Create, in partnership with civic group, and volunteers, more city wide events Conduct an annual employee survey to measure organizational culture and identify opportunities for growth and development	Develop a staff recognition program			

Strategic Initiatives	Goals	Action -2022-2023	Five Years	Ten Years	Targets	Desired Outcome
Foster a Safe and Welcoming Community for All	3. Promote Dayton's unique identity and community cohesion through parks, natural resources, historic preservation, and intergenerational programs & events that connect residents & employees to nature, community, and wellness.		Create a City Employee wellness program			
Foster a Safe and Welcoming Community for All	4. Create accessible and inclusive parks & facilities to support community interests and recreation needs for people of all ages and interest groups.					
Foster a Safe and Welcoming Community for All	5. Provide well maintained & safe parks, recreational facilities, and programming for both residents & employees by supplying adequate funding.					
Foster a Safe and Welcoming Community for All	6. Promote public safety engagement within the community	Promote traffic safety through education and enforcement Address threats to community standards through code enforcement	Acquisition of two add'l storm sirens			
Preserve and Enhance Dayton's Rural Character and Identity	1. Intentional land use planning that creates opportunities for rural development	Explore expansion of Rural Estate land use area				